



CITY OF BURTON

BURTON PLANNING COMMISSION MEETING

APRIL 12, 2016

AGENDA

Council Chambers

Regular Meeting

5:00 PM

**4303 S. CENTER ROAD
BURTON, MI 48519**

A. PLEDGE OF ALLEGIANCE

B. ROLL CALL

C. STAFF PRESENT

D. APPROVAL OF MINUTES

1. Planning Commission - Regular Meeting - Mar 15, 2016 5:00 PM

E. SPECIAL USE

1. SPR #16-16

By: South Flint Tabernacle
P.O. Box 7008
Flint, MI 48507

Re: 1291 E. Maple Ave. Burton, MI 48529
59-31-400-103, R-1C / HRM Zoned

For: Special use to construct a new building for a church in R-1C and HRM zones

F. SITE PLAN REVIEW

1. SPR #16-17

By: South Flint Tabernacle
P.O. Box 7008
Flint, MI 48507

Re: 1291 E. Maple Ave Burton, MI 48529
59-31-400-103

For: Construction of a New Church Facility

G. ADMINISTRATIVE SITE PLAN REVIEW

1. SPR #16-14

By: John Chams
48 Birchmount Walk

London, On

Re: 3211 S. Dort Hwy Burton, MI 48529

For: Used Vehicle Sales

2. SPR #16-15

By: Riad Osman
817 Byron Hills Drive
London, On

Re: 3201 S. Dort Hwy. Burton, MI 48529

For: Office Space

3. SPR #16-18

By: Commercial Graphics of MI Inc.
1453 Walli Strasse
Burton, MI 48509

Re: 1453 Walli Strasse Burton, MI 48509

For: Printing Company

4. SPR #16-19

By: Big Coop's Trucking, LLC.
3066 Misty Creek
Swartz Creek, MI 48473

Re: 3481 S. Dort Hwy. Burton, MI 48529

For: Trucking Company

5. SPR #16-20

By: Gregory Butler
1911 Miles Rd.
Lapeer, MI 48446

Re: 4355 S. Saginaw St. Burton, MI 48529

For: Retail / Storage

6. SPR #16-21

By: Allen Automotive
2447 Judd Rd.
Burton, MI 48529

Re: 2447 Judd Rd. Burton, MI 48529

For: Used Vehicles Sales

H. AUDIENCE PARTICIPATION

Now is the time set-aside for members of the audience to address the Burton Planning Commission. I would ask each individual to give their name and address for the record and to limit their comments to five (5) minutes and to speak on the topics germane to City business.

I. BOARD DISCUSSION

The next regularly scheduled meeting will be held on Tuesday, May 10, 2016 at 5:00 p.m.



CITY OF BURTON

BURTON PLANNING COMMISSION MEETING

MARCH 15, 2016

MINUTES

Council Chambers

Regular Meeting

5:00 PM

4303 S. CENTER ROAD
BURTON, MI 48519

This meeting was opened by Chairman Robert Walls at 5:00 PM.

A. PLEDGE OF ALLEGIANCE

B. ROLL CALL

Attendee Name	Title	Status	Arrived
Greg Kray	Alternate Commissioner	Excused	
Ellen Ellenburg	Councilwoman	Present	
Robert Walls	Chairman	Present	
Kevin Burge	Commissioner	Present	
Mary Ann White	Commissioner	Present	
Robert Johnson	Commissioner	Present	
Tom Gorang	Commissioner	Present	
Deb Walton	Vice-Chairman	Excused	
John Benthall	Commissioner	Present	

C. STAFF PRESENT

Amber Abbey, Planning/Zoning
Racheal Boggs, Clerk's Office

D. APPROVAL OF MINUTES

1. Planning Commission - Regular Meeting - Feb 9, 2016 5:00 PM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Robert Johnson, Commissioner
SECONDER:	Tom Gorang, Commissioner
AYES:	Ellenburg, Walls, Burge, White, Johnson, Gorang
EXCUSED:	Kray, Walton

E. SPECIAL USE

F. SITE PLAN REVIEW

1. SPR #16-11

By: RBF Construction, Inc.
4140 Morrish Rd.

Minutes Acceptance: Minutes of Mar 15, 2016 5:00 PM (Approval of Minutes)

Re: 3265 Card Dr. Burton, MI 4829
59-33-501-020 / M-1 Light Industrial

For: 40' x 16' addition to the existing building

Allen Dory with RBF Construction, Inc. stated he is here to answer any questions the Planning Board may have about the 16 foot Addition to the Atlas Outdoors building.

Mrs. Abbey stated there is a correction on the plan; the address is 3265 not 3625. There is no need to resubmit this because she has made the changes. They are eliminating some required spaces with this addition. They have five spaces in the front. They have six unstriped and we require at least three of them to be striped. She spoke with the property owner and the contractor and they are both aware that eight spaces need to be striped on the property. The administration recommends approval.

Mr. Gorang stated he likes the detail in the plans.

Mrs. Ellenburg stated she was aware of some incidents with stolen vehicles in the past with Atlas and she asked if they will be taking extra security precautions.

Mr. Dory stated he is the contractor for the building and he is unaware of the incident.

Mrs. Abbey stated security measures can be added if the board thinks they are necessary.

Mrs. Ellenburg asked Mr. Dory if he will suggest it to the property owner.

Mr. Johnson stated there is a proposed six foot fence to go around the property which will be helpful with the security of the building and equipment.

RESULT:	CARRIED [UNANIMOUS]
MOVER:	Kevin Burge, Commissioner
SECONDER:	John Benthall, Commissioner
AYES:	Ellenburg, Walls, Burge, White, Johnson, Gorang, Benthall
EXCUSED:	Kray, Walton

2. SPR #16-13

By: Dr. Rommel Aquino M.D.
6175 Lapeer Rd.
Burton, MI 48509

Re: 6175 Lapeer Rd. Burton, MI 48509
59-13-502-005 / 59-13-502-004

For: Addition to existing office

Rick Swihart of Creekwood Architecture is here to represent property owner Dr. Rommel Aquino. This is a 1,000 square foot addition to the building as well as additional parking.

Mrs. Abbey stated in 2014 Dr. Aquino came to the Planning Commission for an addition. At that time, they had sidewalks on the site plan. However, when the footing was done in December of 2015, it made it difficult to put sidewalks in so they were not done. Therefore, with this new addition the administration recommends the board place a condition on the property owner to install sidewalks prior to a building permit being issued or post a performance bond for the amount of the installation of the sidewalk with our office before the building permit can be issued. The administration recommends approval.

Rick Swihart said the property owner has agreed to put the sidewalks in on the entire parcel before occupancy not before building because there is extensive work that needs to be done.

Mrs. Abbey said the problem is occupancy has already been issued on the other portion of the property and the applicant failed to put the required sidewalk in.

Mr. Johnson stated there is no address on the property and he would like that added.

Mr. Burge asked that a numerical address be placed on the existing building before construction.

Mrs. Ellenburg restated the motion to include sidewalks being installed or a performance bond being posted and a six inch numerical address to be placed on the building before construction begins.

RESULT:	CARRIED AS AMENDED [UNANIMOUS]
MOVER:	Ellen Ellenburg, Councilwoman
SECONDER:	Tom Gorang, Commissioner
AYES:	Ellenburg, Walls, Burge, White, Johnson, Gorang
EXCUSED:	Kray, Walton

G. ADMINISTRATIVE SITE PLAN REVIEW

1. SPR #16-08

By: Repossession Management Services, LLC.
P.O. Box 141726
Grand Rapids, MI 49514

Re: 4396 S. Dort Hwy.
Burton, MI 48529

For: Vehicle Repossession

Minutes Acceptance: Minutes of Mar 15, 2016 5:00 PM (Approval of Minutes)

Mr. Johnson asked if City Council approved the rezoning for Repossession Management Services, LLC.

Mr. Abbey said yes.

Ms. White asked if there were any restrictions placed on them regarding hours of operation.

Mrs. Abbey said they cannot put restrictions on zoning changes. So, no.

2. SPR #16-09

By: Alpine Field Services, LLC.
28560 Van Dyke Ave.
Warren, MI 48093

Re: 4071 Saginaw St. Burton, MI 48529

For: Office

Mrs. Ellenburg asked if Alpine Field Services, LLC will need approval for residency.

Mrs. Abbey said there is a variance for the property if they choose to do it. Currently, she doesn't believe anyone intends to live there. If they decided to, they would have to notify us only for tax purposes.

3. SPR #16-10

By: Michael Bully
8034 Pepperwood Dr.
Grand Blanc, MI 48439

Re: 4235 Davison Rd. Burton, MI 48509

For: Office

4. SPR #16-12

By: William Dempsey
P.O. Box 190331
Burton, MI 48519

Re: 4101 S. Dort Hwy. Burton, MI 48529

For: Used car wholesales

H. AUDIENCE PARTICIPATION

None.

I. BOARD DISCUSSION

Mr. Walls introduced Mr. Benthall as the newest member to the Planning Board.

The Board members welcomed Mr. Benthall.

Mrs. Ellenburg expressed concern about Zeibart on Saginaw Street. She said it is beginning to look like a large car lot. Is there a restriction for the number of vehicles they can have?

Mrs. Abbey said she can look it up.

The Board discussed the memorandum received by Rowe Professional Services. They decided the following:

- Not to meet with Rowe in July or August due to lack of public interest during the summer with the understanding that this will add 2-4 months to the project.
- To schedule any necessary Special Planning meetings for the purpose of master plan discussion with Rowe on the fourth Tuesday of the month when necessary.
- Include all four of the optional public input opportunities in the project scope of the master plan. These include: Community Visioning Meeting, Social Media, Community Remarks and Youth Mini-Charette.

Mrs. Abbey stated she has been working on getting background information for the city. If anyone has history information, photos or anything else that would be helpful to be included in the background information for the master plan.

Mrs. Ellenburg suggested contacting Mona Miron.

Mrs. Abbey asked the board to think about who they would like to have as stakeholders for the City of Burton. Also, she would like to start sending board packets electronically. We will be here an hour before our next meeting to help get everyone set up.

The next regularly scheduled meeting will be held on Tuesday, April 12, 2016 at 5:00 p.m.

Meeting was adjourned at 6:00 PM.

Minutes Acceptance: Minutes of Mar 15, 2016 5:00 PM (Approval of Minutes)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 2253)

Meeting: 04/12/16 05:00 PM
Department: Department of Public Works
Category: Special Use
Prepared By: Amber Abbey
Department Head: Robert Slattery

E.1

DOC ID: 2253

SPR #16-16

By: South Flint Tabernacle
P.O. Box 7008
Flint, MI 48507

Re: 1291 E. Maple Ave. Burton, MI 48529
59-31-400-103, R-1C / HRM Zoned

For: Special use to construct a new building for a church in R-1C and HRM zones

ATTACHMENTS:

- 16-16 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230

Date Filed: 3-18-16
 Fee Paid: \$ 600.00
 Receipt #: _____
 Check #: 72256
 Received by: ATA
 Date Mailed: _____

APPLICATION FOR PLANNING COMMISSION SPECIAL USE:

BCPC Case #: 16-16

PLEASE PRINT

DATE OF PLANNING COMMISSION HEARING: April 12, 2016 AT 5:00 P.M.

APPLICANTS NAME: South Flint Tabernacle

APPLICANTS ADDRESS: P.O. Box 7008

CITY: Flint, MI 48507

APPLICANTS PHONE: 810-397-9233

ADDRESS AND PARCEL OR LOT NUMBER: _____

1291 E. Maple Ave. Flint, MI 48507 59-31-400-103

NATURE OF REQUEST (PERMITTED USE AFTER SPECIAL APPROVAL): special use for
Proposed Church Facility in R1-C and HRM zoning

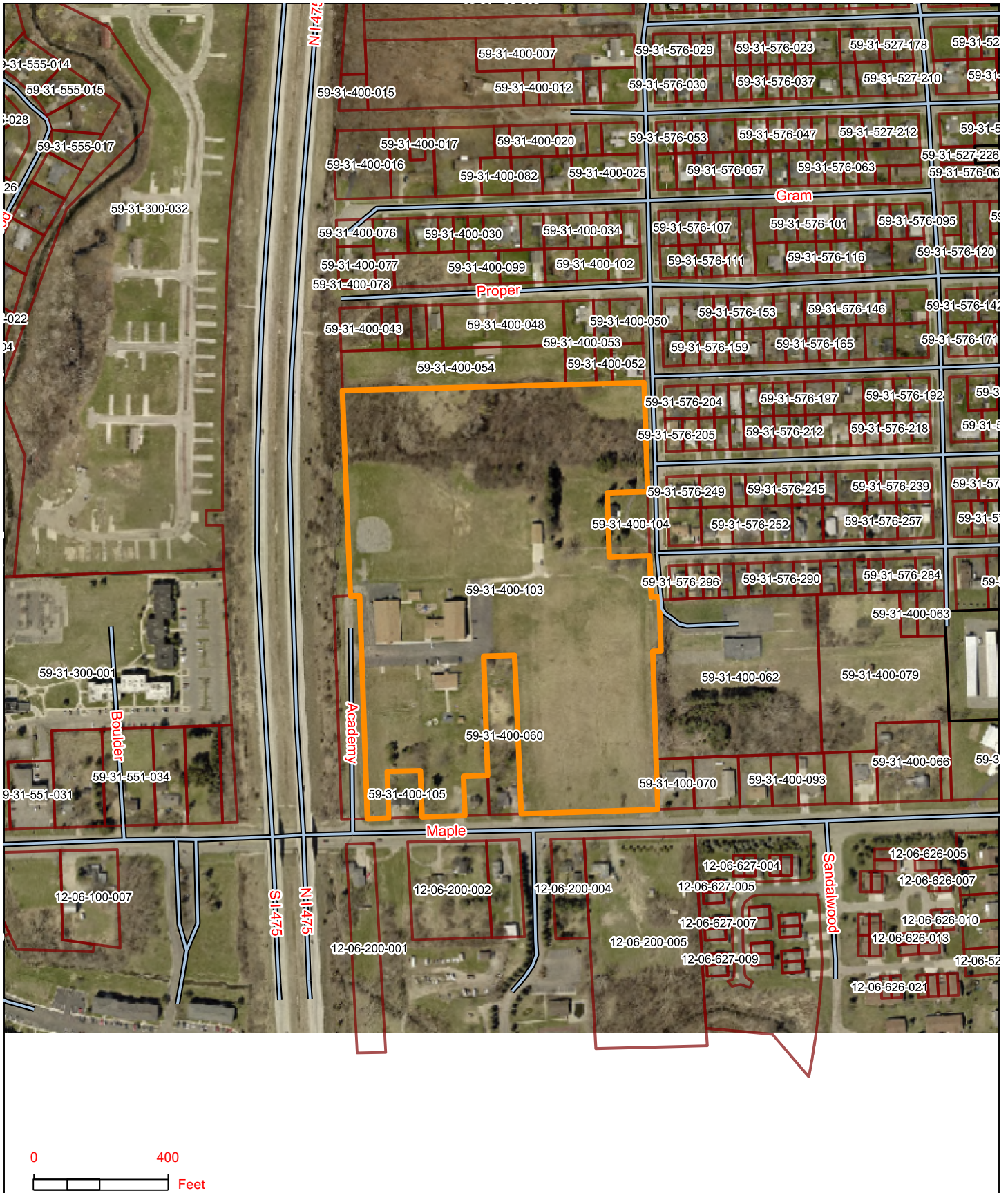
APPLICANTS SIGNATURE: Rev. Robert E. Hensey, Pastor

MANDATORY ATTENDANCE AT THE ABOVE MEETING IS ACKNOWLEDGED BY THE
 APPLICANTS SIGNATURE.

Attachment: 16-16 (2253 : SPR #16-16)

BURTON

E.1.a



Attachment: 16-16 (2253 : SPR #16-16)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 2254)

Meeting: 04/12/16 05:00 PM

Department: Department of Public Works

Category: Site Plan Review

Prepared By: Amber Abbey

Department Head: Robert Slattery

F.1

DOC ID: 2254

SPR #16-17

By: South Flint Tabernacle
P.O. Box 7008
Flint, MI 48507

Re: 1291 E. Maple Ave Burton, MI 48529
59-31-400-103

For: Construction of a New Church Facility

ATTACHMENTS:

- 16-17 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR SITE PLAN REVIEW

DATE FILED: 3-18-16
 FEE: 200.00
 RECEIPT NO: _____
 CHECK NO: 72255.

SPR #: 16-17

PLEASE PRINT

DATE OF PLANNING COMMISSION MEETING: April 12, 2016

APPLICANTS NAME: South Flint Tabernacle

APPLICANTS ADDRESS: P.O. Box 7008 Flint, MI 48507

APPLICANTS PHONE NO: 810-397-9233

PROPOSED NAME OF BUSINESS: South Flint Tabernacle

SITE ADDRESS: 1291 E. Maple Ave. Flint, MI 48507

SUBDIVISION & LOT # OR PARCEL NUMBER: 59-31-400-103

RE: Proposed Church Facility

APPLICANT: IT IS TO YOUR ADVANTAGE TO ATTEND THE ABOVE SCHEDULED MEETING. THE PLANNING COMMISSION MAY HAVE QUESTIONS THAT DIRECTLY AFFECT APPROVAL, DENIAL, OR POSTPONING UNTIL THESE QUESTIONS CAN BE ANSWERED.

APPLICANTS SIGNATURE: Rev. Robert E. Hense, Pastor

NOTE: All site plans must be filed at least two (2) weeks prior to the Planning Commission hearing and **MUST** comply with the procedures set forth in Section 157.092 of Codified Ordinance as attached. Must include **twelve (12) sets** of prints in order to process the application.

Attachment: 16-17 (2254 : SPR #16-17)

SITE PLAN OF PROPOSED SOUTH FLINT TABERNACLE

CITY OF BURTON, GENESEE COUNTY, MI MARCH 2016

GENERAL SITE DATA:

CURRENT ZONING R1-C and HRM
PARCEL NUMBER 59-31-400-103
TOTAL GROSS ACRES 24.5± Gross Acres
PROPOSED PROJECT AREA 10± Acres

AREA OF EXISTING BUILDINGS 25,492 Sq Ft
AREA OF PROPOSED BUILDING 69,220 Sq Ft
NUMBER OF STORIES PROPOSED 1.5 STORIES

MAX. PARCEL COVERAGE ALLOWED R1-C = 35%
HRM = 15%
MAX. PARCEL COVERAGE PROVIDED 8.9%

SETBACK REQUIREMENTS:

	R1-C	HRM	PROVIDED
HEIGHT:	35'	100'	62.4' FRONT OF BUILDING 29.3' BACK OF BUILDING
FRONT:	20'	40'	225'
SIDE:	5' (15' TOTAL)	40'	78' min.
REAR:	30'	40'	297'

PARKING DATA:

SIZE STANDARDS

SPACE WIDTH 9'
SPACE LENGTH 19'
ACCESS ISLE WIDTH 25'

REQUIRED FOR CHURCHES:

1 SPACE FOR EACH 3 SEATS (PEWS = 1 SEAT FOR EACH 2' OF PEW LENGTH)

CALCULATION:

TOTAL PEW LENGTH = 1968' / 2' = 984 SEATS / 3 = 328 SPACES REQUIRED FOR CHURCH
(A MIN. OF 8 MUST BE BARRIER FREE)

PROVIDED:

TOTAL PROPOSED SPACES = 345 (11 ARE BARRIER FREE)

COLLECTIVE PARKING BETWEEN VARIOUS BUILDINGS/USES IS AVAILABLE, IF NEEDED

LOADING AND UNLOADING:

REQUIREMENT:

1 SPACE, PLUS 1 SPACES FOR EACH 20,000 SQ FT IN EXCESS OF 20, 000 SQ. FT.
MIN SIZE SHALL BE 10' WIDE X 40' LONG AND 14' HIGH

CALCULATION:

1 SPACE PLUS 69,220 SQ FT - 20,000 = 49, 200 / 20, 000 = 2.5 +1 = 3.5 SPACES

PROVIDED ON THIS PLAN

4 SPACES @ 10' X 50' EACH

ADDITIONAL NOTES:

- ALL EXISTING STORM SEWERS ARE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER. NO PUBLIC SANITARY SEWER, STORM SEWER, OR WATERMAIN IS PROPOSED FOR THIS PROJECT. SANITARY SEWER AND WATER SERVICES ARE PRIVATE. A FIRE SUPPRESSION SYSTEM IS PROPOSED FOR THE NEW BUILDING.
- FLEIS & VANDENBRINK ENGINEERING, INC. HAS NOT REVIEWED THIS PROJECT FOR SOIL CONTENT. WE SUGGEST THAT THE CONTRACTOR CONTACT A SOILS ENGINEER WITH REGARD TO THE SOIL CONDITIONS. SOIL BEARING SUPPORT FOR THE FOUNDATION AND SLAB WORK SHALL BE TESTED BY AN INDEPENDENT TESTING SERVICE. LICENSED TO PROVIDE SUCH SERVICE. PRIOR TO PLACING SUCH FOUNDATION AND SLAB WORK. TESTING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THERE ARE NO STATE OR FEDERALLY REGULATED WETLANDS OR FEMA FLOOD PLAIN ON THIS SITE.
- NPDES-NOTICE OF COVERAGE STATEMENT: THE TOTAL DISTURBED AREA OF THIS PROJECT IS APPROXIMATELY 10.0 ACRES. AN NPDES-NOTICE OF COVERAGE IS REQUIRED FOR THIS PROJECT. ALSO SEE THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN.
- EXISTING UTILITIES HAVE NOT BEEN EXPOSED FOR VERIFICATION OF LOCATION AND ELEVATION AT THIS TIME. THE EXISTING UTILITIES DEPICTED ON THIS DRAWING WERE DETERMINED FROM ON-SITE OBSERVATIONS AND FROM AVAILABLE RECORDS AS PROVIDED BY THE UTILITY OWNERS. FLEIS & VANDENBRINK ENGINEERING, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED OR THE LOCATIONS AT WHICH SERVICE WILL BE PROVIDED.
- NO PROPOSED BUSINESS SIGNS ARE SHOWN AT THIS TIME. PLACEMENT OF ANY ADDITIONAL BUSINESS SIGNS REQUIRES A SEPARATE SIGN PERMIT APPLICATION THAT MUST BE PROCESSED THROUGH THE CITY UPON RECEIVING SITE PLAN APPROVAL.
- STATEMENT OF ADVERSE EFFECTS: THE OWNER/DEVELOPER OF THIS PROJECT DOES NOT ANTICIPATE CONSTRUCTION OF THIS FACILITY WILL CREATE ANY ADVERSE EFFECTS TO THE SURROUNDING AREA.

MUNICIPAL REVIEWS AND APPROVALS

TYPE OF REVIEW	ADMINISTRATIVE	PLANNING COMMISSION	CITY COUNCIL
SPECIAL LAND USE PERMIT	-	-	N/A
SITE PLAN APPROVAL	-	-	N/A

REVIEWING AGENCY / UTILITY COMPANY LIST

AGENCY/UTILITY COMPANY	DATE SUBMITTED	CONTACT PERSON	TELEPHONE NUM.
CITY OF BURTON - PLANNING DEPARTMENT	MARCH 2016	AMBER ABBEY	(810) 742-9230
GENESEE CO. DRAIN COMMISSIONER - WWS	MARCH 2016	LYNNETTE MEINZ, PE	(810) 742-7870
GENESEE CO. DRAIN COMMISSIONER - SWM	MARCH 2016	TOM JONES, PE	(810) 732-1590
CONSUMERS ENERGY	EXISTING GAS	SAL DELISI	(810) 760-3486
	EXISTING ELECTRIC	MARCEY CONN	(810) 760-3506
AT&T	MARCH 2016	DIANE ROEHM	(248) 456-0829
COMCAST CABLEVISION	MARCH 2016	TOM DICKINSON	(586) 883-7412

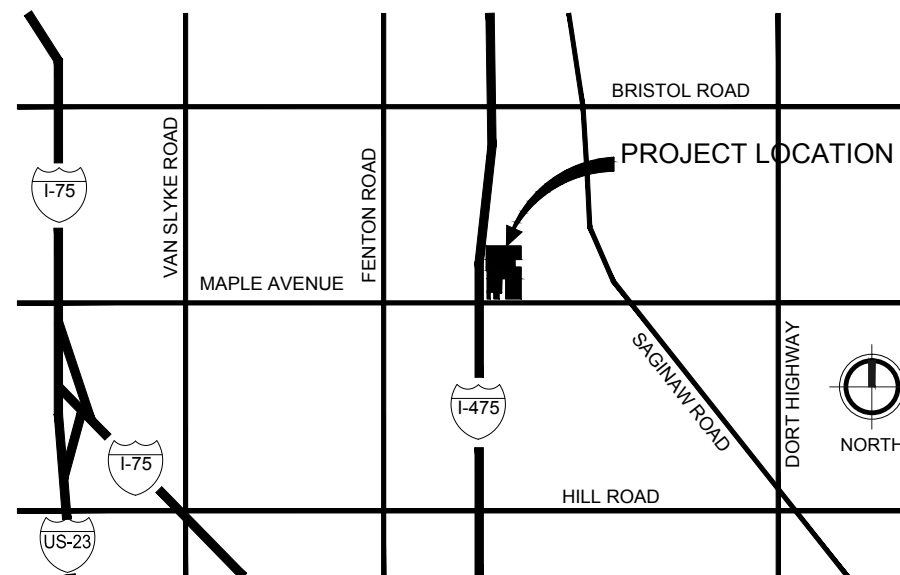
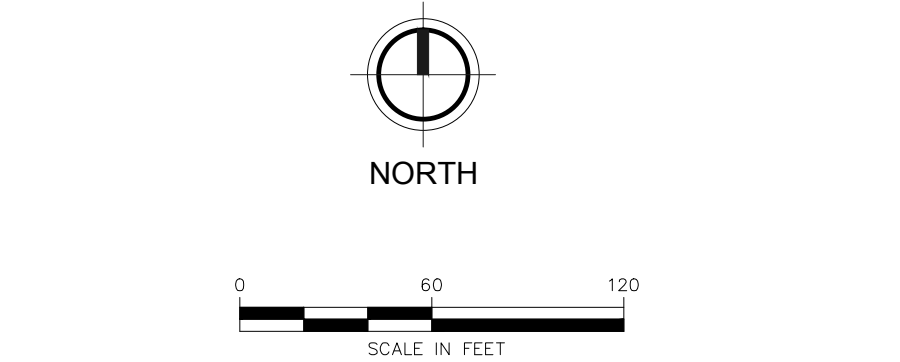
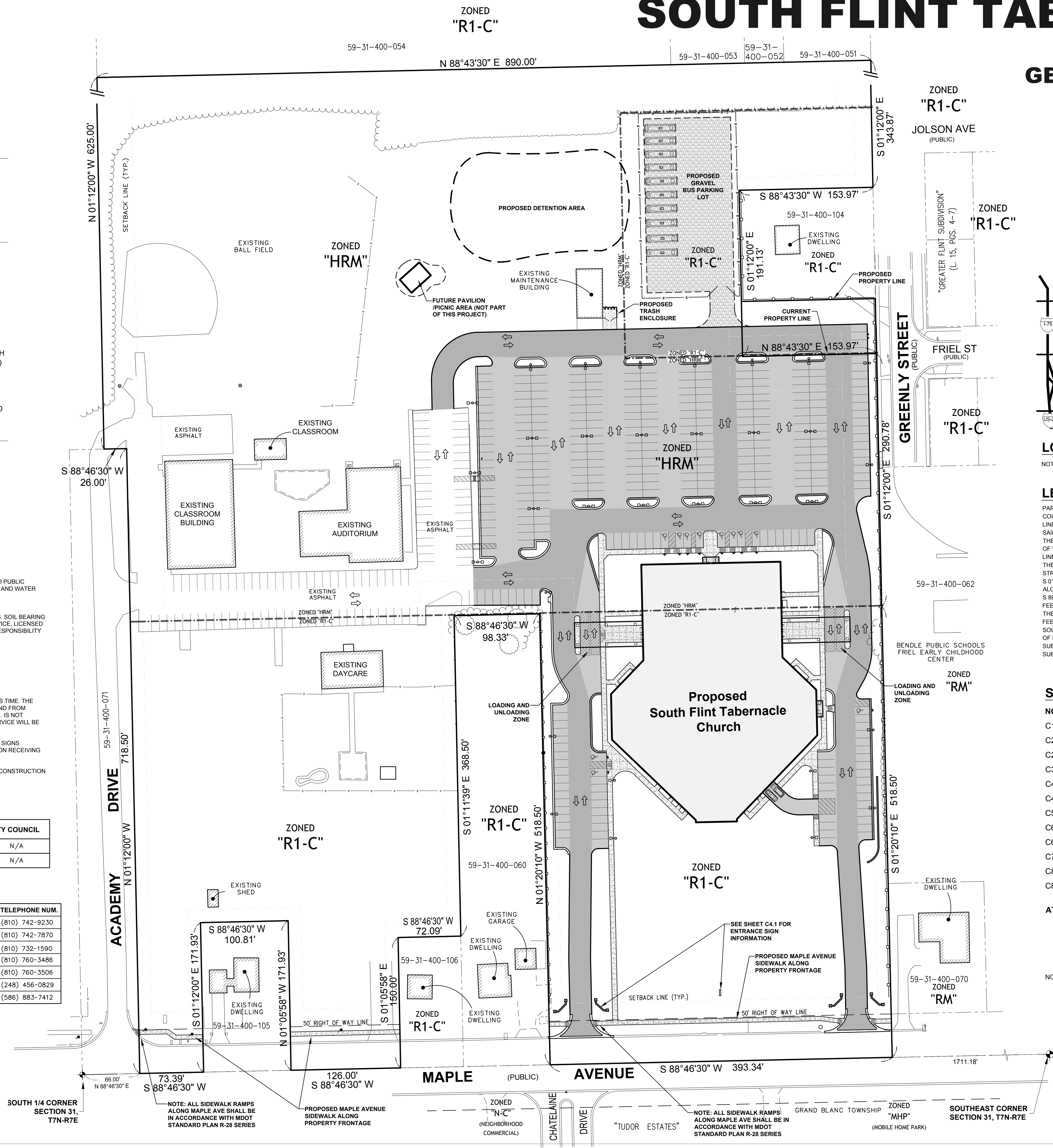


Know what's below.
Call before you dig.

APPLICANT/OWNER

SOUTH FLINT TABERNACLE
1291 EAST MAPLE AVENUE
BURTON, MI 48529
PHONE: 810-743-1710

SOUTH 1/4 CORNER
SECTION 31,
T7N-R7E



LOCATION MAP

NOT TO SCALE

LEGAL DESCRIPTION (59-31-400-103)

PART OF THE SOUTHEAST 1/4 OF SECTION 31, T7N-R7E, CITY OF BURTON, GENESEE COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE SOUTH LINE OF SECTION 31 WHICH IS N 88°46'30" E 66.00 FEET FROM THE SOUTH 1/4 CORNER OF SAID SECTION 31; THENCE N 01°12'00" W 718.50 FEET; THENCE S 88°46'30" W 26.00 FEET; THENCE N 01°12'00" W 625.00 FEET; THENCE N 88°43'30" E 890.00 FEET TO THE WEST RIGHT OF WAY LINE OF GREENLY STREET; THENCE S 01°12'00" E, ALONG SAID RIGHT OF WAY LINE, 343.87 FEET; THENCE S 88°43'30" W 153.97 FEET; THENCE S 01°12'00" E 191.13 FEET; THENCE N 88°43'30" E 153.97 FEET, TO SAID WEST RIGHT OF WAY LINE OF GREENLY STREET; THENCE S 01°12'00" E, ALONG SAID RIGHT OF WAY LINE, 290.78 FEET; THENCE S 01°20'10" E 518.50 FEET TO THE SOUTH LINE OF SAID SECTION 31; THENCE S 88°46'30" W, ALONG SAID SOUTH LINE, 393.34 FEET; THENCE N 01°20'10" W 518.50 FEET; THENCE S 88°46'30" W 98.33 FEET; THENCE S 01°11'39" E 368.50 FEET; THENCE S 88°46'30" W 72.09 FEET; THENCE S 01°05'58" E 150.00 FEET TO THE SOUTH LINE OF SAID SECTION 31; THENCE S 88°46'30" W, ALONG SAID SOUTH LINE, 126.00 FEET; THENCE N 01°05'58" W 171.93 FEET; THENCE S 88°46'30" W 100.81 FEET; THENCE S 01°12'00" E 171.93 FEET TO SAID SOUTH LINE; THENCE S 88°46'30" W, ALONG SAID SOUTH LINE, 73.39 FEET TO THE PLACE OF BEGINNING, CONTAINING 24.54± GROSS ACRES OF LAND, MORE OR LESS, AND BEING SUBJECT TO THAT PART NOW USED AS MAPLE AVENUE, SO CALLED, AND ALSO BEING SUBJECT TO ANY RECORDED OR UNRECORDED EASEMENTS OF BENEFIT OR BURDEN.

SHEET INDEX

NO.	TITLE
C1.0)	OVERALL PROPERTY LAYOUT AND PROJECT DATA
C2.1)	PROJECT NOTES & DETAILS
C2.2)	ADDITIONAL PROJECT DETAILS
C3.0)	EXISTING CONDITIONS AND REMOVALS
C4.1)	SITE LAYOUT PLAN - SOUTH
C4.2)	SITE LAYOUT PLAN - NORTH
C5.0)	SOIL EROSION & SEDIMENTATION CONTROL PLAN
C6.1)	GRADING AND UTILITY PLAN - SOUTH
C6.2)	GRADING AND UTILITY PLAN - NORTH
C7.0)	STORM WATER MANAGEMENT PLAN
C8.1)	LANDSCAPE PLAN - SOUTH
C8.2)	LANDSCAPE PLAN - NORTH

ATTACHMENTS:

- C.O.B. STANDARD CONSTRUCTION NOTES
- C.O.B. PRESSURE PIPE CONSTRUCTION STANDARD DETAILS
- C.O.B. STANDARD SANITARY SEWER DETAIL SHEET
- C.O.B. STORM SEWER STANDARD DETAILS AND NOTES
- G.C.D.C. - WWS SOIL EROSION KEY SHEET

NOTE: TOTAL NUMBER OF SHEETS IN THIS SET OF PLANS = 17
ARCHITECTURAL, STRUCTURAL, AND MEP PLANS FOR THIS PROJECT ARE NOT INCLUDED IN THIS SET OF PLANS. THIS INFORMATION HAS BEEN PREPARED BY OTHERS.

NOTE: THIS PROJECT HAS BEEN DESIGNED
IMPLEMENTING THE LATEST GCD-C-WWS
DESIGN SPECIFICATIONS. CAREFULLY REVIEW
THE NOTES, DETAILS, AND DESIGN PRIOR TO
SUBMITTING A BID. FULL COMPLIANCE WITH
THE NEW STANDARDS WILL BE REQUIRED.

FLEIS & VANDENBRINK
DESIGN, BUILD, OPERATE

9475 Holly Rd, Suite 201
Grand Blanc, MI 48439
P: 810.743.9120
F: 810.743.1797

PART OF SECTION 31, CITY OF BURTON, GENESEE COUNTY, MI
SITE PLAN FOR PROPOSED CHURCH FACILITY
OVERALL PROPERTY LAYOUT AND PROJECT DATA

Attachment: 16-17 (2254 : SPR #16-17)

NOT FOR
CONSTRUCTION

MARCH 2016

F&V PROJECT NO.
824140

C1.0

STANDARD NOTES FOR COMMERCIAL SITE PLANS

GENESEE COUNTY DRAIN COMMISSIONER 10 STANDARD NOTES FOR SITE PLANS

1. EXTENSION OF PUBLIC UTILITIES: (NO PUBLIC UTILITIES ARE PROPOSED FOR THIS PROJECT)

All public sanitary sewer and/or watermain **SHALL** be extended to the furthest limits of the property, including corner lots, with the pipe size and material approved by Genesee County Drain Commissioner's Office - Division of Water and Waste Services (GCDC - WWS). This is necessary for plan approval. For water service of one inch (1") or less or a building on a corner lot, the requirements to extend the public watermain and/or sanitary sewer along both property lines will be reviewed. Final determination shall be made by GCDC - WWS.

2. WATERMAIN LOOPING: (NO PUBLIC WATERMAIN IS PROPOSED FOR THIS PROJECT)

All public watermain shall be looped whenever possible. The pipe size requirement shall be approved by GCDC - WWS.

3. INDUSTRIAL PRETREATMENT PROGRAM (IPP): (PERMIT TO BE OBTAINED PRIOR TO CONSTRUCTION)

This permit is required for all commercial (non residential) and industrial discharges. The OWNER shall obtain an Industrial Pretreatment Discharge Permit prior to the issuance of a Sewer Connection Permit. Industrial Discharge Permits are non-transferable. Changes in facility use will require new Industrial Discharge Permit. For more information call the Anthony Ragnone Treatment Plant at (810) 232-7622.

4. SOIL EROSION: (PERMIT TO BE OBTAINED FROM CITY OF BURTON PRIOR TO CONSTRUCTION)

The DEVELOPER shall submit a detailed Soil Erosion and Sedimentation Control plan and obtain an Act 451 Part 91, Soil Erosion and Sedimentation Control permit. This includes the payment of fees and the providing of necessary bonds. **No earth changes or excavation shall be started prior to the issuance of this permit.** The DEVELOPER shall protect all existing and proposed storm sewer facilities on and adjacent to the site during excavation and construction. All sediment shall be contained on site. Any silt in county drains, storm sewer, culverts, etc. as a result of this project, shall be removed by the DEVELOPER at the cost of the DEVELOPER.

5. FLOODPLAIN OR WETLAND CONSTRUCTION: (NO CONSTRUCTION IS PROPOSED WITHIN A FLOODPLAIN OR WETLAND FOR THIS PROJECT)

The DEVELOPER shall apply to the Michigan Department of Environmental Quality (MDEQ) for a permit for the alteration and/or occupation of a floodplain or floodway, as required under PA 451. Evidence of this permit may be required prior to plan approval by GCDC - WWS.

6. NPDES STORM WATER DISCHARGE PERMIT: (NOTICE OF COVERAGE TO BE SUBMITTED BY THE CONTRACTOR WITH SESC PERMIT AFTER THE SESC PERMIT IS ISSUED BY THE CITY OF BURTON)

The owner of the property shall obtain a NPDES Storm Water Discharge permit for construction activities from MDEQ as required under Public Act 451. The notice of coverage form shall be submitted through GCDC - WWS with the Soil Erosion Control permit application. All MDEQ fees shall accompany the Notice of Coverage. Evidence of this permit may be required prior to plan approval by GCDC - WWS.

7. GENESEE COUNTY PERMIT TO CONSTRUCT A PUBLIC UTILITY: (NO PUBLIC UTILITIES ARE PROPOSED FOR THIS PROJECT)

After the approval of this preliminary plat or site plan, the DEVELOPER shall submit a detailed plan for construction of all public sanitary sewer and watermain. The plans must have GCDC - WWS approval, a S-permit issued, and approval from the MDEQ prior to beginning construction.

8. GENESEE COUNTY ROAD COMMISSION PERMIT: (NO CONSTRUCTION IS PROPOSED IN A COUNTY ROAD RIGHT OF WAY)

The DEVELOPER shall obtain a permit from the Genesee County Road Commission (GCRC) to perform work within the GCRC Right-of-Way. All fees for the permit, bonds and insurances are the responsibility of the Developer.

9. MUNICIPALITY SANITARY SEWER AND WATER PERMIT: (PERMIT TO BE OBTAINED PRIOR TO CONSTRUCTION)

Prior to the issuance of a building permit by the local municipality, the Developer shall be required to obtain a sanitary sewer and/or water tap-in permit from the local municipality, if authorized, or GCDC - WWS.

10. STATE CONSTRUCTION PERMITS: (NO PUBLIC UTILITIES ARE PROPOSED FOR THIS PROJECT)

The sanitary sewer and watermain construction permits from the Michigan Department of Environmental Quality shall be submitted to the MDEQ after approval of the GCDC - WWS. Construction shall not begin until these state permits are issued.

SUPPLEMENTAL SITE PLAN NOTES

1. GENERAL PROJECT NOTES

(A) PRE-CONSTRUCTION MEETING

A pre-construction meeting shall be held prior to any work being performed on the project. The meeting time, place and attendees shall be arranged by the Construction Engineer for the project. The Contractor, municipality, GCDC - WWS, Genesee County Drain Commissioner's Office - Surface Water Management Division (GCDC - SWM), and the project architect and developer shall be invited, as a minimum to the pre-construction meeting.

(B) MISS DIG UTILITY ALERT AND FIELD LOCATION OF UTILITIES

Existing public utilities such as gas mains, underground telephone cables, underground electric cables, watermain, sanitary sewers, sanitary sewer house leads, storm sewers, house drains, sump leads and field drains are delineated by Fleis & VandenBrink engineering, inc. on the plans in accordance with information provided by the utility owners. **Fleis & VandenBrink Engineering, Inc.**, is not responsible for the accuracy of the information or the location at which their services exist. The contractor shall contact Miss Dig (1-800-482-7171) to locate and verify the location of existing utilities prior to beginning work. Due to the nature of underground construction, the contractor should expect to encounter underground utilities in addition to the ones shown on the plans.

None of the following are responsible for the accuracy of the existing utility information as shown on the plans or additional underground utilities that may be encountered during construction - Fleis & VandenBrink Engineering, Inc., the owner.

It is the contractor's responsibility to expose all existing utilities that are across the path of the proposed underground utility so the construction engineer may determine if a vertical conflict exists prior to his/her beginning construction. The cost of exposing these existing utilities shall be inclusive to the project. If the contractor elects not to expose these existing utilities prior to his/her beginning construction, he/she shall make any adjustments that the construction engineer determines necessary to the proposed underground utility to avoid these utilities, such as removing and relaying already completed portions of the project or deepening of portions of the proposed underground utility. These adjustments are the contractor's responsibility and shall be done at his/her expense with no additional cost to the owner.

If additional underground utilities, which are not shown on the plans or marked in the field by the utility owners, are encountered, the contractor shall also make construction engineer approved adjustments to the proposed underground utility to avoid these utilities or if the utility is broken, he/she shall repair the broken utility using like materials and with a method approved by the construction engineer. Field adjustment to the underground utility due to unmarked existing utilities or repair of existing utilities shall be the contractor's responsibility and shall be done at his/her expense with no additional cost to the owner.

(C) SUBSURFACE SOIL CONDITIONS

The Bidder and any sub-contractors shall make a personal investigation of the site and the existing surface and sub-surface soil conditions. Neither the Developer nor the Design Engineer will provide soil borings. The Contractor is responsible to acquaint their self with conditions of the work area. The Contractor is advised to determine the subsurface soil conditions and ground water conditions to his/her own satisfaction prior to bidding. No modifications to the unit prices bid for any item will be made due to variable subsurface soil conditions. Dewatering, if determined necessary by the Contractor, by well pointing or deep wells will be incidental to the installation cost of the utility. Any potential bidder making a personal investigation of the site shall first receive permission from the property owner, if a potential bidder intends to take soil borings or dig test holes he/she shall first receive written permission from the property owner to take soil borings or dig test holes. It shall be the potential bidder or his/her Sub-contractor's responsibility to restore the site of the test holes, as close as possible, to its original condition and have the final condition of the site approved by the property owner.

(D) MIOSHA SAFETY REQUIREMENTS

All work, work practice, and materials shall comply with all applicable State and Federal Safety, occupational, health and environmental regulations and also NFPA and ANSI codes, as applicable. All work inside a confined space, such as manholes or other underground structures, shall be coordinated with the utility owner and all worker safety requirements strictly enforced.

(E) TRAFFIC CONTROL

The Contractor shall execute the work in a manner such that traffic on all public roads is maintained and access is provided to all residences, businesses, and commercial establishments. Traffic shall be maintained in accordance with any traffic control plans and the current Edition of the Michigan Manual of Uniform Traffic Control Devices, as amended.

(F) SIGNING AND BARRICADING

Signing and barricading shall be provided by the Contractor in accordance with any details on the plans, the current Michigan Manual of Uniform Traffic Control Devices, and the requirements of the road agency for work done within a public right-of-way. Signs and barricades left in place after dark shall be lighted.

(G) PROTECTION OF HAZARDOUS AREAS

Excavation and hazardous areas shall be protected by barricades or snow fence. Barricades left in place at night shall be lighted.

(H) SURFACE RESTORATION

All areas disturbed during site construction shall be completely restored in strict compliance with specifications and to the satisfaction of the GCDC - WWS and the local municipality. All costs for cleanup, restoration work and other intermediate operations such as, but not limited to: construction signage; street sweeping and maintaining existing utilities shall be considered inclusive of total bid quantity items shown in the proposal. Areas disturbed during construction shall receive a four inch (4") application of topsoil, fertilizer, seed and mulch, according to the application rates specified for Class A Seeding. Restoration work should be performed as soon as possible after construction work is completed in a particular area. Upon the completion of work in an area, all excess soil materials, debris (regardless of type of material), and similar items shall be removed from the project area by the Contractor, and disposed of properly.

(I) NON-STOPPAGE CLAUSE

The Contractor shall be required to complete all work in an expeditious manner and shall not stop construction for extended periods once construction has begun.

(J) FINAL ELEVATION OF SURFACE UTILITIES

All final elevations of manhole castings, hydrants, valves and valve boxes shall be determined by the construction engineer in the field. Adjustments to be made at no additional cost to the Developer.

(K) UTILITY INFORMATION

Public utility information is delineated in accordance with locations provided by utility owners. The Design Engineer is not responsible for the accuracy of the information or the location at which these services exist. Differing field conditions shall be brought to the attention of the construction engineer.

(L) DISPOSAL OF EXCESS EXCAVATED SOIL MATERIAL

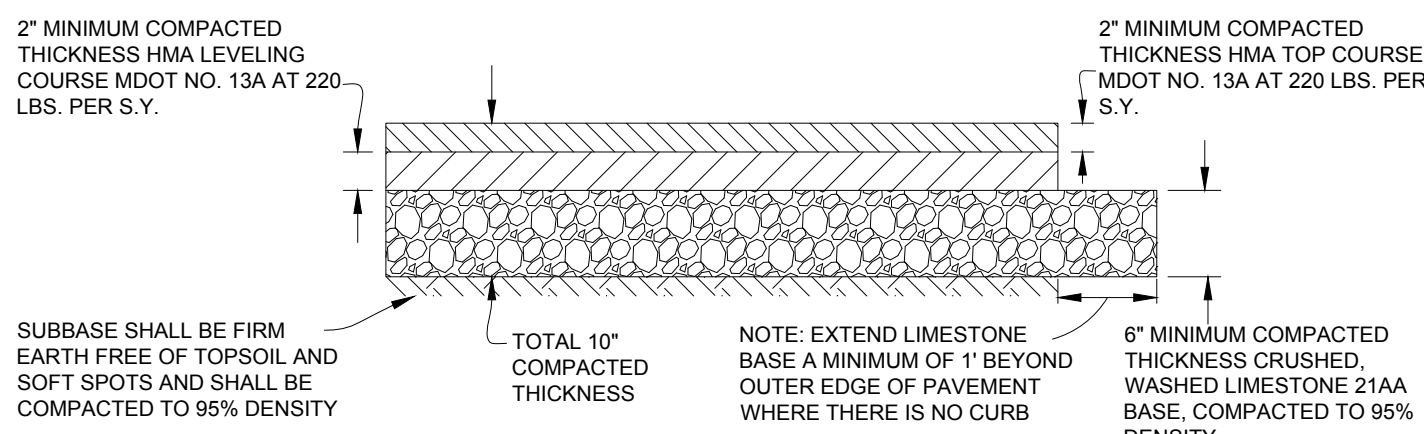
All excess excavated soil materials shall be disposed of by the Contractor at an off site location provided by the Contractor. On site disposal of excess excavated soil material by the contractor shall require approval of the developer.

Adjacent property owners shall be given preference for disposal sites. For Developer financed project, the Developer shall determine excess excavated soil material.

(M) SALVAGED MATERIALS

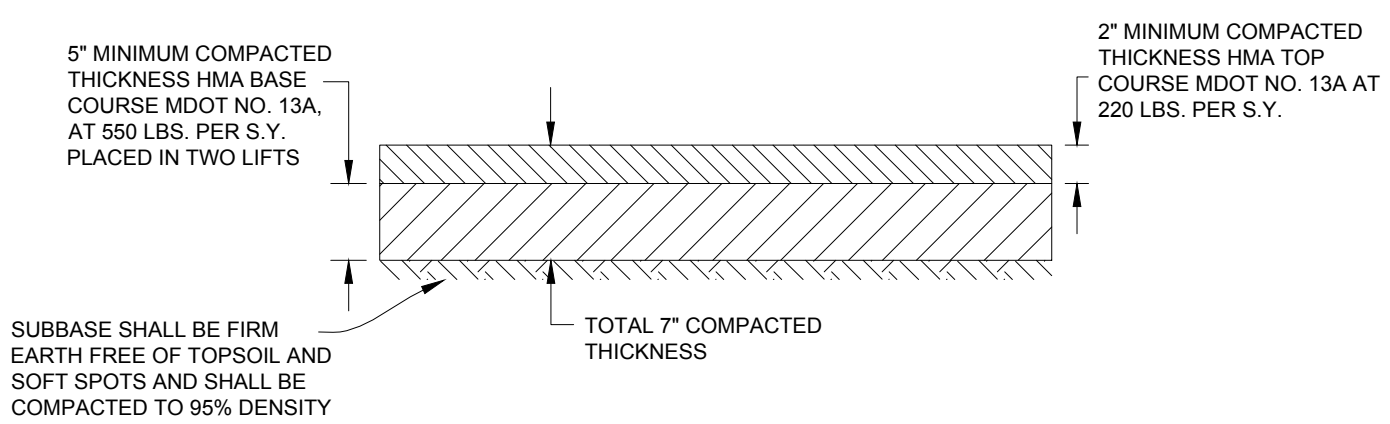
Salvageable materials shall become the property of the Developer, and shall be stored as directed by the Developer.

ALSO SEE CITY OF BURTON STANDARD NOTES AND DETAILS SHEETS ATTACHED WITH THESE PLANS



LIMESTONE BASE WITH HMA SURFACE

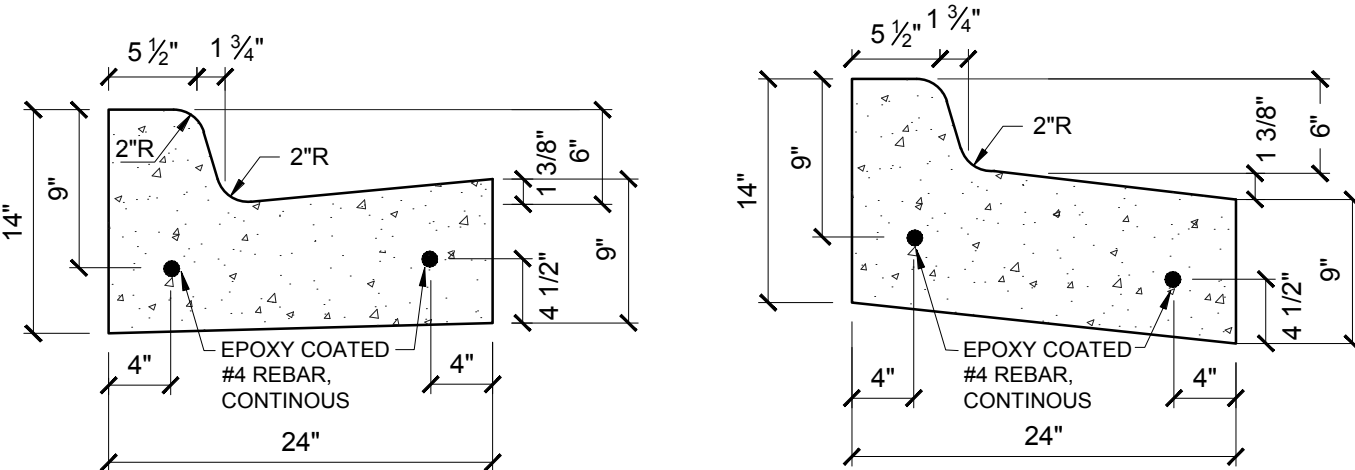
- OR -



HMA BASE WITH HMA SURFACE

HEAVY DUTY PARKING LOT PAVEMENT CROSS SECTION

NOT TO SCALE

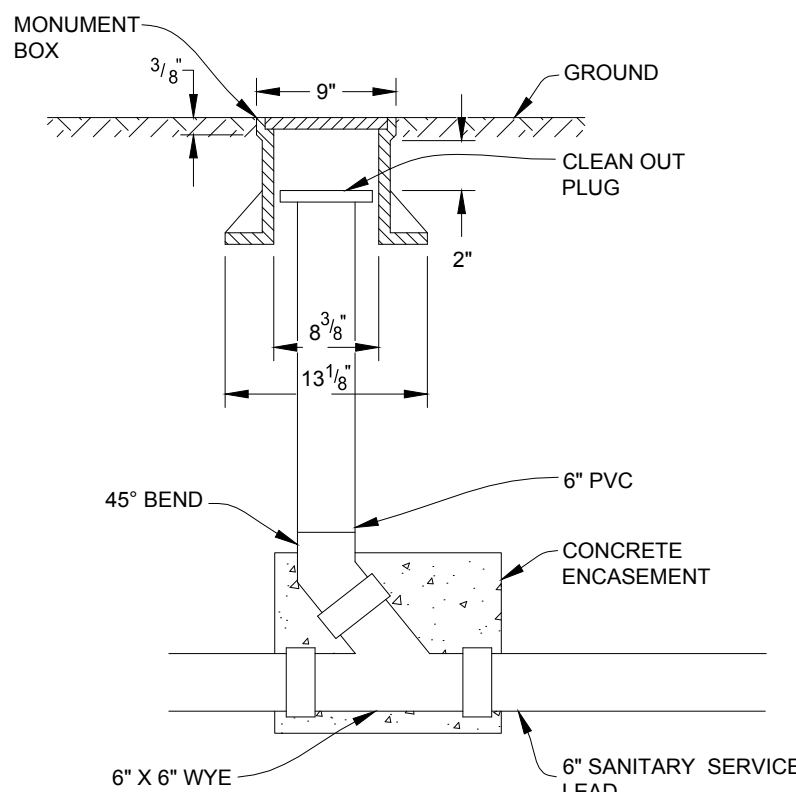


STANDARD CONCRETE CURB AND GUTTER DETAIL

NOT TO SCALE

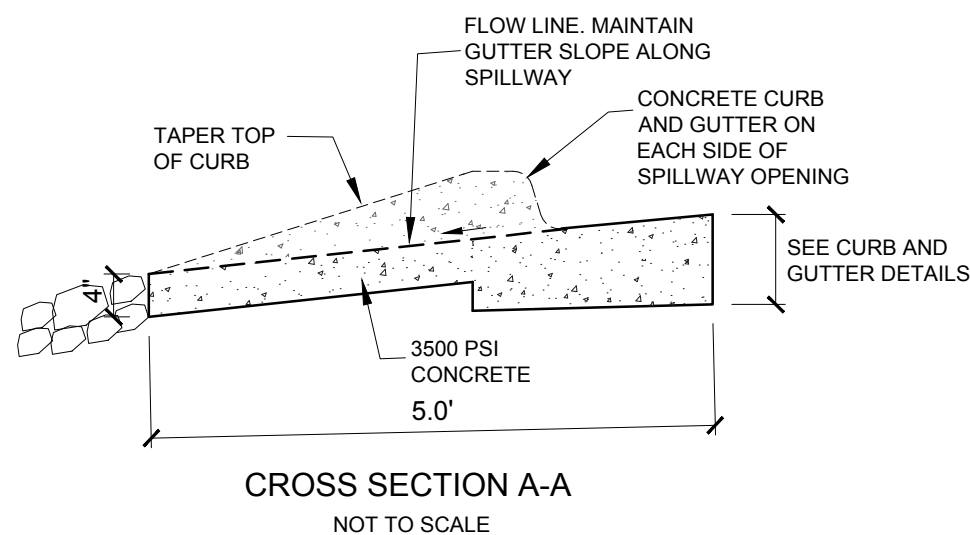
MODIFIED CONCRETE CURB AND GUTTER DETAIL

NOT TO SCALE



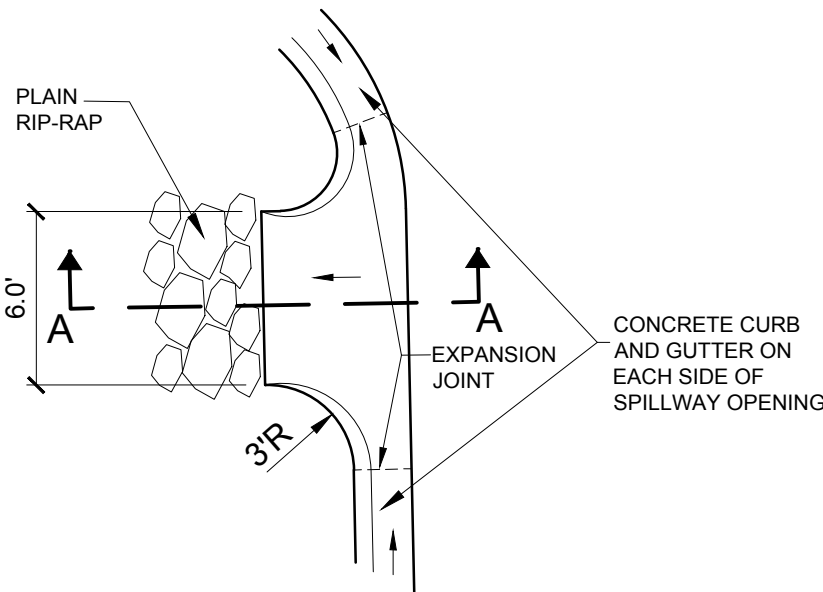
CLEAN OUT DETAIL

NOT TO SCALE



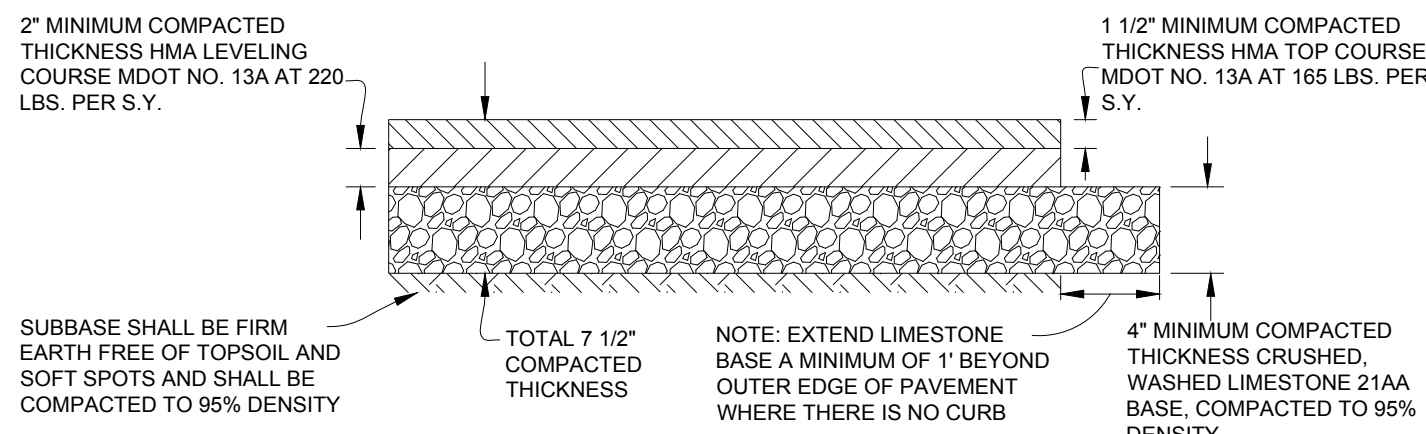
CROSS SECTION A-A

NOT TO SCALE



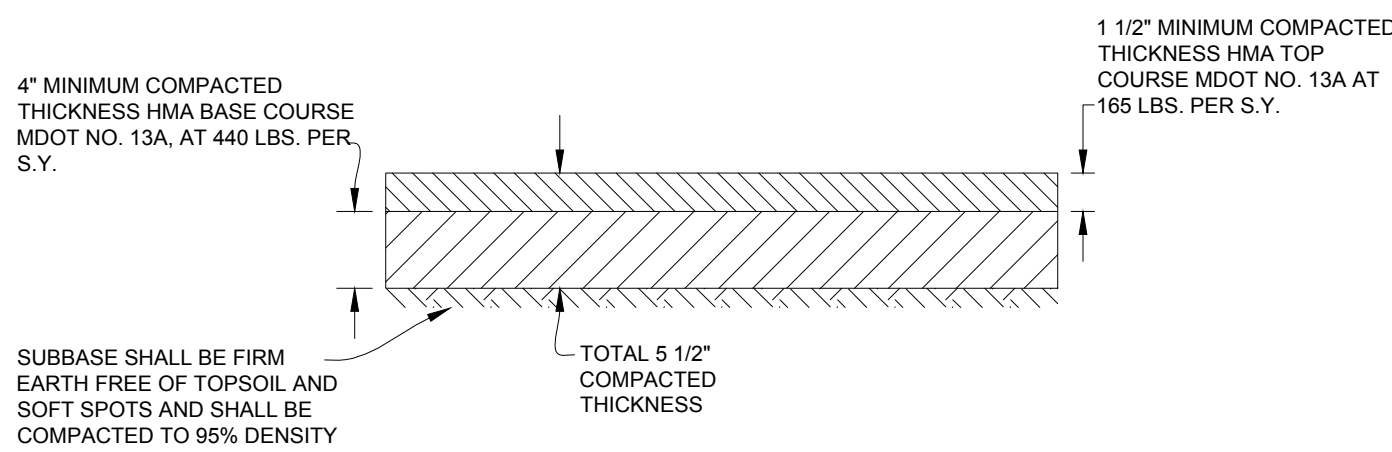
CONCRETE SPILL WAY DETAILS

NOT TO SCALE



LIMESTONE BASE WITH HMA SURFACE

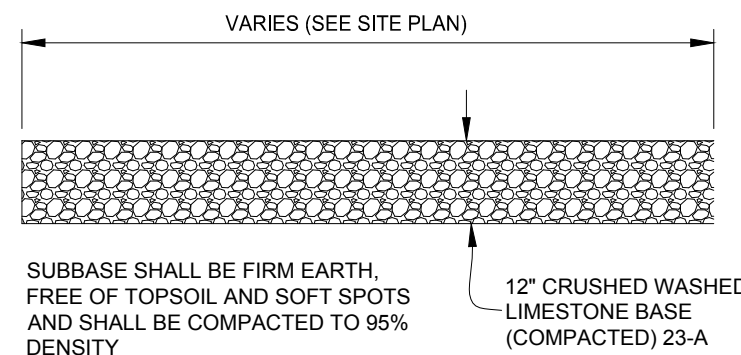
- OR -



HMA BASE WITH HMA SURFACE

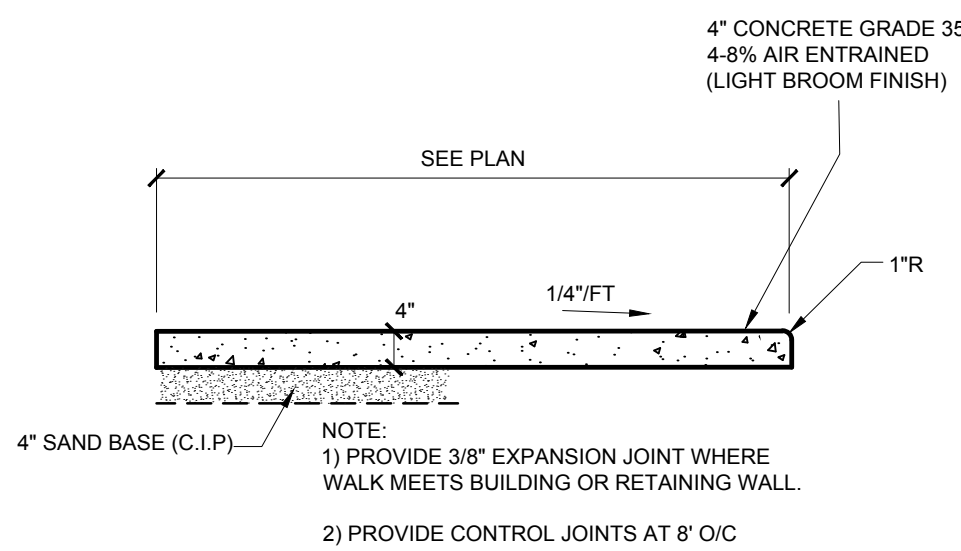
MEDIUM DUTY PARKING LOT PAVEMENT CROSS SECTION

NOT TO SCALE



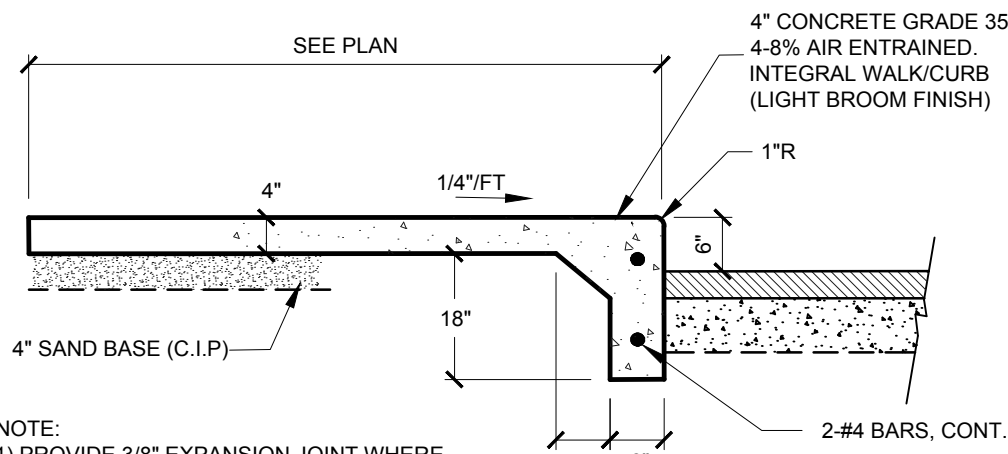
BUS PARKING LOT AGGREGATE CROSS SECTION DETAIL

NOT TO SCALE



STANDARD SIDEWALK DETAIL

NOT TO SCALE



NOTE:
1) PROVIDE 3/8\"/>

INTEGRAL SIDEWALK DETAIL

NOT TO SCALE



Know what's below.
Call before you dig.

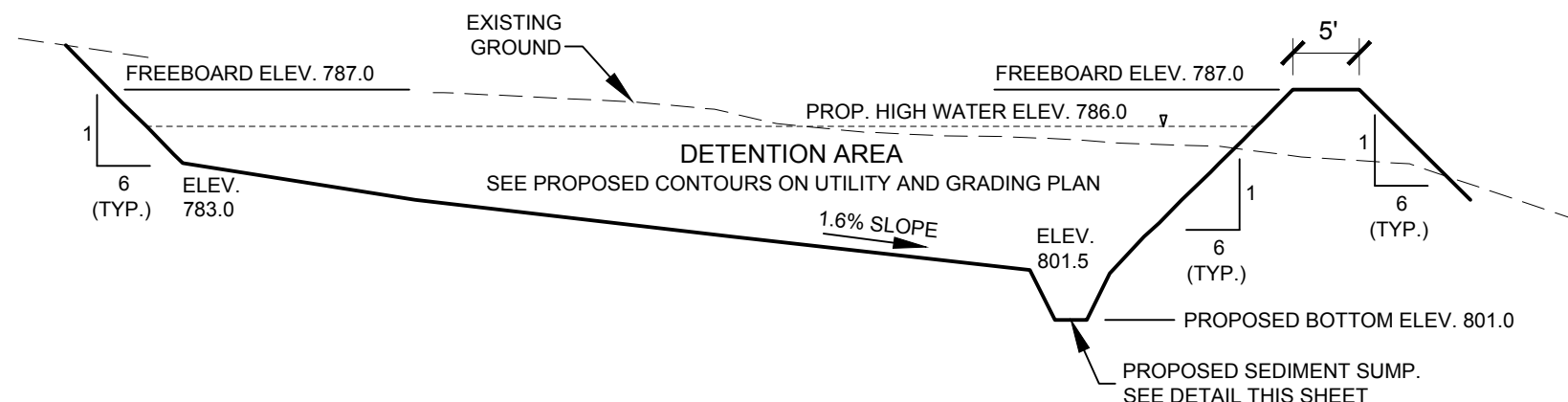
SOUTH FLINT TABERNACLE
PART OF THE SE 1/4 OF SECTION 31, T7N-R7E, CITY OF BURTON, MI
PROPOSED CHURCH FACILITY AND BUS PARKING
PROJECT NOTES & DETAILS

REVISION:

DESIGN TEAM:
LME/DDH
CHECK BY:
GLB/DDH
DRAWING INFORMATION:
824140_C2.0 DET
031716 hss

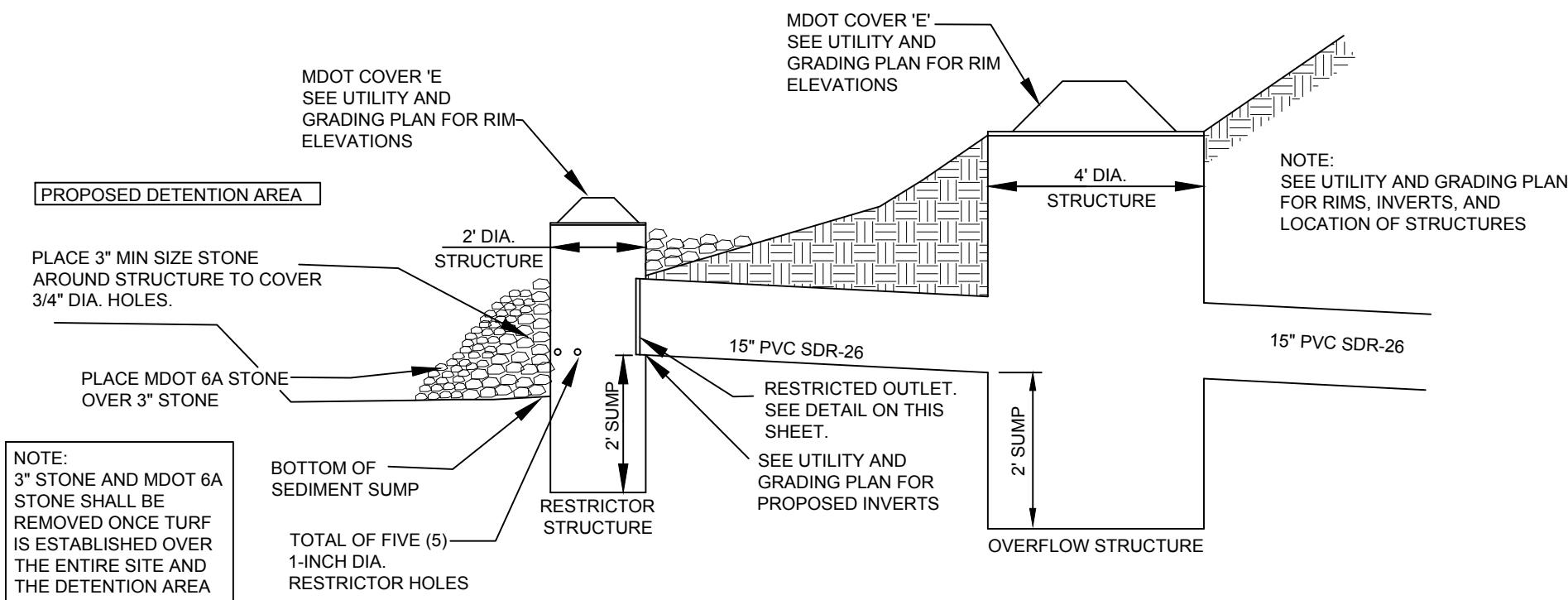
MARCH 2016
F&V PROJECT NO.
824140

C2.1



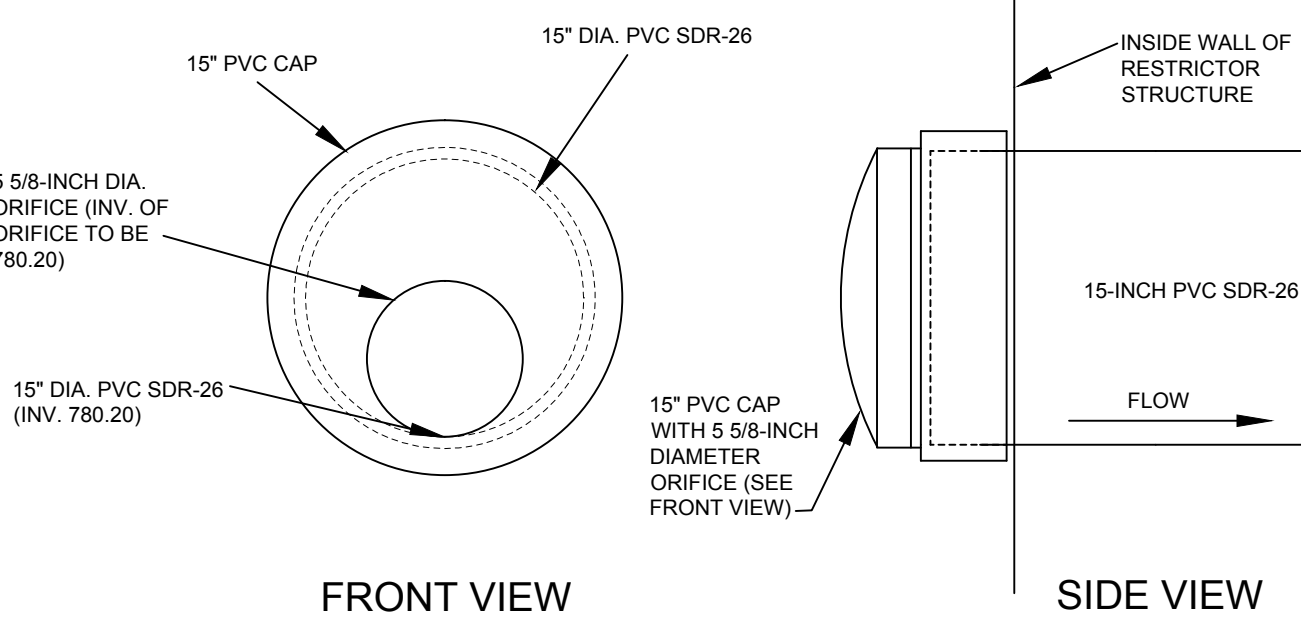
DETENTION AREA TYPICAL CROSS SECTION

NOT TO SCALE



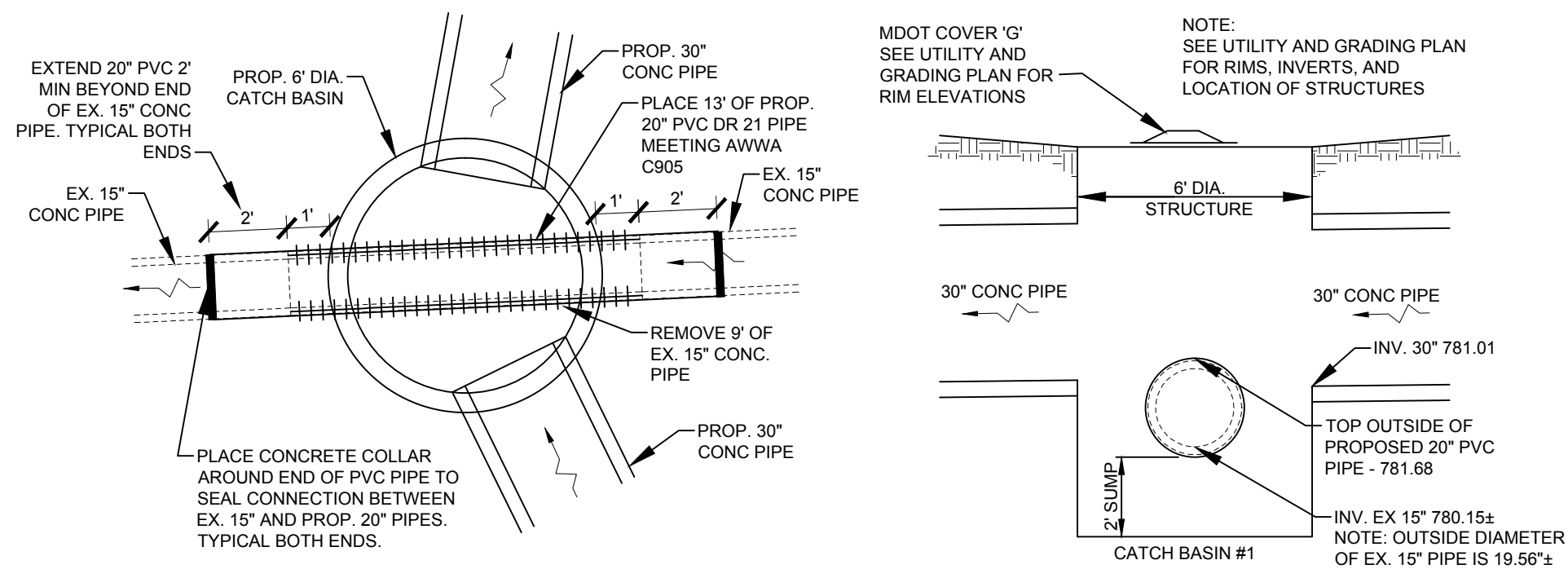
RESTRICTED OUTLET AND OVERFLOW STRUCTURE DETAIL

NOT TO SCALE



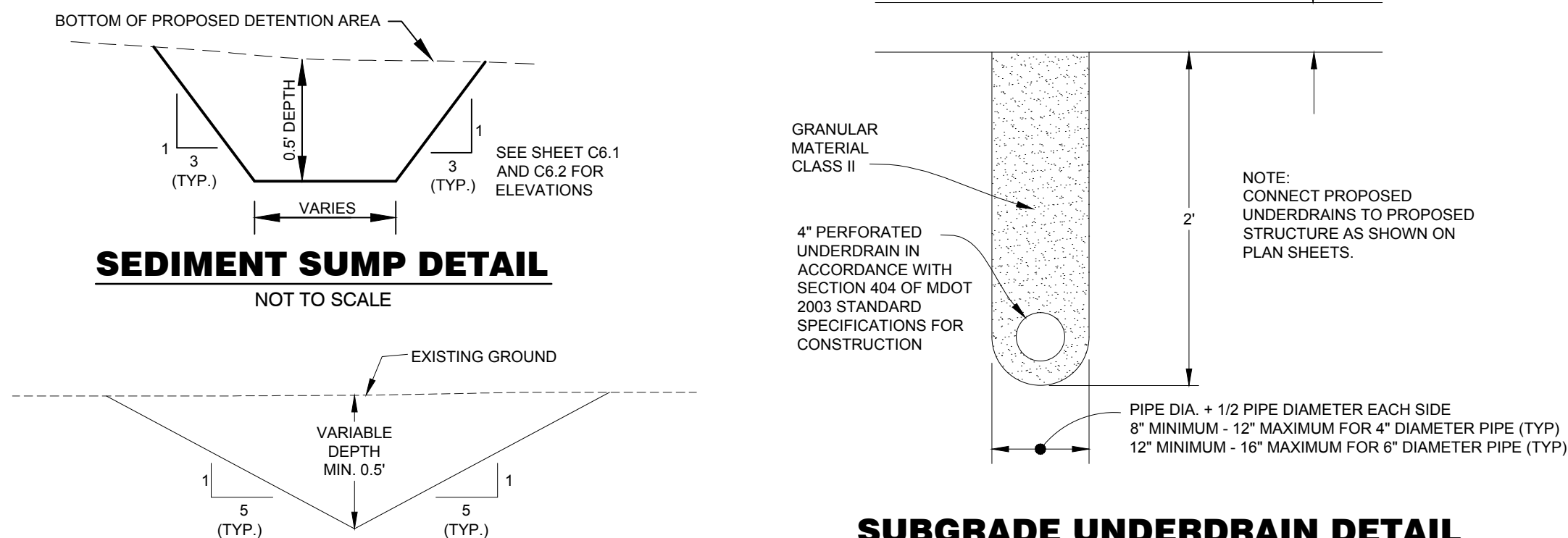
DETENTION AREA RESTRICTED OUTLET DETAIL

NOT TO SCALE



CATCH BASIN #1 DETAIL CROSSING EXISTING STORM SEWER

NOT TO SCALE



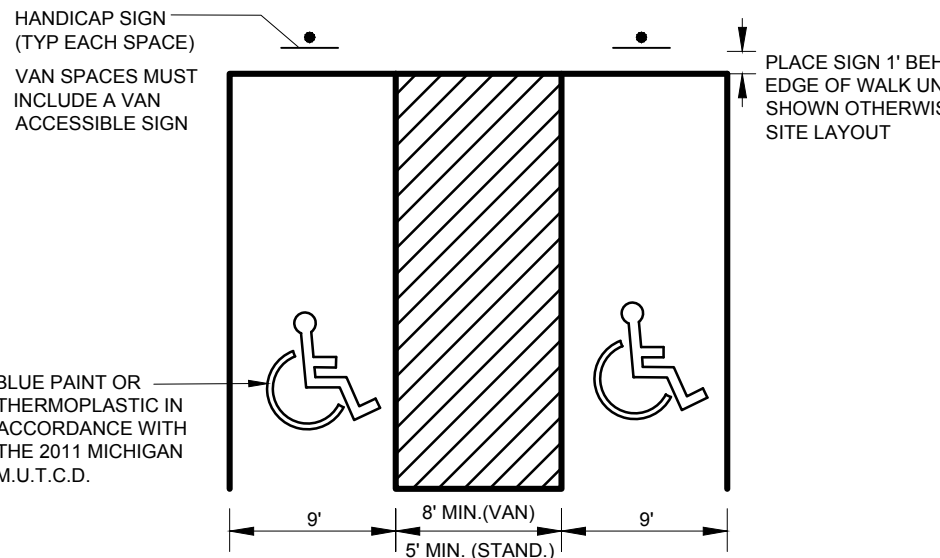
TYPICAL SWALE CROSS SECTION

NOT TO SCALE

SUBGRADE UNDERDRAIN DETAIL

(MDOT STANDARD PLAN R-80-D)

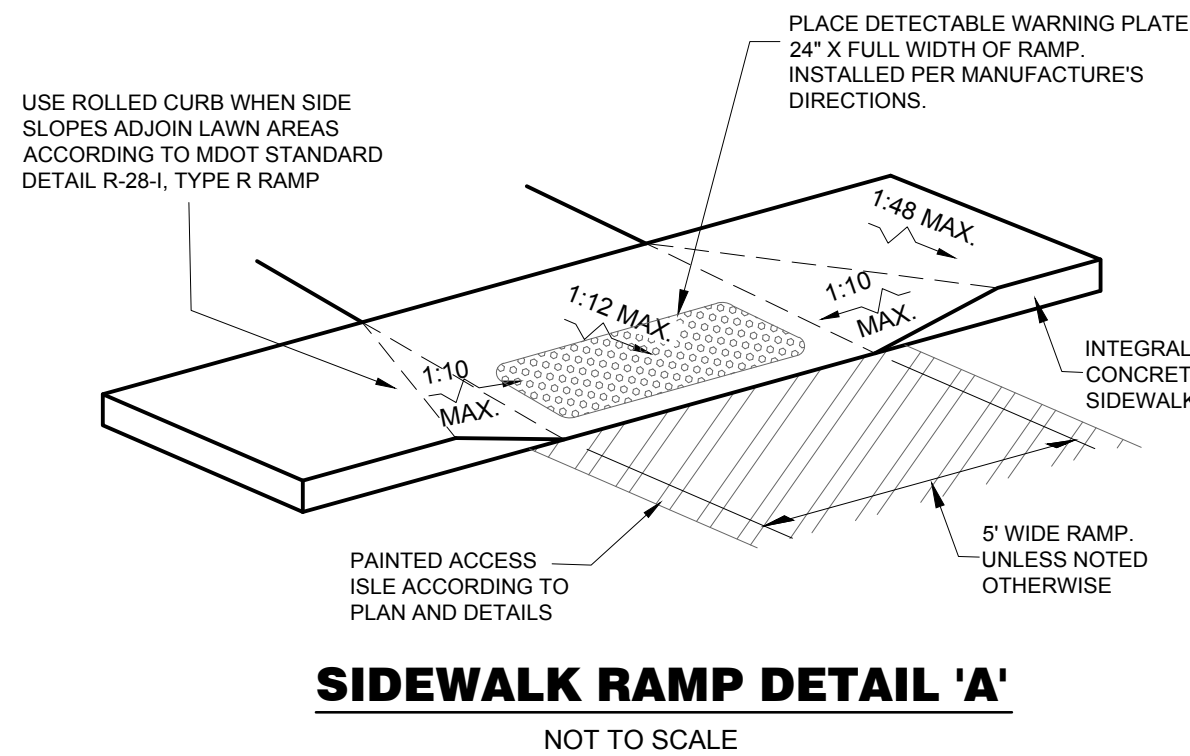
NOT TO SCALE



REFER TO THE FOLLOWING FOR ADDITIONAL DETAILS AND REQUIREMENTS:
1) ADA-ABA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES AS AMENDED AUGUST 5, 2005.
2) ICC/ANSI A-117.1-1998 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
3) UNLESS SPECIFIED OTHERWISE BY LOCAL REGULATIONS, MARKINGS SHALL BE BLUE IN COLOR AND PLACED USING PAINTS OR THERMOPLASTICS IN ACCORDANCE WITH THE 2011 MICHIGAN M.U.T.C.D.

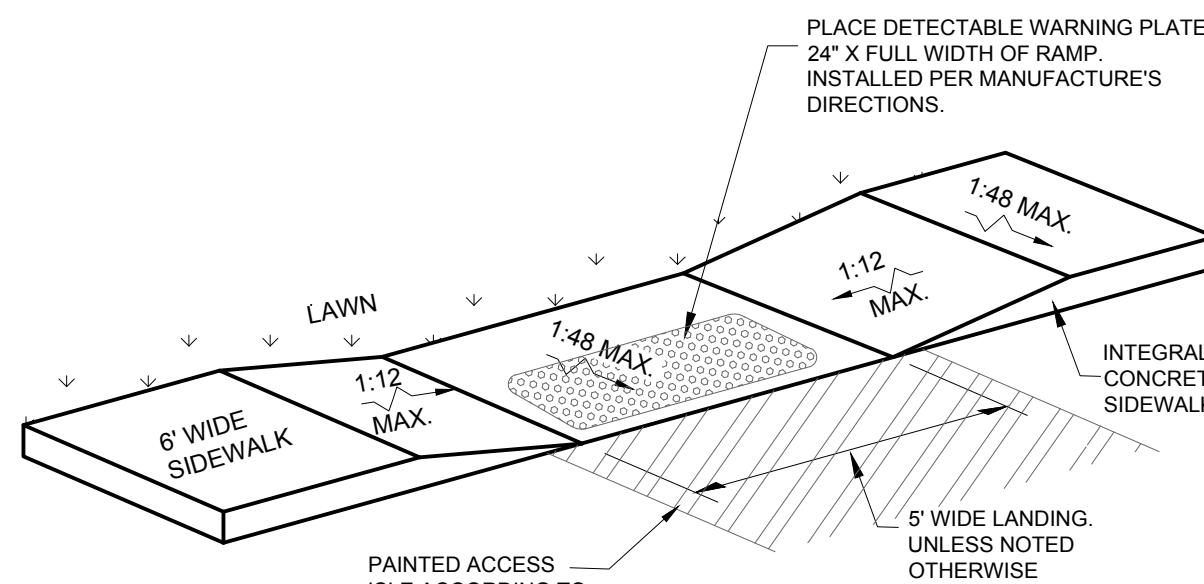
BARRIER FREE PARKING DETAIL

NOT TO SCALE



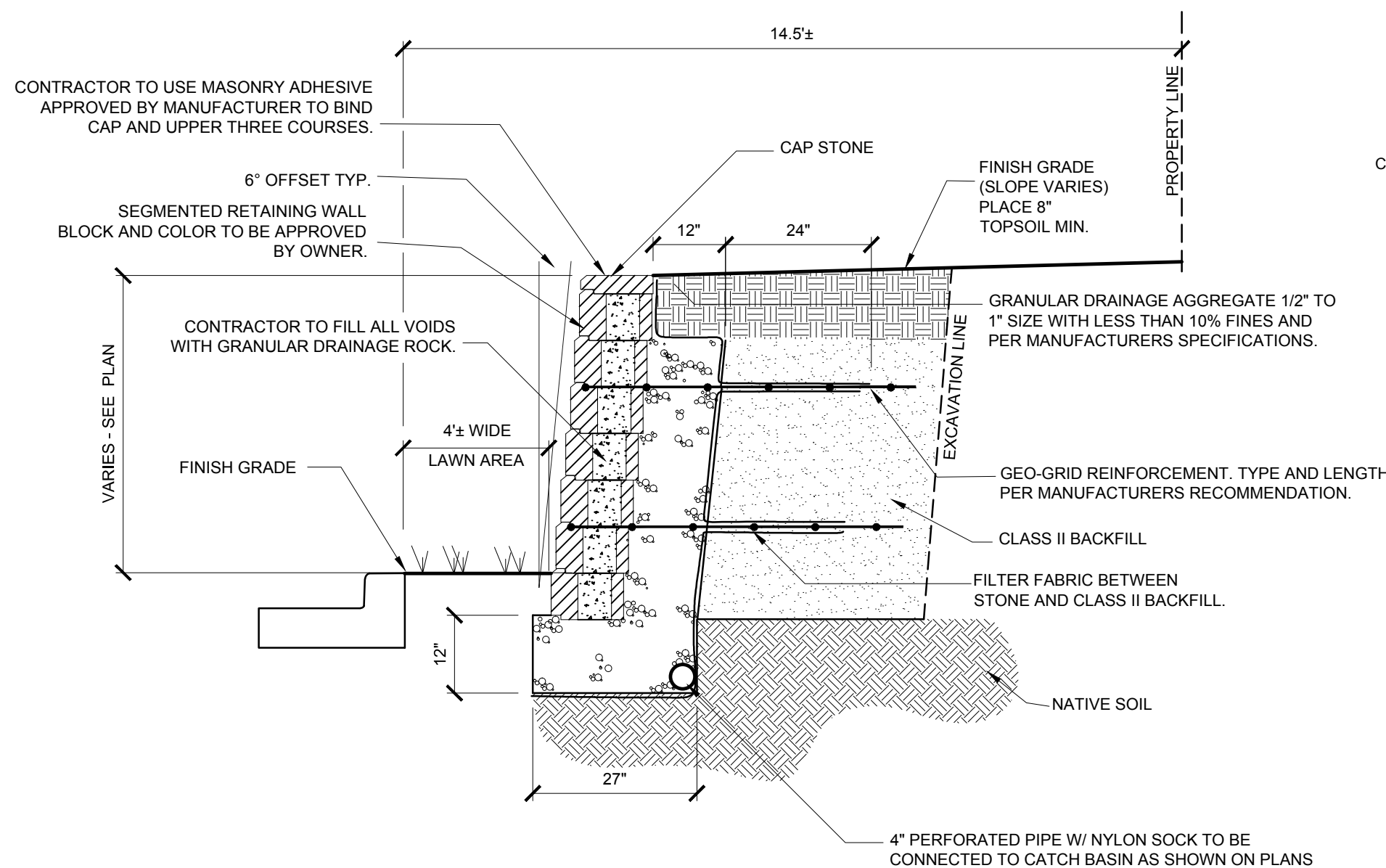
SIDEWALK RAMP DETAIL 'A'

NOT TO SCALE



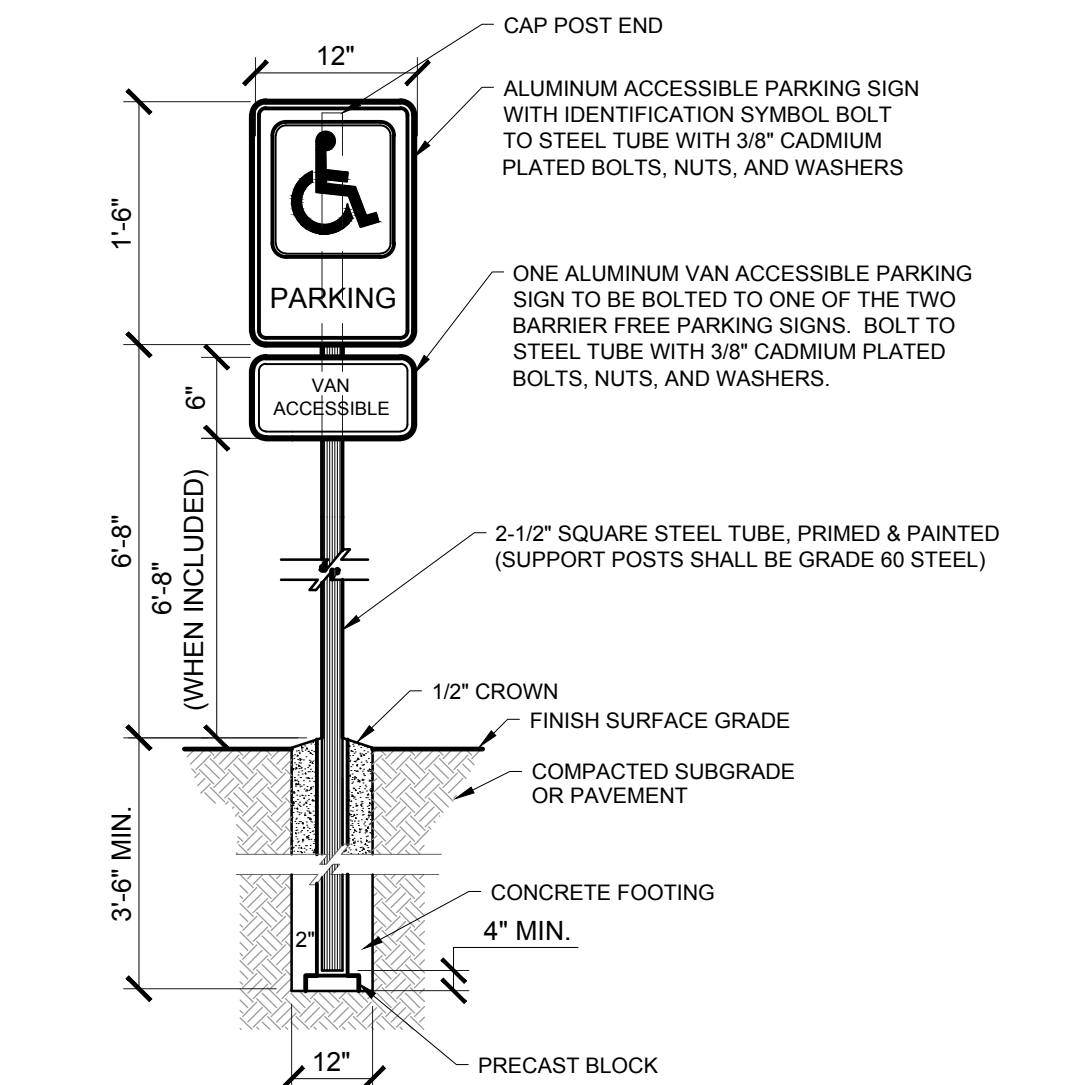
SIDEWALK RAMP DETAIL 'B'

NOT TO SCALE



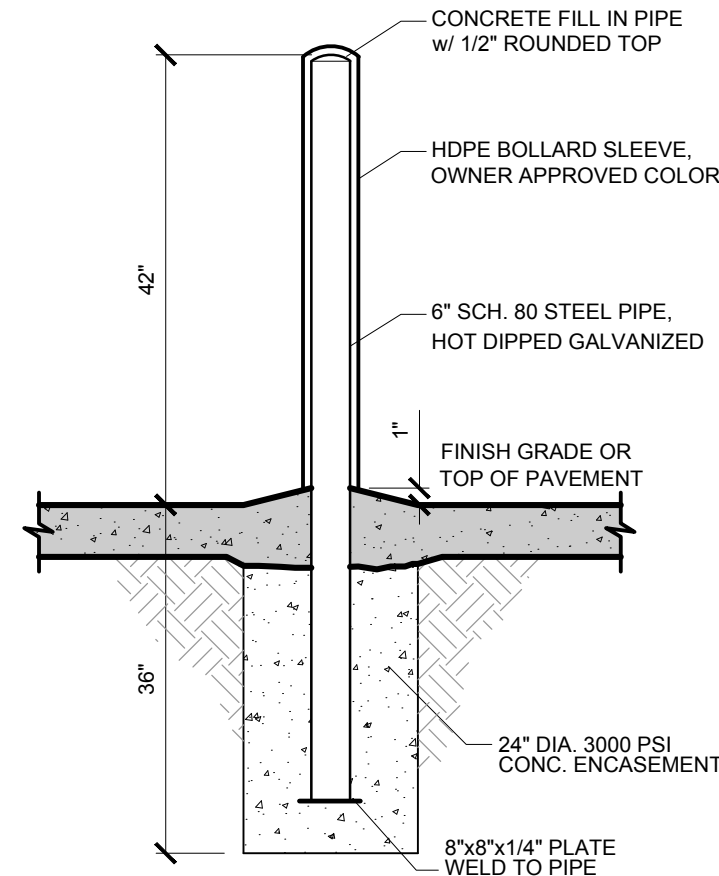
DECORATIVE SEGMENTED BLOCK WALL DETAIL

NOT TO SCALE



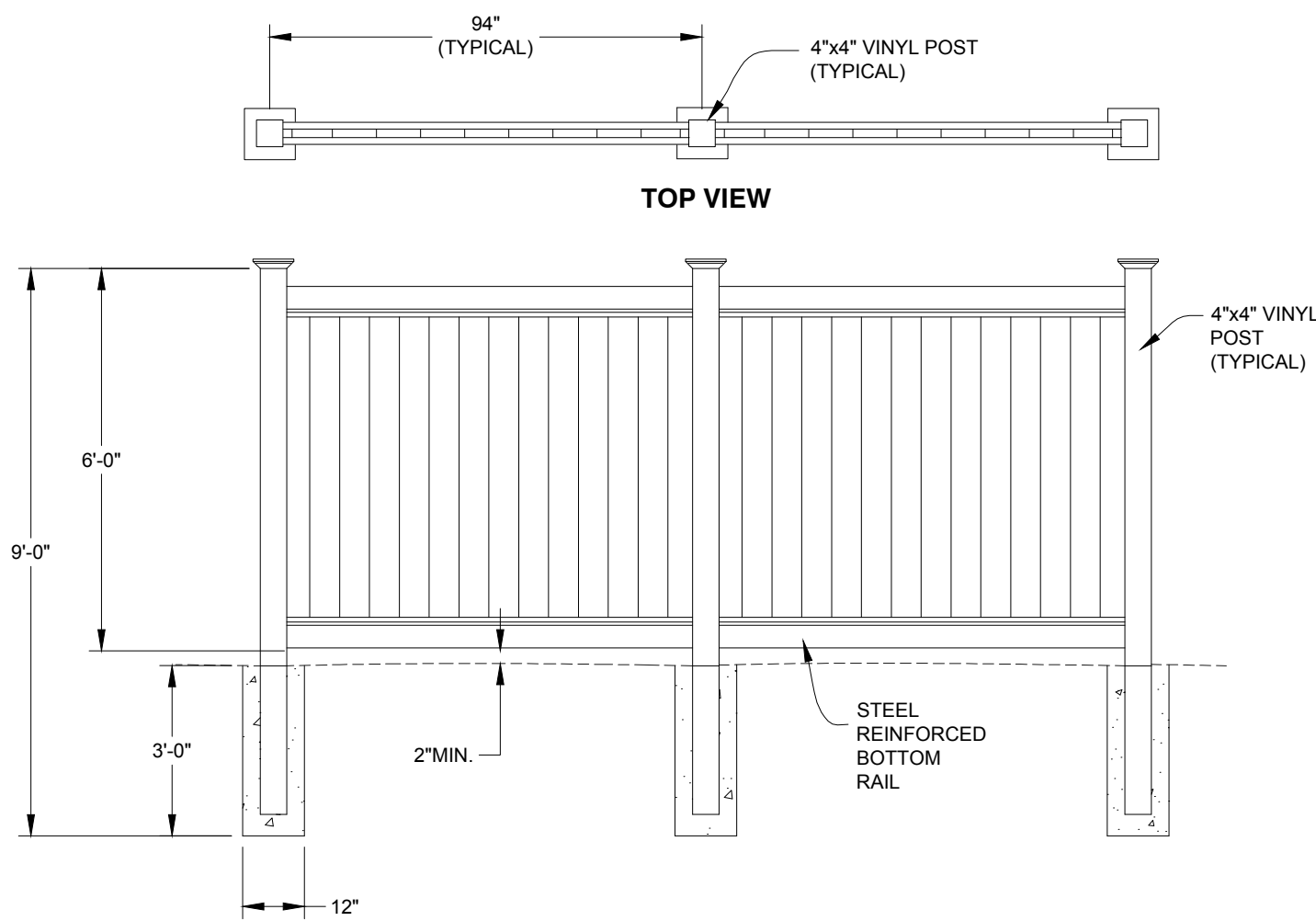
BARRIER FREE PARKING SIGN DETAIL

NOT TO SCALE



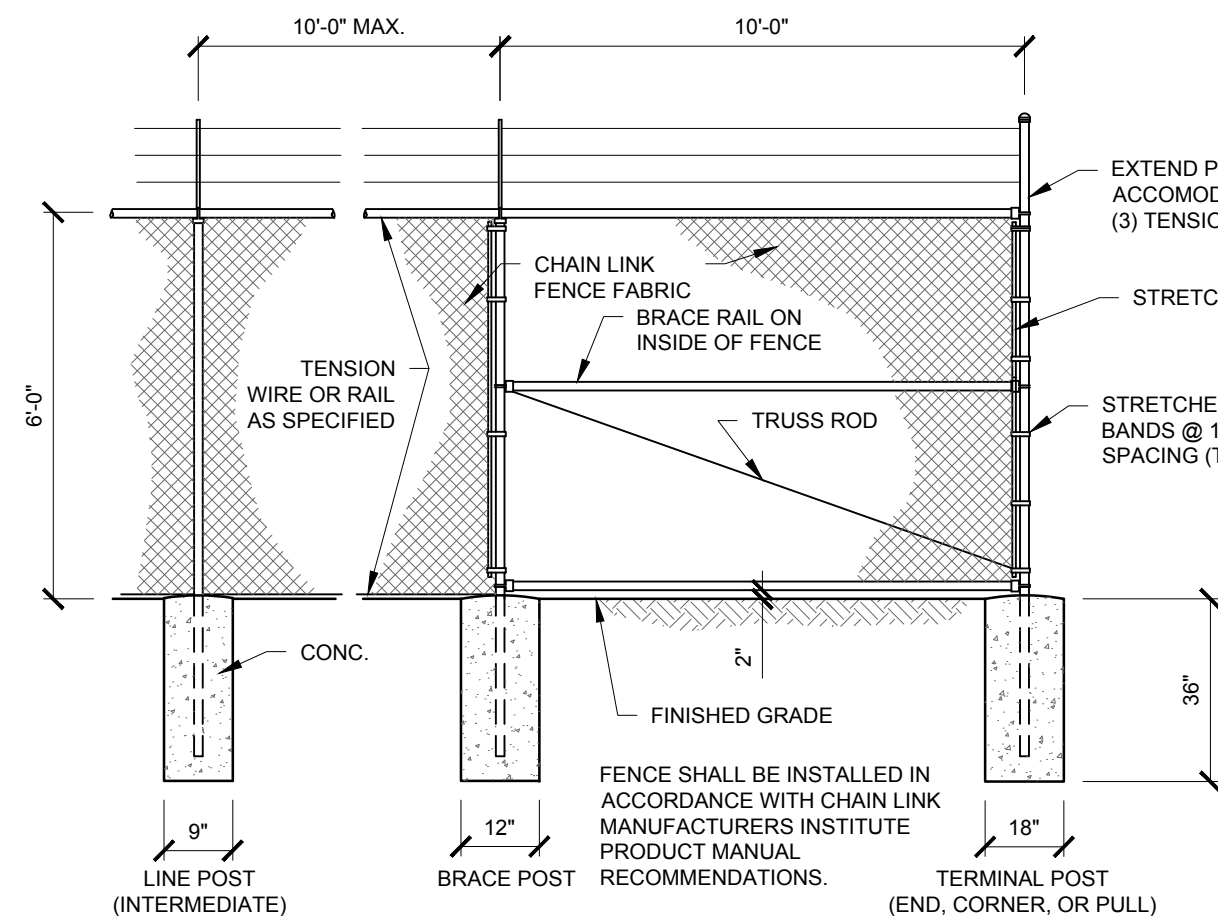
PIPE BOLLARD DETAIL

NOT TO SCALE



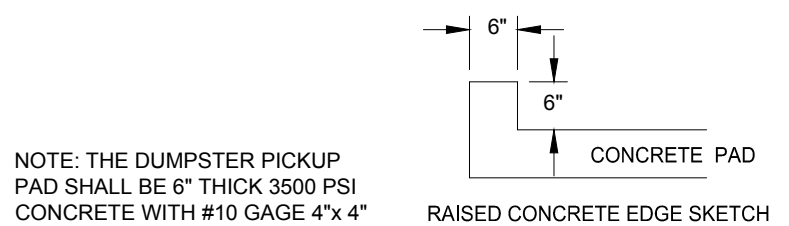
VINYL FENCE DETAIL

NOT TO SCALE

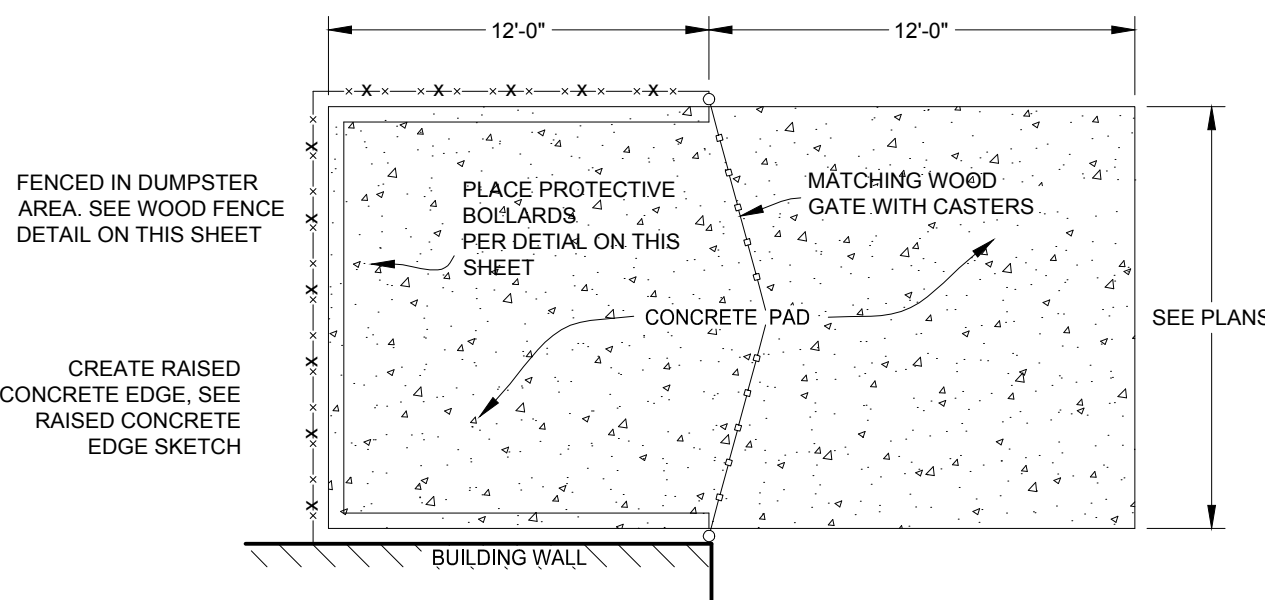


CHAINLINK FENCE DETAIL

NOT TO SCALE

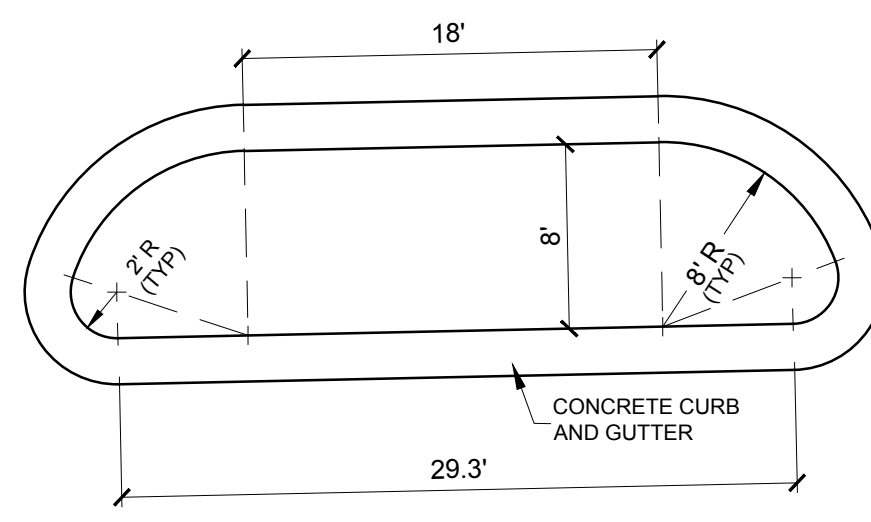


NOTE: THE DUMPSTER PICKUP PAD SHALL BE 6" THICK 3500 PSI CONCRETE WITH #10 GAGE 4"x4" WIRE MESH



TRASH ENCLOSURE PAD DETAIL

NOT TO SCALE



TYPICAL PARKING ISLAND DETAIL

NOT TO SCALE



Know what's below.
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REVISION:

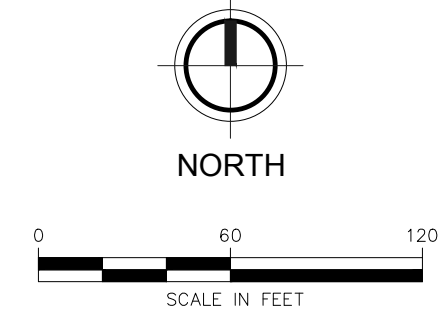
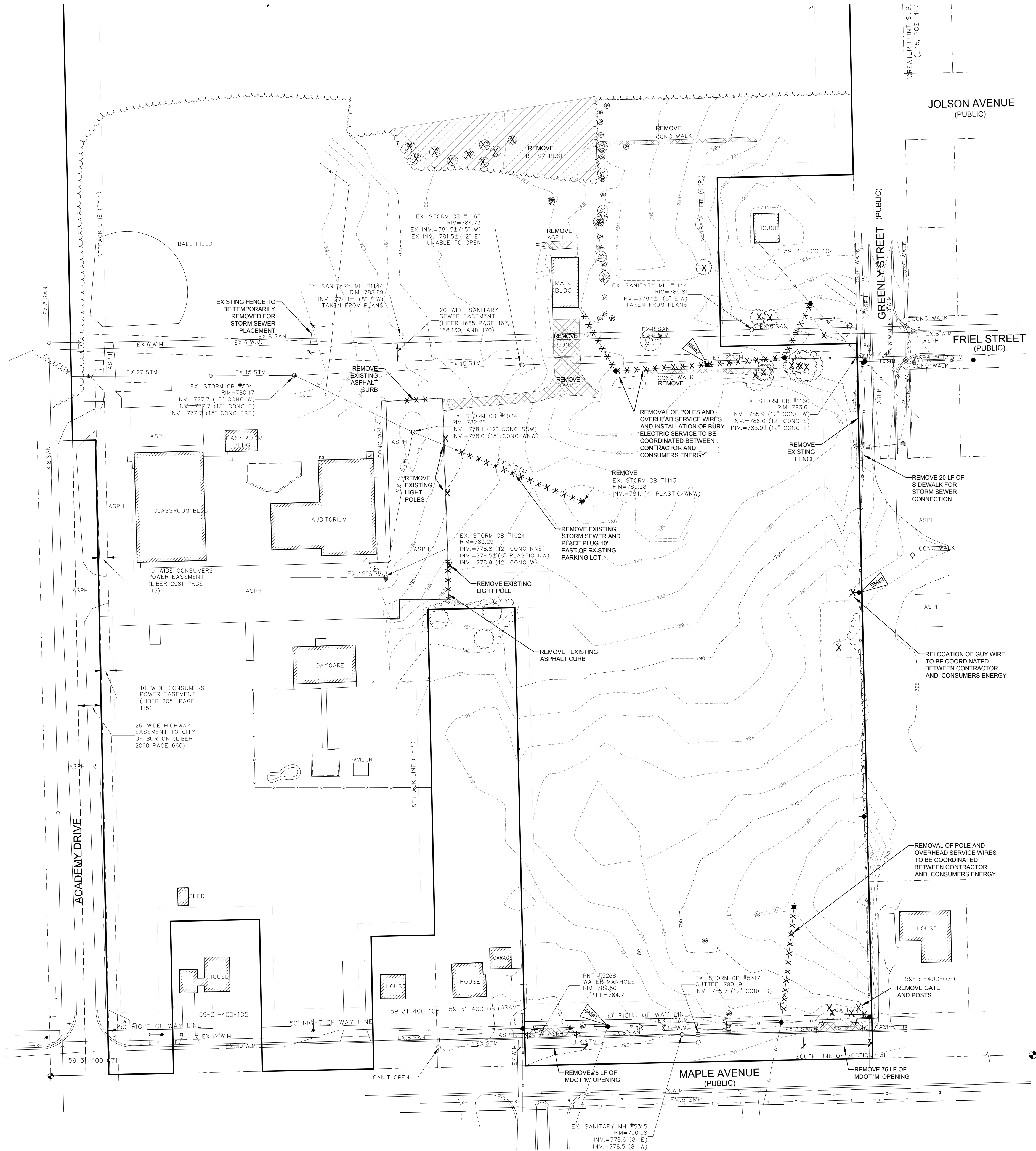
SOUTH FLINT TABERNACLE
PART OF THE SE 1/4 OF SECTION 31, T7N-R7E, CITY OF BURTON, MI
PROPOSED CHURCH FACILITY AND BUS PARKING
EXISTING CONDITIONS AND REMOVALS

DESIGN TEAM:
LWE/DH
CHECK BY:
GLB/DH/MARCH 2016
DRAWING INFORMATION:
824140_C3.0 EXIST
031616 Issue

MARCH 2016

F&V PROJECT NO.
824140

C3.0



EXISTING FEATURES LEGEND

	TREE (DECIDUOUS)		GUARD POST		SURVEY CONTROL POINT
	WOODS/BRUSH LINE		ELECTRICAL RISER/TRANSFORMER		BENCHMARK
	TREE (CONIFEROUS)		ELECTRICAL MANHOLE		SECTION CORNER
	STUMP		CABLE BOX		WATERMAIN
	MANHOLE		TELEPHONE RISER		SANITARY SEWER
	SANITARY CLEANOUT		TELEPHONE MANHOLE		STORM SEWER
	RD. CATCH BASIN		POWER POLE		TELEPHONE
	SQ. CATCH BASIN		LIGHT POLE		ELECTRIC
	FIRE HYDRANT		YARD LIGHT		OVERHEAD WIRES
	WATER VALVE		SIGN		CABLE T.V.
	CURB STOP & BOX		MAILBOX		FENCE
	WATER MANHOLE		PIPE END		CULVERT
	WATER METER				

NOTE: ALL ITEMS LISTED ON THE LEGEND MAY NOT BE PRESENT ON DRAWING.

BENCHMARKS

BM #1 EL. 791.31
RAILROAD SPIKE IN NORTH FACE
OF POWER POLE (NGVD 88)

BM #2 EL. 794.26
RAILROAD SPIKE IN WEST FACE
OF POWER POLE (NGVD 88)

BM #3 EL. 790.26
RAILROAD SPIKE IN SOUTH FACE
OF POWER POLE (NGVD 88)

REMOVAL LEGEND

	PAVEMENT/GRAVEL REMOVAL
	STRUCTURE / PIPELINE TO BE REMOVED
	REMOVAL ITEM
	REMOVE ALL EXIST. TREE STUMPS ON SITE

GENERAL NOTES:

- THE TOPOGRAPHIC INFORMATION SHOWN WAS TAKEN FROM THE TOPOGRAPHIC SURVEY COMPLETED BY FLEIS & VANDENBRINK ENGINEERING, INC. IN SEPTEMBER OF 2015. SOME INFORMATION SHOWN (OUTSIDE THE PROJECT WORK AREA) WAS TAKEN FROM AVAILABLE RECORDS AND AERIAL PHOTOGRAPHY.
- THE EASEMENTS DEPICTED ON THIS DRAWING WERE TAKEN FROM THE TITLE SEARCH PREPARED BY CISLO TITLE COMPANY DATED SEPTEMBER 2, 2015 WITH REFERENCE NUMBER: 15-71625.
- EXISTING UTILITIES HAVE NOT BEEN EXPOSED FOR VERIFICATION OF LOCATION AND ELEVATION AT THIS TIME. THE EXISTING UTILITIES DEPICTED ON THIS DRAWING WERE DETERMINED FROM ON-SITE OBSERVATIONS AND FROM AVAILABLE RECORDS AS PROVIDED BY THE UTILITY OWNERS. FLEIS & VANDENBRINK ENGINEERING, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED OR THE LOCATIONS AT WHICH SERVICE WILL BE PROVIDED.
- THERE ARE NO STATE OR FEDERALLY REGULATED WETLANDS OR FEMA FLOOD PLAIN WITHIN THE PROJECT AREA.

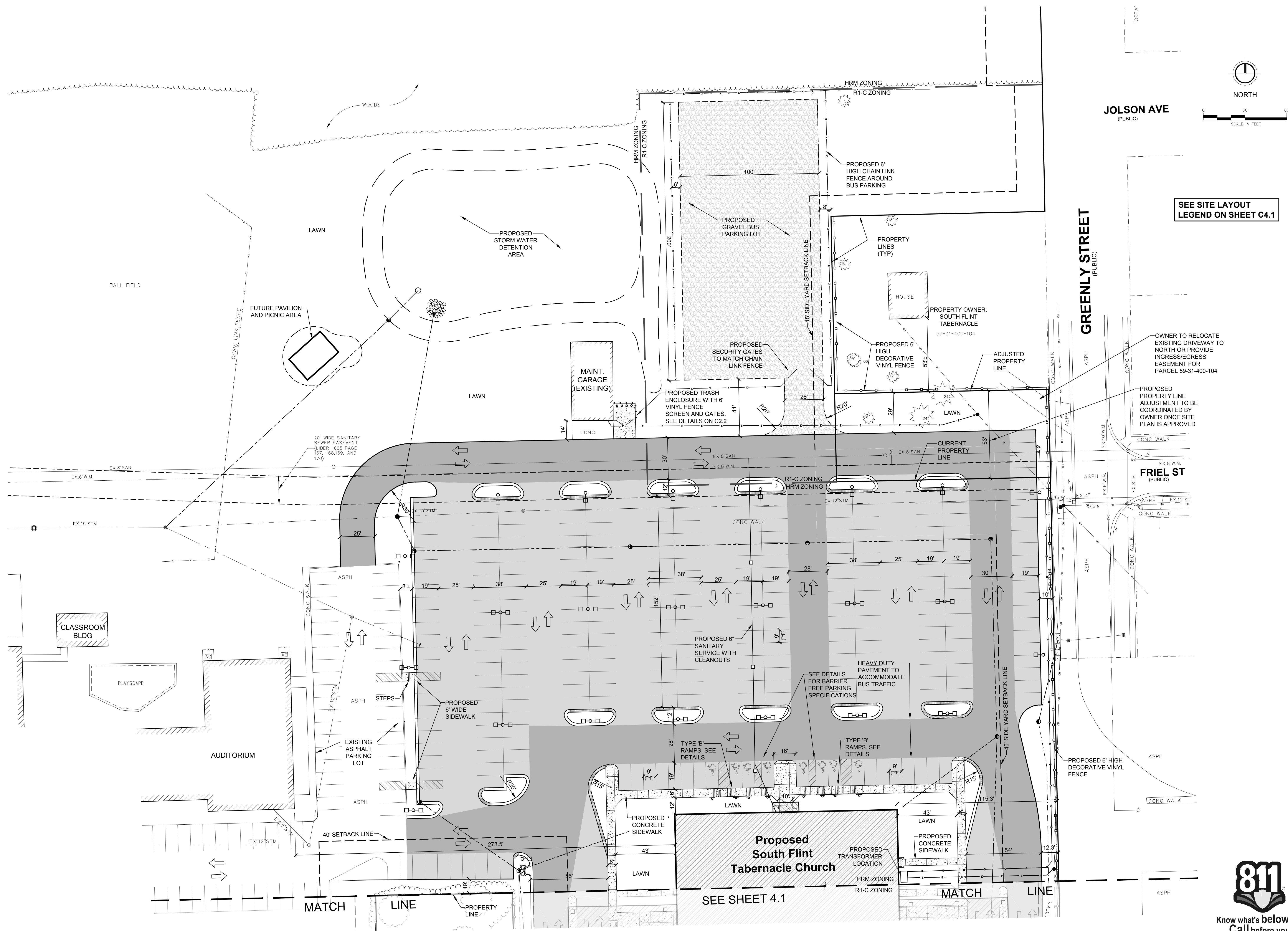
DEMOLITION NOTES:

- PRIOR TO BEGINNING ANY OF THIS WORK THE CONTRACTOR SHALL NOTIFY THE CITY OF BURTON DPW OFFICE AND FILL OUT THE NECESSARY FORMS OR PERMITS. THE CONTRACTOR SHALL CUT AND SEAL THE EXISTING SANITARY LEAD AT THE PROPERTY LINE AND SHALL DISCONNECT THE EXISTING WATER SERVICE LEAD AT THE CURB BOX SHUT-OFF VALVE ON THE HOUSE SIDE OF THE VALVE.
- ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES. ALL DEMOLITION OPERATIONS SHALL COMPLY WITH MIOSHA REGULATIONS INSOFAR AS THEY APPLY TO THE REQUIRED WORK. A SOIL EROSION CONTROL PERMIT WILL BE REQUIRED PRIOR TO DEMOLITION.
- THE CONTRACTOR SHALL REMOVE AND CLEAR ALL TREES, BRUSH, FENCES, BUILDINGS, CURB, AND ASPHALT AS SHOWN ON THE PLANS OR AS DIRECTED BY THE CONSTRUCTION ENGINEER.
- ALL DEMOLITION MATERIAL SHALL BE PROPERLY REMOVED FROM THE SITE AND DISPOSED OF IN A LEGALLY DESIGNATED DISPOSAL AREA. NO ON-SITE BURNING WILL BE ALLOWED WITHOUT PROPER PERMISSION. PERMITS AND FEES FOR DISPOSAL OF DEMOLITION MATERIAL SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL REMOVE ANY ITEMS FOUND DURING EXCAVATION SUCH AS WALLS, FOUNDATIONS AND FOOTINGS, IN THEIR ENTIRETY. ANY FOUND BUILDING DRAINS AND UTILITY LEADS SHALL BE LOCATED AND PROPERLY PLUGGED. UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
- BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO NINETY-FIVE PERCENT (95%) OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.
- AT THE CONCLUSION OF THE DEMOLITION OPERATIONS, THE ENTIRE WORK AREA SHALL BE LEFT IN A CLEAN CONDITION WITH ANY PROTECTIVE DEVICES AND BARRIERS REMOVED. ALL EXPOSED AREAS SHALL BE SUITABLY TOPSOILED, SEEDED AND MULCHED.



Know what's below.
Call before you dig.





REVISION:

SOUTH FLINT TABERNACLE
PART OF THE SE 1/4 OF SECTION 31, T7N-R7E, CITY OF BURTON, MI
PROPOSED CHURCH FACILITY AND BUS PARKING
SOIL EROSION & SEDIMENTATION CONTROL PLAN

DESIGN TEAM:
LME/DH
CHECK BY:
GLH/DH/MARCH 2016
DRAWING INFORMATION:
824140, C5.0 SESC
031716 Issue

MARCH 2016

FSV PROJECT NO.
824140

C5.0

SESC NOTES:

1. SEE SOIL EROSION CONTROL NOTES AND UNIFIED KEYING SYSTEM ON ATTACHMENT SHEET OF THESE PLANS.
2. TOTAL PROPERTY BOUNDARY = 24.5± ACRES
TOTAL DISTURBED AREA = 10.0± ACRES (APPROX. GRADING LIMITS)
3. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING A SESC PERMIT APPLICATION TO AND OBTAINING A PERMIT FROM THE CITY OF BURTON PRIOR TO THE START OF CONSTRUCTION.
4. THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT COVERS ONLY THE AREA BOUNDED BY THE PROJECT CUT/FILL LIMITS INCLUDING THE TOPSOIL STOCKPILE AREAS. IF THE CONTRACTOR DISTURBS AREAS OUTSIDE THESE CUT/FILL LIMITS THE CONTRACTOR WILL BE REQUIRED TO EITHER AMEND THE EXISTING SOIL EROSION AND SEDIMENTATION CONTROL PERMIT AND BOND OR ACQUIRE AN ADDITIONAL PERMIT TO COVER THE ADDITIONAL DISTURBED AREAS.
5. AN NPDES - NOTICE OF COVERAGE WILL BE REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING TO AND OBTAINING THE NOTICE OF COVERAGE FROM THE DEQ.
6. THE PROJECT GRADING LIMITS ARE APPROXIMATELY 1400' EAST OF THE GIBSON DRAIN EXTENSION.
7. AFTER THE PROJECT IS COMPLETED AND ACCEPTED BY AGENCIES, THE OWNER OF THE DRAINAGE SYSTEM IS RESPONSIBLE FOR CLEANING AND MAINTAINING THE DETENTION AREA TO MAINTAIN FUNCTIONALITY OF THE DRAINAGE SYSTEM.

APPLICANT/OWNER

SOUTH FLINT TABERNACLE
1291 EAST MAPLE AVENUE
BURTON, MI 48529
PHONE: 810-743-1710

SESC LEGEND

	CATCHBASIN INLET FILTER
	SILT FENCE
	APPROXIMATE LIMITS OF DISTURBANCE
	CONTOURS
	GRADE BREAKLINE
	STANDARD CURB & GUTTER
	MODIFIED CURB & GUTTER
	HMA PAVEMENT - MEDIUM DUTY
	HMA PAVEMENT - HEAVY DUTY
	CONCRETE SIDEWALK
	CATCHBASIN
	STORM SEWER
	ROOF DRAIN
	PIPE END SECTION
	RIP RAP
	SANITARY CLEANOUT
	SANITARY SERVICE
	WATER SERVICE
	HYDRANT
	SIDEWALK RAMP
	ELECTRIC SERVICE
	GAS SERVICE

**SOIL EROSION
KEY DESCRIPTIONS**

- 1 DUST CONTROL
- 2 SELECTIVE GRADING AND SHAPING
- 6 SEEDING AND MULCH
- 13 RIP RAP
- 24 GRASSED WATERWAY
- 34 SEDIMENT BASIN
- 36 CATCHBASIN INLET PROTECTION
- 54 GEOTEXTILE SILT FENCE

BENCHMARKS

BM #1 EL. 791.31
RAILROAD SPIKE IN NORTH FACE
OF POWER POLE (NGVD 88)

BM #2 EL. 794.26
RAILROAD SPIKE IN WEST FACE
OF POWER POLE (NGVD 88)

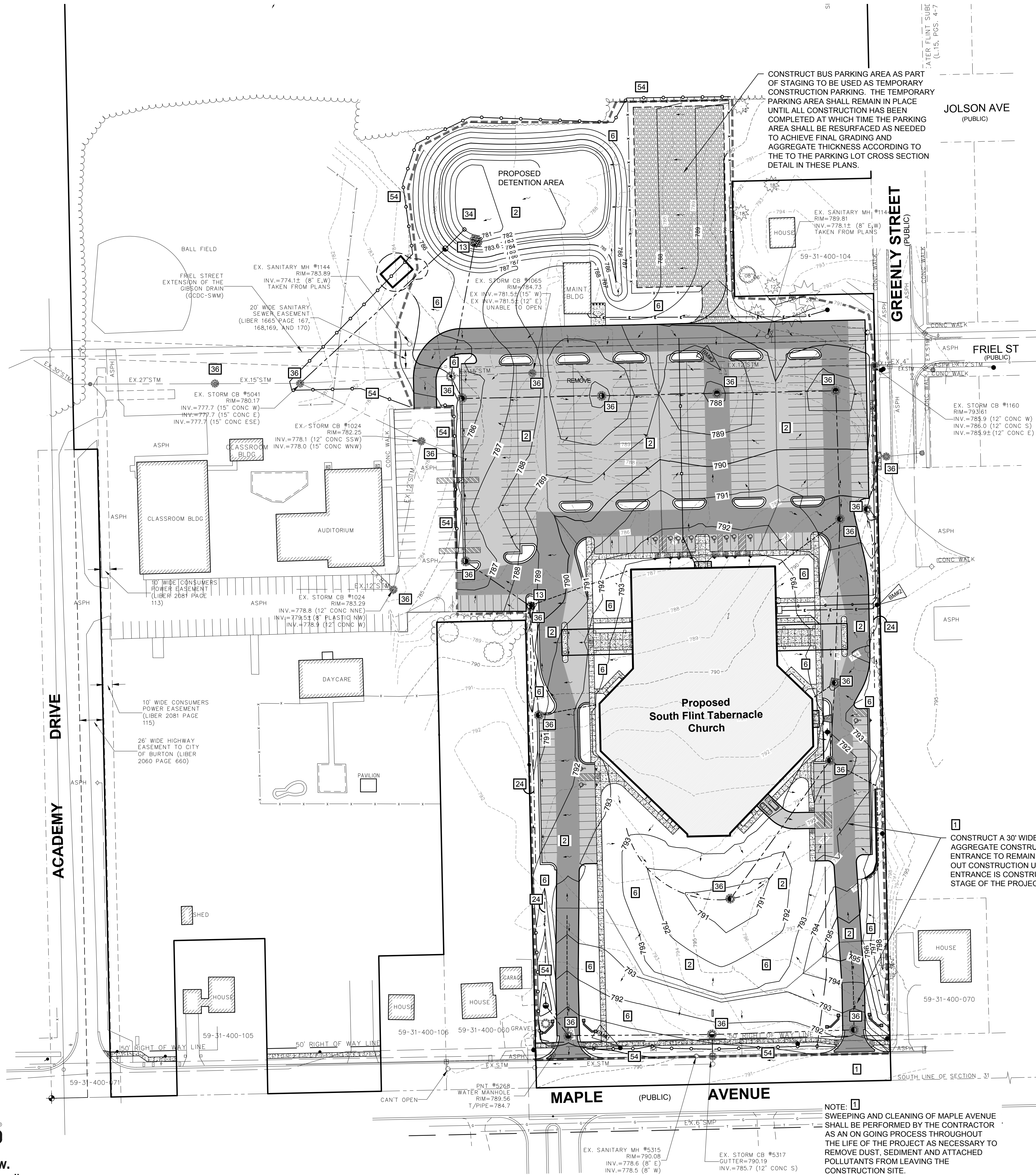
BM #3 EL. 790.26
RAILROAD SPIKE IN SOUTH FACE
OF POWER POLE (NGVD 88)

LEGAL DESCRIPTION (59-31-400-103)

PART OF THE SOUTHEAST 1/4 OF SECTION 31, T7N-R7E, CITY OF BURTON, GENESSEE COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE SOUTH LINE OF SECTION 31 WHICH IS N 88°46'30" E 66.00 FEET FROM THE SOUTH 1/4 CORNER OF SAID SECTION 31; THENCE N 01°12'00" W 718.50 FEET; THENCE S 88°46'30" W 26.00 FEET; THENCE N 01°12'00" W 625.00 FEET; THENCE N 88°43'30" E 890.00 FEET TO THE WEST RIGHT OF WAY LINE OF GREENLY STREET; THENCE S 01°12'00" E, ALONG SAID RIGHT OF WAY LINE, 343.87 FEET; THENCE S 88°43'30" W 153.97 FEET; THENCE S 01°12'00" E 191.13 FEET; THENCE N 88°43'30" E 153.97 FEET, TO SAID WEST RIGHT OF WAY LINE OF GREENLY STREET; THENCE S 01°12'00" E, ALONG SAID RIGHT OF WAY LINE, 290.78 FEET; THENCE S 01°20'10" E 518.50 FEET TO THE SOUTH LINE OF SAID SECTION 31; THENCE S 88°46'30" W, ALONG SAID SOUTH LINE, 393.34 FEET; THENCE N 01°20'10" W 518.50 FEET; THENCE S 88°46'30" W 98.33 FEET; THENCE S 01°11'39" E 368.50 FEET; THENCE S 88°46'30" W 72.09 FEET; THENCE S 01°05'58" E 150.00 FEET TO THE SOUTH LINE OF SAID SECTION 31; THENCE S 88°46'30" W, ALONG SAID SOUTH LINE, 126.00 FEET; THENCE N 01°05'58" W 171.93 FEET; THENCE S 88°46'30" W 100.81 FEET; THENCE S 01°12'00" E 171.93 FEET TO SAID SOUTH LINE; THENCE S 88°46'30" W, ALONG SAID SOUTH LINE, 73.39 FEET TO THE PLACE OF BEGINNING, CONTAINING 24.54± GROSS ACRES OF LAND, MORE OR LESS, AND BEING SUBJECT TO THAT PART NOW USED AS MAPLE AVENUE, SO CALLED, AND ALSO BEING SUBJECT TO ANY RECORDED OR UNRECORDED EASEMENTS OF BENEFIT OR BURDEN.

LOCATION MAP

NOT TO SCALE



CONSTRUCT BUS PARKING AREA AS PART OF STAGING TO BE USED AS TEMPORARY CONSTRUCTION PARKING. THE TEMPORARY PARKING AREA SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION HAS BEEN COMPLETED AT WHICH TIME THE PARKING AREA SHALL BE RESURFACED AS NEEDED TO ACHIEVE FINAL GRADING AND AGGREGATE THICKNESS ACCORDING TO THE TO THE PARKING LOT CROSS SECTION DETAIL IN THESE PLANS.

JOLSON AVE
(PUBLIC)

GREENLY STREET
(PUBLIC)



0 60 120
SCALE IN FEET

FRIEL ST
(PUBLIC)

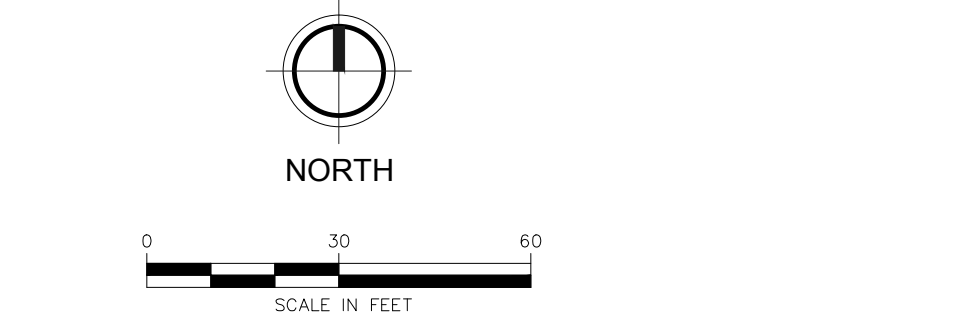
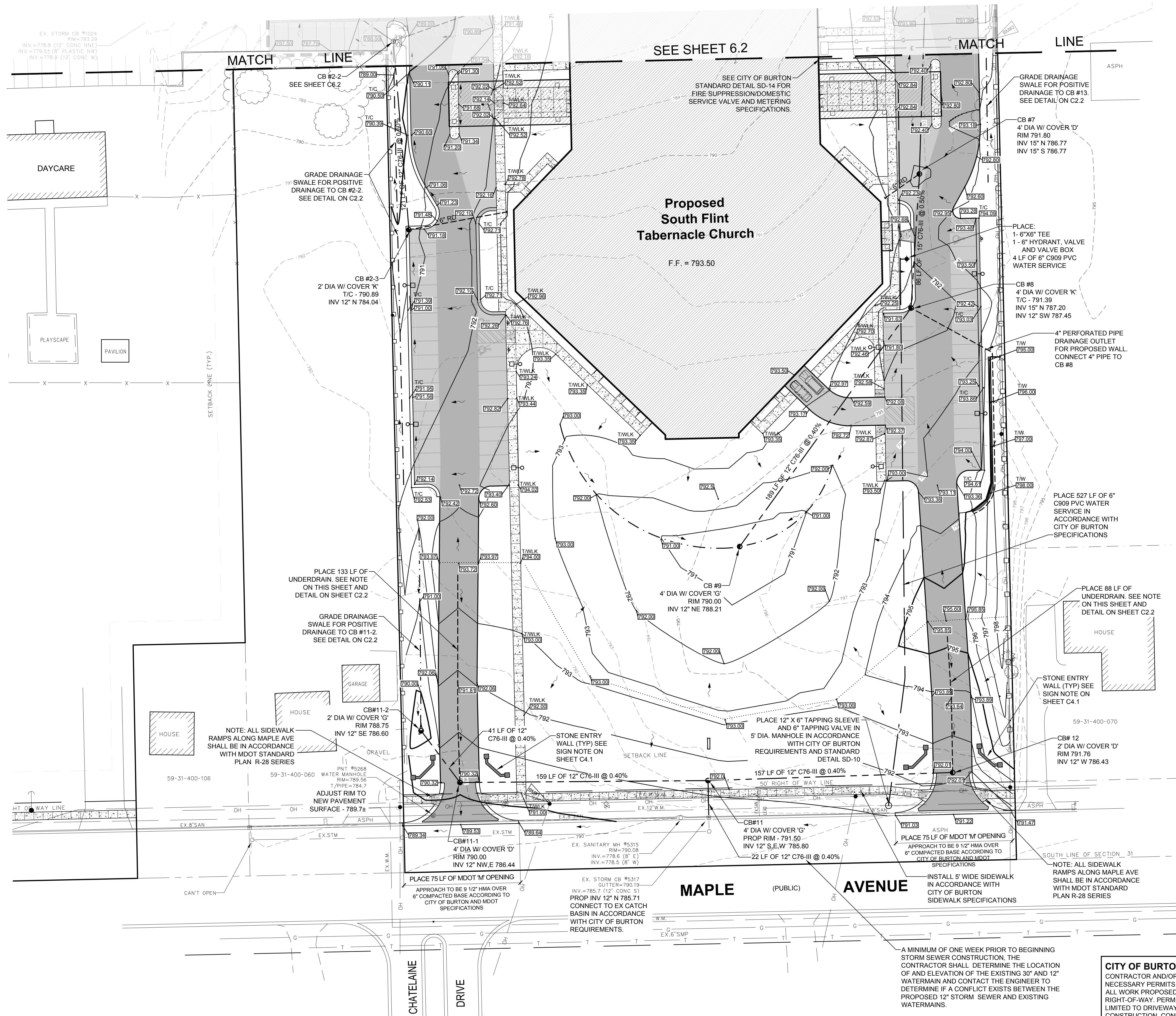
Proposed
South Flint Tabernacle
Church

1
CONSTRUCT A 30' WIDE TEMPORARY
AGGREGATE CONSTRUCTION ENTRANCE.
ENTRANCE TO REMAIN IN PLACE THROUGH
OUT CONSTRUCTION UNTIL PERMANENT
ENTRANCE IS CONSTRUCTED AT THE FINAL
STAGE OF THE PROJECT.

NOTE: 1
SWEEPING AND CLEANING OF MAPLE AVENUE
SHALL BE PERFORMED BY THE CONTRACTOR
AS AN ON GOING PROCESS THROUGHOUT
THE LIFE OF THE PROJECT AS NECESSARY TO
REMOVE DUST, SEDIMENT AND ATTACHED
POLLUTANTS FROM LEAVING THE
CONSTRUCTION SITE.



Know what's below.
Call before you dig.



COMPACTED SAND BACKFILL NOTE:
ALL PROPOSED UTILITIES, WHEN PLACED UNDER OR WITHIN 5' OF PAVEMENT, SHALL BE BACKFILLED WITH COMPACTED SAND (MDOT GRANULAR, CL II). ALL SAND BACKFILL SHALL BE COMPACTED TO 95% DENSITY (MODIFIED PROCTOR). THE CONTRACTOR SHALL PROVIDE SUFFICIENT SOIL COMPACTION TESTS FOR THE CONSTRUCTION ENGINEER TO DETERMINE COMPLIANCE WITH THE REQUIRED DESIGN DENSITY OF 95% (MODIFIED PROCTOR). TESTS SHALL BE PERFORMED BY AN INDEPENDENT TESTING SERVICE AND ALL FEES PAID BY THE CONTRACTOR.

UTILITY NOTE:
ALL PROPOSED TELEPHONE, CABLE TV, ELECTRIC AND GAS SERVICES ARE TO BE PLACED UNDERGROUND. THE LOCATION, SIZE AND PLACEMENT SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND UTILITY OWNERS.

UNDER DRAIN NOTE:
ALL PROPOSED STORM SEWER INLET STRUCTURES WITHIN CURB AND GUTTER AND PAVED AREAS SHALL HAVE UNDERDRAINS EXTENDING 20' OUT FROM THE STRUCTURE IN MULTIPLE DIRECTIONS ACCORDING TO THE DETAIL ON SHEET C2.2.

CITY OF BURTON PERMIT NOTE:
CONTRACTOR AND/OR OWNER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF BURTON FOR ALL WORK PROPOSED WITHIN MAPLE AVENUE RIGHT-OF-WAY. PERMITS MAY INCLUDE BUT ARE NOT LIMITED TO DRIVEWAY CONSTRUCTION, SIDEWALK CONSTRUCTION, CONNECTION TO EXISTING WATERMAIN, CONNECTION TO EXISTING STORM SEWER, GRADING ETC.



SOUTH FLINT TABERNACLE
PART OF THE SE 1/4 OF SECTION 31, T7N-R7E, CITY OF BURTON, MI
PROPOSED CHURCH FACILITY AND BUS PARKING
GRADING AND UTILITY PLAN - SOUTH

FLEISCHMANN
DESIGN. BUILD. OPERATE.
9475 Holly Rd, Suite 201
Grand Blanc, MI 48439
P: 810.743.9120
F: 810.771.7860

DESIGN TEAM:
LME/DDH
CHECK BY:
GLR/DDH 3/17/ 2016
DRAWING INFORMATION:
824140_C6.0 GRADE
031616 HSB

MARCH 2016
REV PROJECT NO:
824140

C6.1

REVISION:

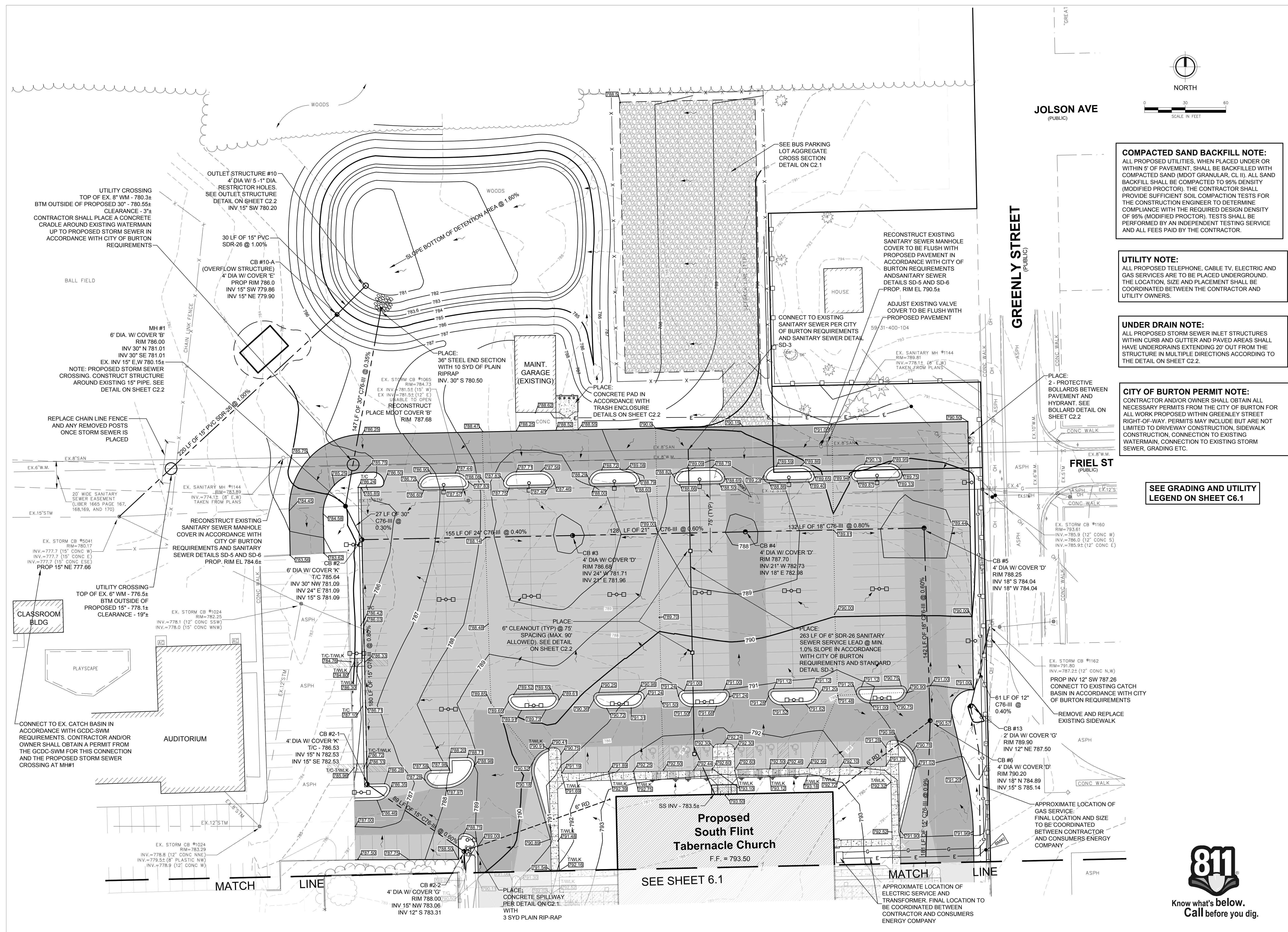
SOUTH FLINT TABERNACLE
PART OF THE SE 1/4 OF SECTION 31, T7N-R7E, CITY OF BURTON, MI
PROPOSED CHURCH FACILITY AND BUS PARKING
GRADING AND UTILITY PLAN - NORTH

DESIGN TEAM:
LME/DOH
CHECK BY:
GLORINDA MARCH 2016
DRAWING INFORMATION:
824140_C6.0 GRADE
031616 Issue

MARCH 2016

F&V PROJECT NO.
824140

C6.2



COMPACTED SAND BACKFILL NOTE:
ALL PROPOSED UTILITIES, WHEN PLACED UNDER OR WITHIN 5' OF PAVEMENT, SHALL BE BACKFILLED WITH COMPACTED SAND (MDOT GRANULAR, CL II). ALL SAND BACKFILL SHALL BE COMPACTED TO 95% DENSITY (MODIFIED PROCTOR). THE CONTRACTOR SHALL PROVIDE SUFFICIENT SOIL COMPACTION TESTS FOR THE CONSTRUCTION ENGINEER TO DETERMINE COMPLIANCE WITH THE REQUIRED DESIGN DENSITY OF 95% (MODIFIED PROCTOR). TESTS SHALL BE PERFORMED BY AN INDEPENDENT TESTING SERVICE AND ALL FEES PAID BY THE CONTRACTOR.

UTILITY NOTE:
ALL PROPOSED TELEPHONE, CABLE TV, ELECTRIC AND GAS SERVICES ARE TO BE PLACED UNDERGROUND. THE LOCATION, SIZE AND PLACEMENT SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND UTILITY OWNERS.

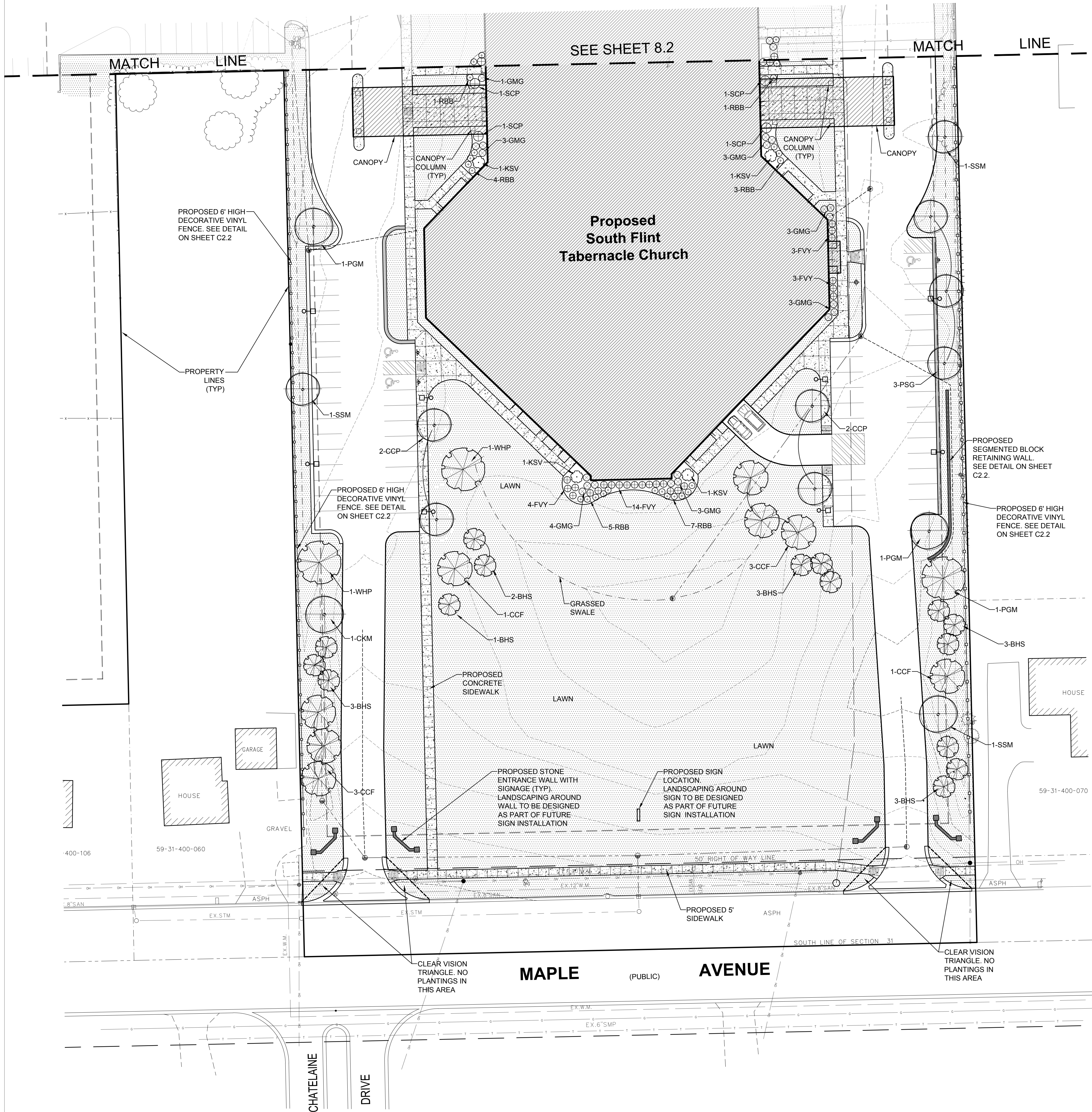
UNDER DRAIN NOTE:
ALL PROPOSED STORM SEWER INLET STRUCTURES WITHIN CURB AND GUTTER AND PAVED AREAS SHALL HAVE UNDERDRAINS EXTENDING 20' OUT FROM THE STRUCTURE IN MULTIPLE DIRECTIONS ACCORDING TO THE DETAIL ON SHEET C2.2.

CITY OF BURTON PERMIT NOTE:
CONTRACTOR AND/OR OWNER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF BURTON FOR ALL WORK PROPOSED WITHIN GREENLEY STREET RIGHT-OF-WAY. PERMITS MAY INCLUDE BUT ARE NOT LIMITED TO DRIVEWAY CONSTRUCTION, SIDEWALK CONSTRUCTION, CONNECTION TO EXISTING WATERMAIN, CONNECTION TO EXISTING STORM SEWER, GRADING ETC.

SEE GRADING AND UTILITY LEGEND ON SHEET C6.1

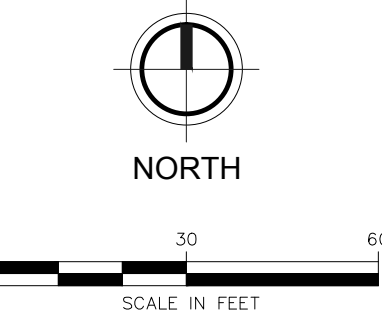


Know what's **below**.
Call before you dig.



PROPOSED SITE LAYOUT LEGEND

- STANDARD CURB & GUTTER
- MODIFIED CURB & GUTTER
- CONCRETE SIDEWALK
- PAINTED PAVEMENT STRIPING
- BARRIER FREE PAVEMENT MARKING
- SIDEWALK RAMP
- BOLLARDS
- SIGNS
- PARKING LOT LIGHTS
- VINYL FENCE
- CHAIN LINK FENCE
- DRAINAGE SWALE



PROPOSED LANDSCAPE LEGEND

	KEY	COMMON NAME	BOTANICAL NAME	MIN. SIZE	APPROX. QTY
GRASSES	HFG	Hameln Dwarf Fountain Grass	Pennisetum alopecuroides 'Hameln'	#1pot	10
	GMG	Gracillimus Maiden Grass	Miscanthus sinensis Gracillimus	#2pot	17
SHRUBS	SCP	Siberian Cypress	Microbiota decussata	#3pot	4
	FVY	Fairview Yew	Taxus x media 'Fairview'	18"ht	51
	KSV	Koreanspice Viburnum	Viburnum carlesii	#7pot	12
	RBB	Royal Burgundy Barberry	Berberis thunbergii 'Gentry' PP9461	#3pot	31
TREES	CKM	Crimson King Maple	Acer platanoides 'Crimson King'	2.5"cal	3
	PSG	Princeton Sentry Ginkgo	Ginkgo biloba 'Princeton Sentry'	2.5" cal	7
	CCP	Chanticleer Callery Pear	Pyrus calleryana 'Chanticlee'	2.5"cal	11
	SSM	Steeple Sugar Maple	Acer saccharum 'Steeple'	2.5"cal	10
	PGM	Princeton Gold Maple	Acer platanoides 'Princeton Gold'	2.5"cal	2
	WHP	White Pine	Pinus strobus	8' ht	4
	BHS	Black Hills White Spruce	Picea glauca densata	8' ht	17
	CCF	Concolor Fir	Abies concolor	8' ht	14
MISC.		LAWN AREAS			
		MULCHED ISLAND - 2" COBBLE STONE OVER WEED BARRIER FABRIC (TOP OF STONE SET FLUSH WITH TOP OF CURB)			
		ALUM. LANDSCAPE EDGER			

LANDSCAPE NOTES

- 1) ALL LAWN AREAS ARE TO BE SEEDED. ALL PLANTINGS AND PLANTING BEDS ARE TO RECEIVE AN APPLICATION OF PRE-EMERGENT HERBICIDE AND A 4" LAYER OF HARDWOOD MULCH (UNLESS NOTED OTHERWISE ON PLAN).
- 2) ALL LANDSCAPED AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH LAWN AND LANDSCAPE BEDS IN SEPARATE IRRIGATION ZONES TO MINIMIZE OVER WATERING. ALL PLANTINGS SHALL RECEIVE A MINIMUM OF 1" OF WATER PER WEEK UNTIL HEALTHY GROWTH HAS BEEN ESTABLISHED.
- 3) PLANT MATERIALS, QUANTITIES, AND LOCATIONS HAVE BEEN FIGURED AS CLOSELY AS POSSIBLE. HOWEVER, MATERIALS, QUANTITIES, AND LOCATIONS MAY BE ADJUSTED ON SITE IF NECESSARY. IT REMAINS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO COMPLETE THE PROJECT AS INTENDED PER THIS PLAN.
- 4) THE LANDSCAPE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITY FOR A MINIMUM OF ONE YEAR FOR ALL LANDSCAPE MATERIALS ONCE INSTALLED.
- 5) ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF REFUSE AND DEBRIS AND KEPT IN A HEALTHY GROWING CONDITION.
- 6) SELECTION AND INSTALLATION OF PLANT MATERIAL INCLUDING SITE PREPARATION, PLANTING, PRUNING, WATERING AND CULTIVATING SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

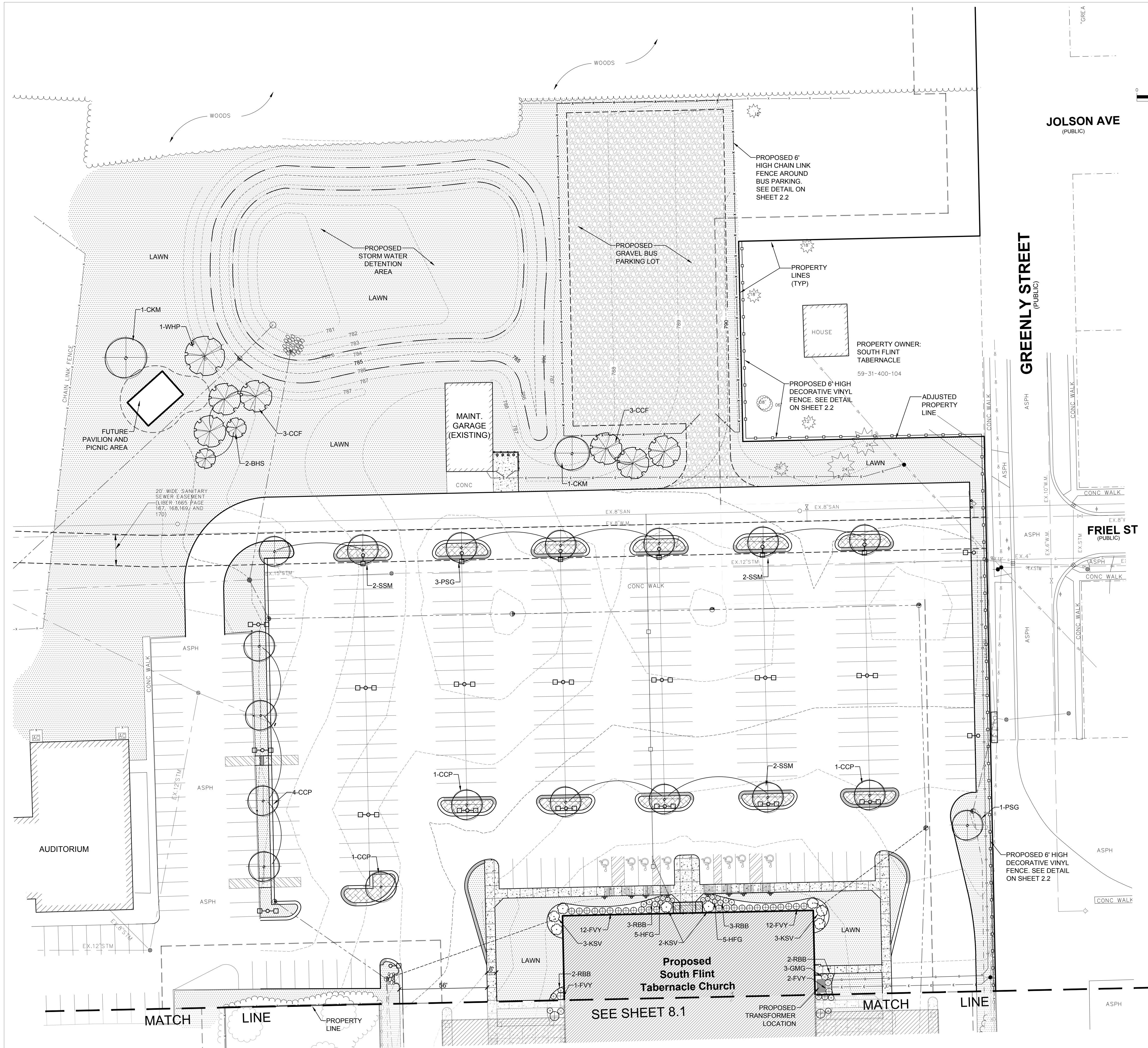


SOUTH FLINT TABERNACLE
PART OF THE SE 1/4 OF SECTION 31, T7N-R7E, CITY OF BURTON, MI
PROPOSED CHURCH FACILITY AND BUS PARKING
LANDSCAPE PLAN - SOUTH

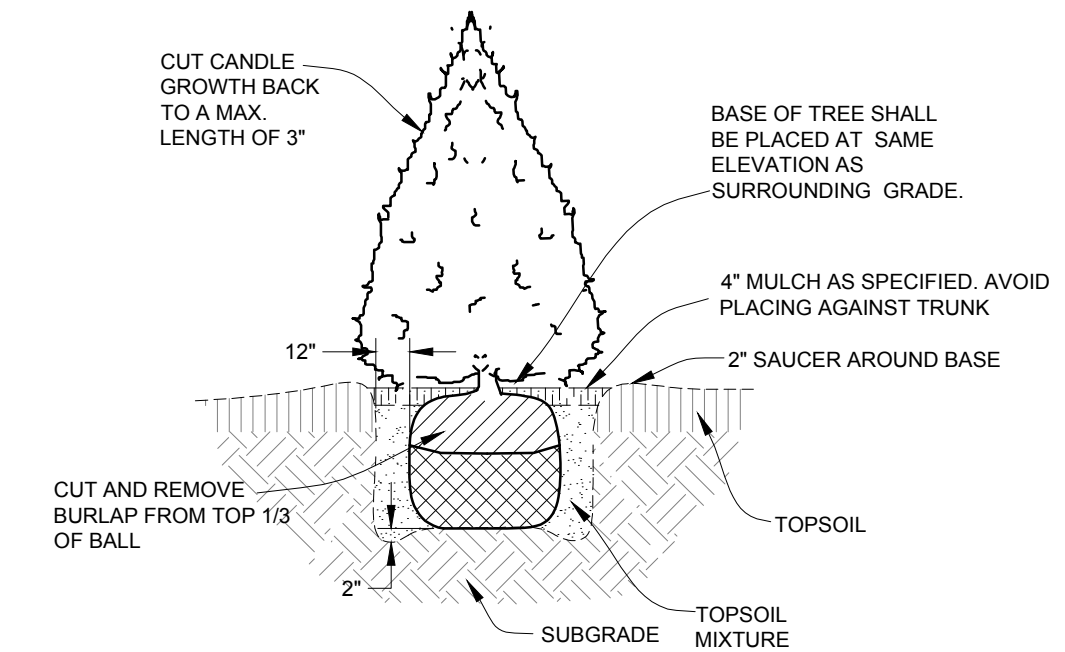
DESIGN TEAM:
LME/DDH
CHECK BY:
GLR/DDH 3/17/ 2016
DRAWING INFORMATION:
824140_CS.0 LANDS
031716 H&B

MARCH 2016
F&V PROJECT NO.
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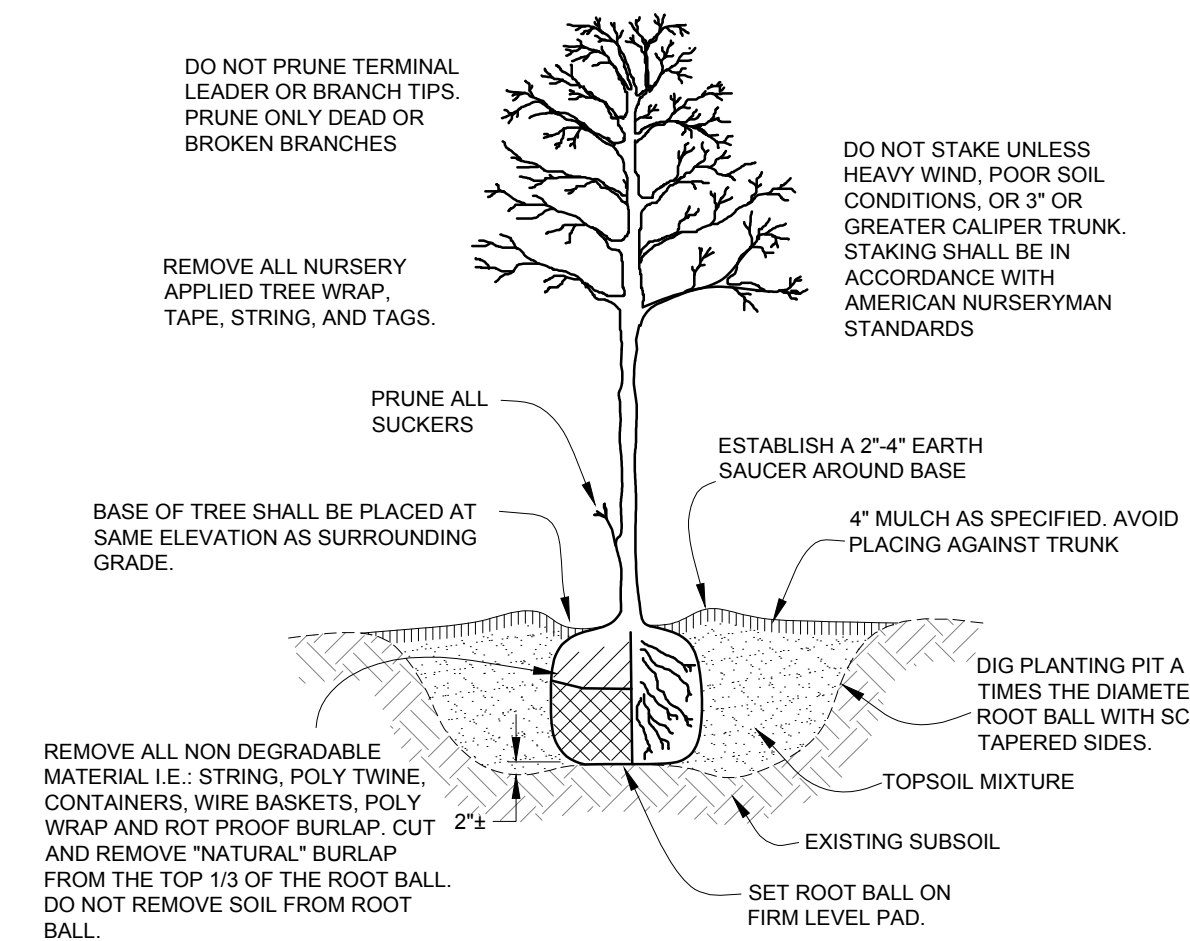
C8.1



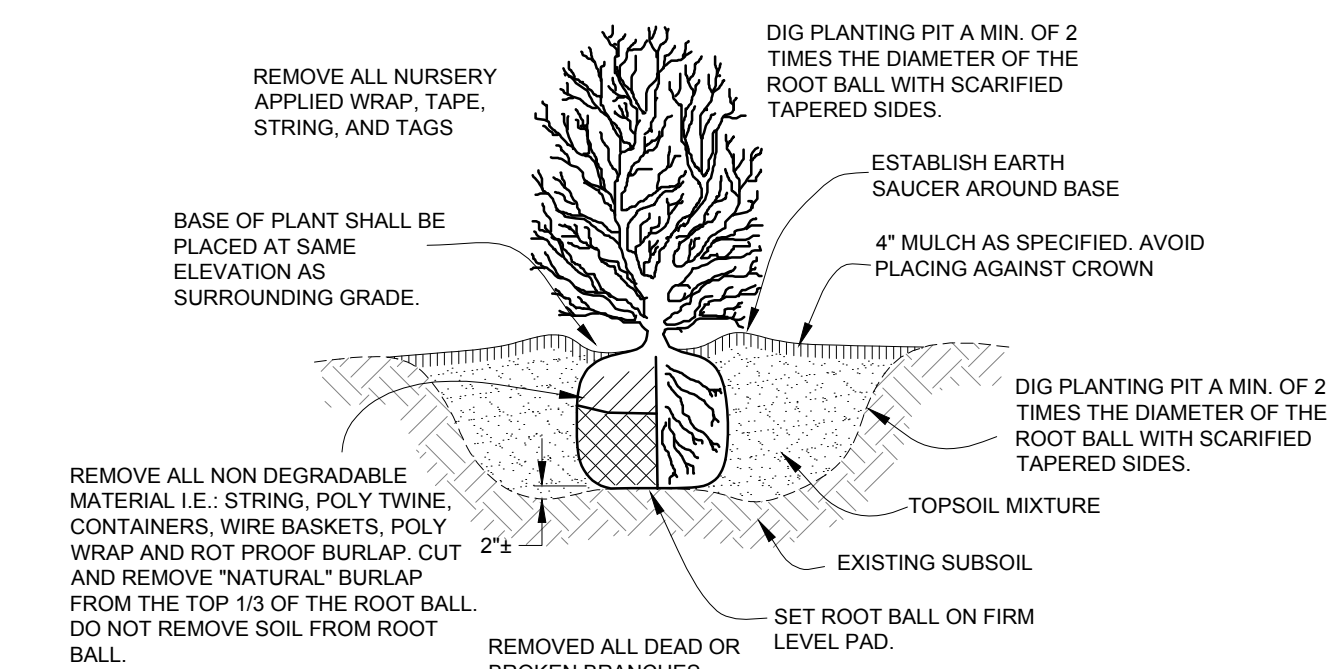
SEE LANDSCAPE LEGEND
ON SHEET C8.1



EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE



Know what's below.
Call before you dig.

REVISION:

SOUTH FLINT TABERNACLE
PART OF THE SE 1/4 OF SECTION 31, T7N-R7E, CITY OF BURTON, MI
PROPOSED CHURCH FACILITY AND BUS PARKING

LANDSCAPE PLAN - NORTH

DESIGN TEAM:
LME/DH
CHECK BY:
GLR/DH/MAR 2016
DRAWING INFORMATION:
824140_C8.0 LANDS
031716 HSB

MARCH 2016

F&V PROJECT NO.
824140

C8.2

GENERAL CONSTRUCTION NOTES

1. STANDARD SPECIFICATIONS & DETAILS
ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE LATEST GENEESE COUNTY / CITY OF BURTON STANDARD SPECIFICATIONS AND STANDARD DETAILS FOR SANITARY SEWER, PRESSURE PIPE, AND PUMP STATION CONSTRUCTION. ANY DEVIATIONS FROM THE CITY OF BURTON APPROVED PLANS WILL NOT BE PERMITTED. IF IT BECOMES NECESSARY TO REVISE PLANS THEY SHALL BE RESUBMITTED TO THE CITY OF BURTON FOR APPROVAL.
2. PRE-CONSTRUCTION MEETING
A PRE-CONSTRUCTION MEETING SHALL BE HELD AT THE CITY OF BURTON OFFICE. NO PRE-CONSTRUCTION MEETING SHALL BE HELD PRIOR TO OBTAINING THE STATE CONSTRUCTION PERMIT. THE MEETING TIME, PLACE, AND ATTENDEES SHALL BE ARRANGED BY THE DESIGN ENGINEER FOR THE PROJECT. GDCG-WWS, GDCG-SWM, THE MUNICIPALITY, AGENCY HAVING AUTHORITY OVER THE ROADWAYS, PROJECT OWNER, CONTRACTOR, AND ANY AFFECTED UTILITIES, SHALL BE INVITED, AS A MINIMUM, TO THE PRE-CONSTRUCTION MEETING.
3. MISS DIG UTILITY ALERT
THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT MISS DIG UTILITY PROTECTION SERVICE (1-800-482-7171) TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH THE UTILITY OWNERS REQUIREMENTS.
4. FIELD LOCATION OF UTILITIES
PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO EXPOSE ALL EXISTING UTILITIES THAT CROSS THE PROPOSED CONSTRUCTION SO THE DESIGN ENGINEER MAY DETERMINE IF A VERTICAL CONFLICT EXISTS BETWEEN THE EXISTING UTILITY AND THE PROPOSED CONSTRUCTION. ALL LABOR REQUIRED TO UNCOVER THE EXISTING UTILITY SHALL BE CONSIDERED INCLUDED IN THE LINEAL FEET OF PRESSURE PIPE OR INSTALLED. THE CONTRACTOR SHALL VERIFY THE DEPTH AND HORIZONTAL LOCATIONS OF ALL UTILITIES IN SUFFICIENT TIME SUCH THAT ANY CONFLICTS CAN BE RESOLVED BEFORE WORK IS STARTED IN THAT PORTION OF THE PROJECT. THE CONTRACTOR SHALL ARRANGE FOR THE VARIOUS UTILITY OWNERS TO LOCATE, REMOVE, AND REPLACE THEIR FACILITIES. ALL COST FOR THIS SHALL BE INCLUSIVE TO THE PROJECT.
5. SUBSURFACE SOIL CONDITIONS
PRIOR TO BIDDING AND SUBCONTRACTORS SHALL MAKE A PERSONAL INVESTIGATION OF THE SITE AND EXISTING SURFACE AND SUBSURFACE CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO ACQUAINT THEMSELVES WITH CONDITIONS OF THE WORK AREA. THE CONTRACTOR IS ADVISED TO DETERMINE THE SUBSURFACE SOIL AND GROUND WATER CONDITIONS, DETERMINING IF DETERMINED NECESSARY BY THE CONTRACTOR AND IF NOT SPECIFICALLY CALLED OUT IN THE CONTRACT DOCUMENTS, WILL BE INCIDENTAL TO THE COST OF INSTALLATION.
6. PERMITS AND FEES
THE CONTRACTOR/DEVELOPER SHALL OBTAIN ALL PERMITS, INCLUDING THE PAYMENT OF ANY FEES OR BONDS, REQUIRED BY ANY FEDERAL, STATE, COUNTY, LOCAL, OR PRIVATE ORGANIZATIONS, PRIOR TO ISSUANCE OF THE S-PERMIT AND COMMENCING CONSTRUCTION.
7. GDCG-WWS INSPECTION FEES
THE DEVELOPER SHALL PAY FOR ALL SANITARY SEWER AND PRESSURE PIPE INSPECTION FEES AND WATER USAGE FEES PRIOR TO APPROVAL OF THE PLANS AND THE ISSUANCE OF THE S-PERMIT.
8. SOIL EROSION CONTROL, PART 91 OF P.A. 451 OF 1994
THE CONTRACTOR/DEVELOPER SHALL COMPLY WITH ALL PROVISIONS OF PART 91, ACT 451 OF P.A. 1994 FOR SOIL EROSION AND SEDIMENTATION CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE UNTIL THE FINAL ACCEPTANCE OF THE PERMANENT CONTROL MEASURES. THE CONTRACTOR/DEVELOPER IS REQUIRED BY THE CITY OF BURTON TO PREPARE AND SUBMIT A SOIL EROSION AND SEDIMENTATION CONTROL PLAN IN ORDER TO OBTAIN THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT AND TO PAY ANY APPLICATION FEES AND BOND FEES NECESSARY TO OBTAIN THE PERMIT. NOTE: SOIL EROSION AND CONSTRUCTION PERMITS AND REVIEWS ARE SEPARATE ITEMS AT THE CITY OF BURTON.
9. STATE CONSTRUCTIONS PERMITS
THE CONSTRUCTION OF PUBLIC SANITARY SEWERS OR PRESSURE PIPES SHALL NOT BEGIN UNTIL THE REQUIRED STATE CONSTRUCTION PERMITS HAVE BEEN OBTAINED. NOTE: SOIL EROSION APPROVAL AND CONSTRUCTION APPROVAL ARE SEPARATE ITEMS AT THE CITY OF BURTON.
10. ROADWAY PERMITS
A PERMIT FROM EITHER THE AGENCY HAVING AUTHORITY OVER THE ROADWAYS IS REQUIRED FOR ALL CONSTRUCTION WITHIN ANY ROAD RIGHT-OF-WAY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL NECESSARY PERMITS, POST ALL NECESSARY BONDS, PAY ALL FEES, AND OBTAIN ANY REQUIRED INSURANCES.
11. CONSTRUCTION OBSERVATION
ALL CONSTRUCTION SHALL BE PERFORMED UNDER THE OBSERVATION OF A CONSTRUCTION OBSERVER FROM GDCG-WWS OR LOCAL MUNICIPALITY HAVING JURISDICTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OBSERVING AGENCIES (3) WORKING DAYS PRIOR TO STARTING CONSTRUCTION TO ARRANGE FOR ON-SITE OBSERVATION AND TESTING. GDCG-WWS OR THE LOCAL MUNICIPALITY HAVING JURISDICTION SHALL BE NOTIFIED FOR A FINAL INSPECTION.
12. CONTRACTOR'S MINIMUM WAGE & USE OF IN-COUNTY LABOR
THE CONTRACTOR SHALL EMPLOY COMPETENT AND SKILLED WORKERS THROUGHOUT THE COURSE OF THE PROJECT. THE CONTRACTOR SHALL STRIVE TO USE GENEESE COUNTY RESIDENTS WHEN FEASIBLE. THE CONTRACTOR SHALL BE REQUIRED TO PAY THE PREVAILING WAGE RATES AS ESTABLISHED BY THE BUILDING AND CONSTRUCTION TRADES DEPARTMENT OF THE AMERICAN FEDERATION OF LABOR WHICH APPLIES TO THE COUNTY OF GENEESE. THESE RATES CAN BE OBTAINED BY CONTACTING THE MICHIGAN DEPARTMENT OF CONSUMER AND INDUSTRIAL SERVICES.
13. MICHIGANA SAFETY REQUIREMENTS
ALL WORK, WORK PRACTICE, AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE STATE AND FEDERAL SAFETY GUIDELINES, OCCUPATION, HEALTH AND ENVIRONMENTAL REGULATIONS, AND ALSO NFPA AND ANSI CODES AS APPLICABLE. ALL WORK INSIDE A CONFINED SPACE, SUCH AS MANHOLES OR OTHER UNDERGROUND STRUCTURES, SHALL BE COORDINATED WITH THE UTILITY OWNER, AND ALL WORKER SAFETY REQUIREMENTS STRICTLY ENFORCED. THE CONTRACTOR SHALL HAVE ITS SAFETY PLAN ON FILE WITH THE CITY OF BURTON AND ONE COPY ON SITE AT ALL TIMES.
14. ROADWAY REQUIREMENTS FOR UTILITY CONSTRUCTION
THE CONTRACTOR SHALL ABIDE BY ALL THE REQUIREMENTS OF THE GDCG OR LOCAL MUNICIPALITY REGARDING THE CONSTRUCTION OF PRESSURE PIPE AND SEWER MAINS, MAINTAINING TRAFFIC, BARRICADING, BORING, BACK FILLING AND RESTORATION WITHIN ROAD RIGHT-OF-WAY.
15. OPEN CUTTING OF COUNTY/LOCAL ROADS
WHEN OPEN CUTTING OF GRAVEL OR HARD SURFACED ROADS ARE INCORPORATED INTO THE PROJECT, THE CONTRACTOR SHALL OBTAIN THE APPROVAL AND ABIDE BY ALL REQUIREMENTS OF THE AGENCY HAVING AUTHORITY OVER THE ROADWAYS, AND BY THE SPECIFICATIONS OF THE CITY OF BURTON.

16. GRAVEL ROAD CONTAMINATION BY CONSTRUCTION
IF IT IS DETERMINED BY THE AGENCY HAVING AUTHORITY OVER THE ROADWAYS THAT GRAVEL ROADS HAVE BECOME CONTAMINATED DURING CONSTRUCTION THE ROAD MUST BE REPAIRED PER THE AGENCY HAVING AUTHORITY OVER THE ROADWAYS. WHERE THE EXISTING ROAD GRAVEL IS REMOVED BECAUSE OF CONSTRUCTION, ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS OF THE AGENCY HAVING AUTHORITY OVER THE ROADWAYS.
17. RESTORATION OF GRAVEL SHOULDER
IF IT IS DETERMINED BY THE AGENCY HAVING AUTHORITY OVER THE ROADWAYS THAT GRAVEL SHOULDER HAS BEEN CONTAMINATED BY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL RE-GRAVEL PER THE AGENCY HAVING AUTHORITY OVER THE ROADWAYS. ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS OF THE AGENCY HAVING AUTHORITY OVER THE ROADWAYS.
18. COMPACTED GRANULAR BACKFILL FOR ROADWAYS, DRIVES, ETC.
ALL TRENCH EXCAVATION WITHIN A ONE-ON-ONE INFLUENCE OF A ROADWAY, DRIVEWAY CROSSINGS, PARKING LOTS, OR AS OTHERWISE NOTED ON THE PLANS, SHALL BE BACKFILLED WITH COMPACTED SAND MDOOT CLASS II (A5) PER THE SCHEDULE OF BACKFILLING, FOUND IN THE SPECIFICATIONS. IN ADDITION, SEE THE SPECIFICATIONS FOR THE REQUIREMENTS FOR COMPACTION IN THESE AREAS. THIS STANDARD ALSO INCLUDES SERVICE LEADS UNLESS BORED.
19. SURFACE RESTORATION
ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED IN STRICT COMPLIANCE WITH THE SOIL EROSION AND SEDIMENTATION SPECIFICATIONS AND TO THE SATISFACTION OF GDCG-WWS, GDCG-SWM, GDCG, MDOOT, AND THE LOCAL MUNICIPALITY. ALL COSTS FOR THE CLEANUP, RESTORATION WORK, AND OTHER INTERMEDIATE OPERATIONS SUCH AS, BUT NOT LIMITED TO, CONSTRUCTION SIGNAGE, STREET SWEEPING, AND MAINTAINING EXISTING UTILITIES, SHALL BE CONSIDERED INCLUSIVE AND AT NO ADDITIONAL COST TO THE OWNER. AREAS DISTURBED DURING CONSTRUCTION SHALL RECEIVE A 4" APPLICATION OF SCREENED TOPSOIL, FERTILIZED AND SEEDED. ALL EXCESS MATERIALS, DEBRIS, AND SIMILAR ITEMS SHALL BE REMOVED FROM THE PROJECT AREA BY THE CONTRACTOR AND DISPOSED OF PROPERLY. ALL GROUND SURFACES SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER PRIOR TO FINAL APPROVAL.
20. TRAFFIC CONTROL
THE CONTRACTOR SHALL EXECUTE THE WORK IN A MANNER SUCH THAT TRAFFIC IS MAINTAINED AND ACCESS IS PROVIDED TO ALL RESIDENCES, BUSINESSES, AND COMMERCIAL ESTABLISHMENTS. TRAFFIC SHALL BE MAINTAINED IN ACCORDANCE WITH THE TRAFFIC CONTROL PLANS AND THE LATEST EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, PART 6 AND THE REQUIREMENTS OF THE AGENCY HAVING AUTHORITY OVER THE ROADWAYS OR AS DIRECTED BY THE ENGINEER.
21. SIGNING AND BARRICADING
SIGNING AND BARRICADING SHALL BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE DETAILS ON THE PLANS, THE LATEST EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, PART 6 AND THE REQUIREMENTS OF THE AGENCY HAVING AUTHORITY OVER THE ROADWAYS. SIGNS AND BARRICADES LEFT IN PLACE AFTER DARK SHALL BE LIGHTED.
22. PROTECTION OF HAZARDOUS AREAS
EXCAVATION AND HAZARDOUS AREAS SHALL BE PROTECTED BY BARRICADES, SNOW FENCE, OR OTHER APPROPRIATE MEANS. BARRICADES LEFT IN PLACE AFTER DARK SHALL BE LIGHTED.
23. STORM WATER DRAINAGE DURING CONSTRUCTION
THE CONTRACTOR/DEVELOPER SHALL OBTAIN THE SERVICES OF A CERTIFIED STORM WATER OPERATOR AND COMPLY WITH THE PROVISIONS OF THE NPDES AND SSSC PERMITS. THE CONTRACTOR SHALL MAINTAIN DITCH DRAINAGE DURING CONSTRUCTION AND SHALL NOT OBSTRUCT SUMP PUMP LEADS DISCHARGING INTO THE DITCH. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ALL STORM SEWER FACILITIES, SUCH AS CATCH BASINS AND CULVERTS, DURING CONSTRUCTION. CULVERTS AND CATCH BASINS CONTAMINATED DURING CONSTRUCTION SHALL BE CLEANED.
24. UTILITY INFORMATION
UTILITY INFORMATION IS Delineated IN ACCORDANCE WITH THE LOCATIONS PROVIDED BY UTILITY OWNERS. THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION OR THE LOCATION AT WHICH THESE SERVICES EXIST. DIFFERING FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
25. EXISTING UTILITIES
THE CONTRACTOR SHALL MAINTAIN ALL EXISTING SANITARY SEWER, PRESSURE PIPE, OR STORM SEWER CONDITIONS IN SERVICE THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL PROVIDE OR ARRANGE FOR THE TEMPORARY SUPPORT OF GAS MAIN, TELEPHONE, FIBER OPTIC, CABLE, PRESSURE PIPE, SANITARY SEWER, STORM SEWER, AND UTILITY POLES WHERE NEEDED. ALL STORM SEWERS DAMAGED OR REMOVED, OR RELOCATED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SIZE AND QUALITY PIPE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE PROJECT. ALL UTILITIES UNDERMINED BY THE EXCAVATION SHALL HAVE COMPACTED SAND BACKFILL PLACED UNDER THEM, UNLESS 6AA CRUSHED LIMESTONE (A1) OR 22A GRAVEL (A2) IS SHOWN ON THE CONSTRUCTION PLANS. ALL WORK, INCLUDING THE REBORING OF SANITARY SEWER SERVICE LEADS AND WATERMAIN LEADS TO ACCOMMODATE CONSTRUCTION TO CLEAR EXISTING SERVICES, SHALL BE INCLUSIVE TO THE PROJECT.
26. SHOP DRAWINGS
PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL FURNISH TO THE CITY OF BURTON SHOP DRAWINGS AND/OR CATALOG CUTS FOR ALL MAJOR MATERIALS AND EQUIPMENT ITEMS PER THE STANDARD SPECIFICATIONS.
27. NON-STOPPAGE CLAUSE
THE CONTRACTOR SHALL BE REQUIRED TO COMPLETE ALL WORK IN AN EXPEDITIOUS MANNER AND SHALL NOT STOP CONSTRUCTION FOR EXTENDED PERIODS ONCE CONSTRUCTION HAS BEGUN WITHOUT APPROVAL OF THE CITY OF BURTON.
28. DISPOSAL OF EXCESS EXCAVATED MATERIAL
ALL EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR, WITH ALL PERMITS, PERMISSIONS, AND LOCATIONS PROVIDED BY THE CONTRACTOR. ADJACENT PROPERTY OWNERS SHALL BE GIVEN PREFERENCE FOR DISPOSAL SITES. WRITTEN PERMISSION FOR DISPOSAL ON ADJACENT PROPERTY OWNERS SHALL BE PROVIDED TO THE CITY OF BURTON.
29. CONSTRUCTION STAKING
CONSTRUCTION STAKING SHALL BE PROVIDED BY A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF MICHIGAN, HIRED AND PAID FOR BY THE CONTRACTOR, AND APPROVED BY THE CITY OF BURTON.
30. FINAL ELEVATIONS OF SURFACE UTILITIES
ALL FINAL ELEVATIONS OF MANHOLE CASTINGS, HYDRANTS, VALVES, AND VALVE BOXES SHALL BE APPROVED BY THE CITY OF BURTON REPRESENTATIVE IN THE FIELD. ANY ADJUSTMENTS THAT ARE MADE ARE AT NO ADDITIONAL COST TO THE OWNER.
31. AS-BUILT INFORMATION
UPON COMPLETION OF CONSTRUCTION, AND PRIOR TO FINAL APPROVAL FROM GDCG-WWS, THE DEVELOPER SHALL FURNISH GDCG-WWS WITH ONE COMPLETE SET OF "AS-BUILT" DRAWINGS ON MYLAR AND THE CITY OF BURTON WITH ONE COMPLETE SET OF "AS-BUILT" DRAWINGS ON MYLAR AND ONE ELECTRONIC COPY. THESE "AS-BUILTS" SHALL BE DERIVED FROM THE INFORMATION COLLECTED BY THE GDCG-WWS OR MUNICIPAL CONSTRUCTION OBSERVER.

32. 2-YEAR MAINTENANCE BOND
UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL APPROVAL, THE CONTRACTOR SHALL FURNISH THE CITY OF BURTON WITH A 2-YEAR MAINTENANCE AND GUARANTEE BOND.
33. SOIL EROSION AND SEDIMENTATION CONTROL RELEASE
PRIOR TO FINAL ACCEPTANCE BY THE CITY OF BURTON, THE CONTRACTOR SHALL REQUEST A FINAL INSPECTION OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND RECEIVE WRITTEN APPROVAL. THE SOIL EROSION AND SEDIMENTATION CONTROL BOND WILL BE RELEASED UPON CITY OF BURTON FINAL APPROVAL.
34. ORDER OF PRECEDENCE
IN RESOLVING INCONSISTENCIES AMONG TWO OR MORE SECTIONS OF THE CONTRACT DOCUMENTS, PRECEDENCE SHALL BE GIVEN IN THE FOLLOWING ORDER FROM (A) THROUGH (G):
A. DRAWINGS
B. AGREEMENT, AND ANY ADDENDA OR CONTRACT MODIFICATIONS (WITH THE CITY OF BURTON)
C. BID (WITH THE CITY OF BURTON)
D. CITY OF BURTON SUPPLEMENTARY CONDITIONS
E. CITY OF BURTON INSTRUCTION TO BIDDERS
F. GENERAL CONDITIONS OF THE CONTRACT (WITH THE CITY OF BURTON)
G. CITY OF BURTON SPECIFICATIONS, LATEST EDITION
35. THE CONTRACTOR SHALL COMPLY WITH THE LATEST GDCG-WWS / CITY OF BURTON SPECIFICATIONS AND STANDARD DETAILS.
36. NO CONNECTION TO AN EXISTING SANITARY SEWER SHALL BE MADE WITHOUT THE PRIOR APPROVAL OF THE CITY OF BURTON. THE CITY OF BURTON SHALL HAVE FINAL INSPECTION AUTHORITY AND APPROVAL FOR UNDERGROUND SANITARY SEWER FACILITIES.
37. THE MATERIAL FOR THE SANITARY SEWER SHALL BE SPECIFIED ON THE CONSTRUCTION DRAWINGS. THE FOLLOWING MATERIALS ARE ACCEPTABLE TO THE CITY OF BURTON:
A. 8" TO 18", PVC WITH A MINIMUM SDR OF 26 CONFORMING TO ASTM D-3034-00 GASKETED SEWER PIPE.
B. LARGER THAN 18" REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76-03. JOINTS SHALL BE MODIFIED TONGUE & GROOVE TYPE WITH RUBBER GASKETS CONFORMING TO ASTM C-443-02. MINIMUM SIZE SHALL BE CLASS III, WALL B.
38. ALL SANITARY SEWER SERVICE RISERS SHALL BE 6" INTERNAL DIAMETER SDR-26 PVC OR LOWER CONFORMING TO ASTM D-3034-00. JOINTS SHALL BE RUBBER GASKET JOINTS OR SOLVENT WELD BELL JOINTS. ALL SERVICE RISERS SHALL BE MARKED WITH A 5/8" RED ROD AT THEIR TERMINUS BURIED 1' BELOW THE SURFACE. THE RISERS SHALL BE LEFT AT 8-10" DEEP AT THE PROPERTY LINE OR EASEMENT LINE, OR AS DEEP TO SERVICE BASEMENTS. WEEP TILE, PERIMETER DRAINS, DOWN SPOUTS, OR ANY OTHER SOURCE OF WATER, SHALL NOT BE CONNECTED TO THE SANITARY SEWER.
39. PRECAST CONCRETE MANHOLES SHALL CONFORM TO ASTM C-478-03 WITH RUBBER JOINTS CONFORMING TO ASTM C-443-02. ALL FINAL ELEVATIONS OF MANHOLE CASTINGS SHALL BE DETERMINED BY THE CITY OF BURTON REPRESENTATIVE. MANHOLE FRAME AND COVERS SHALL BE BOLT-DOWN, WATERTIGHT EAST JORDAN 1040 2PT, KEENAH FOUNDRY COMPANY R-1916F, OR CITY OF BURTON APPROVED ALTERNATE. STEPS SHALL BE M.A. INDUSTRIES PS-1-PP, AMERICAN STEP CO. ML-10, OR CITY OF BURTON APPROVED ALTERNATE.
40. ALL SANITARY SEWERS SHALL BE INSTALLED PURSUANT TO THE SANITARY SEWER STANDARD DETAILS. DEEPER SEWERS, EXCESSIVE TRENCH WIDTH, AND WHERE NOTED, THE CONTRACTOR SHALL ADHERE TO THE REQUIREMENTS SPECIFIED.
41. WHERE MANHOLE ADJUSTMENT IS REQUIRED, THE MAXIMUM AMOUNT OF ADJUSTMENT BETWEEN THE CASTING AND THE CONE SHALL BE 6". A MAXIMUM OF TWO ADJUSTMENT RINGS ARE ALLOWED. ONLY 3" OR LARGER CONCRETE ADJUSTMENT RINGS SHALL BE USED. THE MANHOLE SHALL BE WRAPPED PER SD-5 OF THE SANITARY SEWER DETAILS.
42. ALL SANITARY SEWERS THROUGH 21" DIAMETER SHALL UNDERGO A LOW PRESSURE AIR TEST AND AN INFILTRATION TEST, IN CONFORMANCE WITH ASTM C-924-02 OR C-989-02 PRIOR TO FINAL ACCEPTANCE. SANITARY SEWER SYSTEMS LARGER THAN 21" SHALL UNDERGO AN INFILTRATION TEST. THE MAXIMUM ALLOWABLE INFILTRATION FOR PVC SYSTEMS SHALL BE 0 GALLONS PER INCH DIAMETER, PER MILE, PER 24 HOURS AND CONCRETE SYSTEMS SHALL BE 100 GALLONS PER INCH DIAMETER, PER MILE.
43. ALL PUBLIC SANITARY SEWERS 8" OR LARGER SHALL BE INTERNALLY TELEVIEWED BY THE CONTRACTOR. THE TV REPORT, INCLUDING THE TAPES, SHALL BE GIVEN TO GDCG-WWS AND THE CITY OF BURTON PRIOR TO A REQUEST FOR FINAL INSPECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING (LETTING) THE LINE AND ASSURING ALL DIRT AND DEBRIS HAS BEEN REMOVED PRIOR TO TELEVIEWING. PRIOR TO TELEVIEWING THE LINE WATER SHALL BE PLACED IN THE MAIN FROM THE UPSTREAM MANHOLE UNTIL IT COMES OUT OF THE DOWNSTREAM MANHOLE. THE TV REPORT SHALL LIST THE DISTANCE A HOUSE LEAD IS LOCATED FROM A MANHOLE, ALL SHEAR BREAKS IN THE MAIN OR SERVICE LEADS, ALL LONGITUDINAL CRACKS, BROKEN PIPE, DIPS, OR HIGH POINTS IN THE LINE, ETC. THE CONTRACTOR SHALL REPAIR DAMAGED PIPE BY EXCAVATING THE PIPE AND REPLACING THE LENGTH OF PIPE IN AN APPROVED METHOD. LEAKING JOINTS SHALL BE REPAIRED BY GROUTING. A LEAKING JOINT IS DEFINED AS HAVING SUFFICIENT INFILTRATION TO WET THE INTERIOR OF THE JOINT. GDCG-WWS SHALL BE NOTIFIED WHEN THE LINE IS TO BE TELEVIEWED AND SHALL BE PRESENT TO INSPECT REPAIRS.
44. SANITARY MANHOLES SHALL BE PLACED AT PROPERTY LINES WHEN FEASIBLE.
45. PRIOR TO PERFORMING ANY TESTING OR FINAL INSPECTION, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE THE FOLLOWING ITEMS:
A. THE RESULTS OF A PRELIMINARY TEST ON THE SYSTEM.
B. PROVIDE RESULTS OF DENSITY CHECKS ON COMPACTED SAND BACKFILL FROM A CERTIFIED TESTING AGENCY.
C. FURNISH A COMPLETED TWO-YEAR MAINTENANCE & GUARANTEE BOND.
D. PROVIDE MATERIAL CERTIFICATES.
E. COMPLETE FINAL ADJUSTMENTS ON SANITARY SEWER STRUCTURES.
F. THE DEVELOPER SHALL PROVIDE AS-BUILTS TO GDCG-WWS AND THE CITY OF BURTON.
46. THE FINAL TESTING SHALL CONSIST OF VISUAL INSPECTION OF MANHOLES, TELEVIEWING OF SANITARY MAIN, VACUUM TEST IN THE MANHOLES, LOW AIR PRESSURE TEST AND/OR INFILTRATION TEST DEPENDENT ON THE SIZE OF THE SANITARY MAIN (SEE #8 ABOVE), AND PASSING AN APPROPRIATE SIZED MANDELL 30 DAYS AFTER THE MAIN HAS BEEN INSTALLED.
47. PRIOR TO ISSUING FINAL APPROVAL, THE CITY OF BURTON SHALL INSPECT THE FINAL GRADE OF THE PROJECT TO ENSURE THAT NO FURTHER ADJUSTMENTS ARE NECESSARY TO ANY SANITARY SEWER STRUCTURES. IF ANY SUCH ADJUSTMENTS ARE NECESSARY, THE CONTRACTOR SHALL, AT NO ADDITIONAL COST TO THE OWNER MAKE THE REQUIRED CHANGES. FINAL APPROVAL SHALL NOT BE GRANTED UNTIL ALL NECESSARY ADJUSTMENTS HAVE BEEN MADE.

SANITARY CONSTRUCTION NOTES

1. ALL MATERIAL AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH THE LATEST GDCG-WWS / CITY OF BURTON SPECIFICATIONS AND STANDARD DETAILS.
2. NO CONNECTION TO AN EXISTING SANITARY SEWER SHALL BE MADE WITHOUT THE PRIOR APPROVAL OF THE CITY OF BURTON. THE CITY OF BURTON SHALL HAVE FINAL INSPECTION AUTHORITY AND APPROVAL FOR UNDERGROUND SANITARY SEWER FACILITIES.
3. THE MATERIAL FOR THE SANITARY SEWER SHALL BE SPECIFIED ON THE CONSTRUCTION DRAWINGS. THE FOLLOWING MATERIALS ARE ACCEPTABLE TO THE CITY OF BURTON:
A. 8" TO 18", PVC WITH A MINIMUM SDR OF 26 CONFORMING TO ASTM D-3034-00 GASKETED SEWER PIPE.
B. LARGER THAN 18" REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76-03. JOINTS SHALL BE MODIFIED TONGUE & GROOVE TYPE WITH RUBBER GASKETS CONFORMING TO ASTM C-443-02. MINIMUM SIZE SHALL BE CLASS III, WALL B.
4. ALL SANITARY SEWER SERVICE RISERS SHALL BE 6" INTERNAL DIAMETER SDR-26 PVC OR LOWER CONFORMING TO ASTM D-3034-00. JOINTS SHALL BE RUBBER GASKET JOINTS OR SOLVENT WELD BELL JOINTS. ALL SERVICE RISERS SHALL BE MARKED WITH A 5/8" RED ROD AT THEIR TERMINUS BURIED 1' BELOW THE SURFACE. THE RISERS SHALL BE LEFT AT 8-10" DEEP AT THE PROPERTY LINE OR EASEMENT LINE, OR AS DEEP TO SERVICE BASEMENTS. WEEP TILE, PERIMETER DRAINS, DOWN SPOUTS, OR ANY OTHER SOURCE OF WATER, SHALL NOT BE CONNECTED TO THE SANITARY SEWER.
5. PRECAST CONCRETE MANHOLES SHALL CONFORM TO ASTM C-478-03 WITH RUBBER JOINTS CONFORMING TO ASTM C-443-02. ALL FINAL ELEVATIONS OF MANHOLE CASTINGS SHALL BE DETERMINED BY THE CITY OF BURTON REPRESENTATIVE. MANHOLE FRAME AND COVERS SHALL BE BOLT-DOWN, WATERTIGHT EAST JORDAN 1040 2PT, KEENAH FOUNDRY COMPANY R-1916F, OR CITY OF BURTON APPROVED ALTERNATE. STEPS SHALL BE M.A. INDUSTRIES PS-1-PP, AMERICAN STEP CO. ML-10, OR CITY OF BURTON APPROVED ALTERNATE.
6. ALL SANITARY SEWERS SHALL BE INSTALLED PURSUANT TO THE SANITARY SEWER STANDARD DETAILS. DEEPER SEWERS, EXCESSIVE TRENCH WIDTH, AND WHERE NOTED, THE CONTRACTOR SHALL ADHERE TO THE REQUIREMENTS SPECIFIED.
7. WHERE MANHOLE ADJUSTMENT IS REQUIRED, THE MAXIMUM AMOUNT OF ADJUSTMENT BETWEEN THE CASTING AND THE CONE SHALL BE 6". A MAXIMUM OF TWO ADJUSTMENT RINGS ARE ALLOWED. ONLY 3" OR LARGER CONCRETE ADJUSTMENT RINGS SHALL BE USED. THE MANHOLE SHALL BE WRAPPED PER SD-5 OF THE SANITARY SEWER DETAILS.
8. ALL SANITARY SEWERS THROUGH 21" DIAMETER SHALL UNDERGO A LOW PRESSURE AIR TEST AND AN INFILTRATION TEST, IN CONFORMANCE WITH ASTM C-924-02 OR C-989-02 PRIOR TO FINAL ACCEPTANCE. SANITARY SEWER SYSTEMS LARGER THAN 21" SHALL UNDERGO AN INFILTRATION TEST. THE MAXIMUM ALLOWABLE INFILTRATION FOR PVC SYSTEMS SHALL BE 0 GALLONS PER INCH DIAMETER, PER MILE, PER 24 HOURS AND CONCRETE SYSTEMS SHALL BE 100 GALLONS PER INCH DIAMETER, PER MILE.
9. ALL PUBLIC SANITARY SEWERS 8" OR LARGER SHALL BE INTERNALLY TELEVIEWED BY THE CONTRACTOR. THE TV REPORT, INCLUDING THE TAPES, SHALL BE GIVEN TO GDCG-WWS AND THE CITY OF BURTON PRIOR TO A REQUEST FOR FINAL INSPECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING (LETTING) THE LINE AND ASSURING ALL DIRT AND DEBRIS HAS BEEN REMOVED PRIOR TO TELEVIEWING. PRIOR TO TELEVIEWING THE LINE WATER SHALL BE PLACED IN THE MAIN FROM THE UPSTREAM MANHOLE UNTIL IT COMES OUT OF THE DOWNSTREAM MANHOLE. THE TV REPORT SHALL LIST THE DISTANCE A HOUSE LEAD IS LOCATED FROM A MANHOLE, ALL SHEAR BREAKS IN THE MAIN OR SERVICE LEADS, ALL LONGITUDINAL CRACKS, BROKEN PIPE, DIPS, OR HIGH POINTS IN THE LINE, ETC. THE CONTRACTOR SHALL REPAIR DAMAGED PIPE BY EXCAVATING THE PIPE AND REPLACING THE LENGTH OF PIPE IN AN APPROVED METHOD. LEAKING JOINTS SHALL BE REPAIRED BY GROUTING. A LEAKING JOINT IS DEFINED AS HAVING SUFFICIENT INFILTRATION TO WET THE INTERIOR OF THE JOINT. GDCG-WWS SHALL BE NOTIFIED WHEN THE LINE IS TO BE TELEVIEWED AND SHALL BE PRESENT TO INSPECT REPAIRS.
10. SANITARY MANHOLES SHALL BE PLACED AT PROPERTY LINES WHEN FEASIBLE.
11. PRIOR TO PERFORMING ANY TESTING OR FINAL INSPECTION, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE THE FOLLOWING ITEMS:
A. THE RESULTS OF A PRELIMINARY TEST ON THE SYSTEM.
B. PROVIDE RESULTS OF DENSITY CHECKS ON COMPACTED SAND BACKFILL FROM A CERTIFIED TESTING AGENCY.
C. FURNISH A COMPLETED TWO-YEAR MAINTENANCE & GUARANTEE BOND.
D. PROVIDE MATERIAL CERTIFICATES.
E. COMPLETE FINAL ADJUSTMENTS ON SANITARY SEWER STRUCTURES.
F. THE DEVELOPER SHALL PROVIDE AS-BUILTS TO GDCG-WWS AND THE CITY OF BURTON.
12. THE FINAL TESTING SHALL CONSIST OF VISUAL INSPECTION OF MANHOLES, TELEVIEWING OF SANITARY MAIN, VACUUM TEST IN THE MANHOLES, LOW AIR PRESSURE TEST AND/OR INFILTRATION TEST DEPENDENT ON THE SIZE OF THE SANITARY MAIN (SEE #8 ABOVE), AND PASSING AN APPROPRIATE SIZED MANDELL 30 DAYS AFTER THE MAIN HAS BEEN INSTALLED.
13. PRIOR TO ISSUING FINAL APPROVAL, THE CITY OF BURTON SHALL INSPECT THE FINAL GRADE OF THE PROJECT TO ENSURE THAT NO FURTHER ADJUSTMENTS ARE NECESSARY TO ANY SANITARY SEWER STRUCTURES. IF ANY SUCH ADJUSTMENTS ARE NECESSARY, THE CONTRACTOR SHALL, AT NO ADDITIONAL COST TO THE OWNER MAKE THE REQUIRED CHANGES. FINAL APPROVAL SHALL NOT BE GRANTED UNTIL ALL NECESSARY ADJUSTMENTS HAVE BEEN MADE.

PRESSURE PIPE CONSTRUCTION NOTES

1. ALL MATERIAL AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH THE LATEST GDCG-WWS / CITY OF BURTON SPECIFICATIONS AND STANDARD DETAILS.
2. ALL PUBLIC PRESSURE PIPE SHALL BE DUCTILE IRON. PRESSURE PIPES 10" AND SMALLER SHALL BE DUCTILE IRON CLASS 53 AS A MINIMUM. PRESSURE PIPES 12" AND LARGER SHALL BE DUCTILE IRON CLASS 54 AS A MINIMUM. THE PIPE SHALL BE BELL AND SPIGOT, OR MECHANICAL JOINT FITTINGS WITH A RUBBER GASKET. FITTINGS MAY BE GRAY IRON OR DUCTILE IRON MEETING CLASS 350 PSI RATING. IN CASES OF 3" SANITARY SEWER FORCEMAIN, SDR-21 PVC MAY BE UTILIZED.
3. WHEN INSTALLING PRESSURE PIPE IN AREAS OF PETROLEUM FACILITIES OR OBSERVED GROUND CONTAMINATION, THE ENGINEER SHALL SPECIFY A PETROLEUM CERTIFIED RUBBER GASKET MEETING REQUIRED PROPERTIES OF (SBR) RUBBER GASKET AND TESTING METHODS PER AWWA C111/A21.11-00.
4. ALL PIPES, VALVES, AND FITTINGS SHALL BE POLYWRAPPED, EXCEPT IN MANHOLES. CIRCUMFERENTIAL WRAPS OF MANUFACTURER RECOMMENDED TAPE SHALL BE PLACED AT NO GREATER THAN 4' INTERVALS ALONG THE BARREL OF THE PIPE, WITH THE EXCESS FOLDED OVER THE TOP TO TAKE UP EXCESS SLACK, HELPING TO MINIMIZE THE SPACE BETWEEN THE POLYETHYLENE AND THE PIPE. COMPLETE THE INSTALLATION BY OVERLAPPING THE POLYETHYLENE TUBE WRAP AT EACH END AND SEAL ENDS PER AWWA C105/A21.5-99.
5. WHERE SANITARY SERVICE LEADS OR OTHER UTILITIES ARE ENCOUNTERED, THE CONTRACTOR SHALL MAKE ADJUSTMENTS TO PROVIDE CONTINUOUS SERVICE TO PROPERTIES ALONG THE ROUTE OF CONSTRUCTION. ALL WORK, INCLUDING THE REBORING OF SANITARY SEWER SERVICE LEADS TO ACCOMMODATE CONSTRUCTION, OR ADJUSTING PRESSURE PIPE INSTALLATION TO CLEAR EXISTING SERVICES, SHALL BE INCLUSIVE TO CONSTRUCTION.
6. ALL PRESSURE PIPES SHALL HAVE A MINIMUM COVER OVER THE TOP OF THE PIPE OF 5' FROM FINISHED GRADE, 5' CLEARANCE UNDER DRAINS, 5' CLEARANCE BELOW EXISTING DITCHES, AND/OR A MINIMUM 5' BELOW THE EXISTING ROAD. THE STANDARD LAYING CONDITIONS FOR WATERMAIN SHALL BE A 30" TRENCH WIDTH, OR PIPE DIAMETER PLUS 12". THE PIPE SHALL BE LAID ON A 4" MOOT CLASS II SAND (A5), WITH RECESSES TO ACCOMMODATE PIPE BELLS OR AS SHOWN ON PLANS.
7. ALL TRENCH EXCAVATION, UNDER OR WITHIN 5' OF EXISTING OR PROPOSED PAVING, SHALL BE BACK FILLED WITH COMPACTED MDOOT CLASS II SAND (A5).
8. THE CONTRACTOR SHALL RESTRAIN ALL THRUST IN THE SYSTEM BY THE USE OF CITY OF BURTON APPROVED RESTRAINED JOINTS. DURING THE CONSTRUCTION OF EXISTING DITCHES, TEES, VERTICAL OR HORIZONTAL BENDS, AND FUTURE VALVE CONNECTIONS SHALL BE RESTRAINED. THE RESTRAINT SYSTEM AND LOCATION IN THE FIELD SHALL BE DESIGNATED ON THE PLANS.
9. THE CONTRACTOR SHALL ENCASE THE PRESSURE PIPE IN CONCRETE WHERE VERTICAL SEPARATION BETWEEN THE SANITARY SEWER OR STORM SEWER AND THE WATERMAIN IS LESS THAN 18" INCHES.
10. GATE VALVES SHALL BE RESILIENT SEATED CONFORMING TO AWWA C509-01 OR C515-01. ALL VALVES IN PAVED AREAS SHALL BE PLACED IN A CONCRETE MANHOLE STRUCTURE SIZING PER GDCG-WWS. CITY OF BURTON PRESSURE PIPE DETAIL SD-8. VALVES SHALL HAVE A VERTICAL, NON-RISING STEM, AND OPEN CLOCKWISE.
11. FIRE HYDRANTS SHALL CONFORM TO AWWA C502-94. ALL HYDRANTS SHALL BE TRAFFIC MODELS WITH BREAKAWAY FLANGES, AND SHALL HAVE THE DRAIN HOLES FACTORY PLUGGED. ALL THE FIRE HYDRANT ASSEMBLIES FROM THE TEE THROUGH THE HYDRANT, SHALL BE RESTRAINED BY A GDCG-WWS APPROVED METHOD. FIRE HYDRANTS SHALL BE PLACED AT PROPERTY LINES AND SHALL PAINTED YELLOW WITH THE CAP COLOR CODED IN ACCORDANCE WITH THE STANDARD DETAIL. FINAL ELEVATIONS AND ADJUSTMENTS TO GRADE, USING EXTENSION PIECES IF REQUIRED, SHALL BE ACCOMPLISHED BY THE CONTRACTOR AT NO EXTRA COST TO THE PROJECT. HYDRANTS SHALL HAVE A 5" VALVE OPENING. FIRE HYDRANTS SHALL BE EAST JORDAN 5 BR OR MUELLER CENTURION.
12. PRESSURE TAPS TO EXISTING WATERMANS, AND CONNECTIONS TO EXISTING VALVES, SHALL BE MADE ONLY UNDER CITY OF BURTON INSPECTION. ALL VALVES OPENING AND CLOSING SHALL BE PERFORMED BY THE OPERATIONAL AUTHORITY. (ONLY A CITY OF BURTON APPROVED TAPPING SLEEVE IS ALLOWED FOR ALL PRESSURE TAPS.) A CONCRETE MANHOLE SHALL BE REQUIRED AROUND ALL PRESSURE TAPS 8" AND OVER.
13. THE CONTRACTOR SHALL HAVE THE OPTION OF PRESSURE TESTING THE WATERMAIN AGAINST THE EXISTING VALVE AT THE POINT OF BEGINNING OF THE PROJECT. IF THE EXISTING VALVE LEAKS, THE CONTRACTOR SHALL MAKE REPAIRS AND REPEAT THE PRESSURE TEST AGAINST THE EXISTING VALVE, AT NO COST TO THE OWNER.
14. WATERMANS SHALL BE TESTED IN ACCORDANCE WITH AWWA C600-99, AND CHLORINATED IN ACCORDANCE WITH THE LATEST GDCG-WWS AND CITY OF BURTON SPECIFICATIONS. WATERMANS SHALL BE TESTED TO 150 PSI AS MEASURED AT THE HIGH POINT IN THE WATER LINE. WATERMAIN CHLORINATION SHALL BE OBSERVED AND MONITORED BY THE CITY OF BURTON. CHLORINATION AND TESTING SHALL BE AT THE CONTRACTOR'S EXPENSE. A CERTIFICATE OF APPROVAL FROM THE AGENCY HAVING AUTHORITY SHALL BE ISSUED PRIOR TO THE WATER BEING USED FOR HUMAN CONSUMPTION.
15. WHEN SPECIFIED BY THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL SUPPLY ALL WATER SERVICE LEADS. THESE LEADS SHALL BE "K" COPPER AND SHALL BE A MINIMUM OF 1" IN DIAMETER AND INSTALLED IN ACCORDANCE WITH THE WATERMAIN STANDARD DETAIL. ALL SERVICE LEADS SHALL BE MARKED WITH A 2" X 4" X 8' WOOD STAKE ALONG WITH WITNESS POINTS SUPPLIED TO THE OWNER. CORPORATIONS SHALL BE BRASS, MUELLER H-15200 OR APPROVED EQUIVALENT.
16. THE CONTRACTOR SHALL INSTALL, AS A MINIMUM, 1" CORPORATIONS ON THE PRESSURE PIPE FOR PRESSURE TESTING, CHLORINE ADDITION, AND FOR BLOW-OFF PURPOSES. THE CORPORATIONS SHALL HAVE COPPER PIPE EXTENDING TO THE GROUND SURFACE. THE CONTRACTOR SHALL REMOVE THE CORPORATION AND COPPER LINE UPON A SATISFACTORY TEST, AND INSTALL A BRASS PLUG, PRIOR TO FINAL ACCEPTANCE.
17. PRIOR TO REQUESTING ANY FINAL PRESSURE TESTING, AND GATHERING THE REQUIRED BACTERIA SAMPLES (FOR WATERMANS ONLY), THE CONTRACTOR SHALL BE REQUIRED TO PERFORM THE FOLLOWING ITEMS:
A. CONDUCT A PRELIMINARY PRESSURE TEST ON THE SYSTEM.
B. PROVIDE RESULTS OF DENSITY CHECKS ON COMPACTED SAND BACKFILL FROM A CERTIFIED TESTING AGENCY.
C. FURNISH A COMPLETED TWO-YEAR MAINTENANCE & GUARANTEE BOND.
D. PROVIDE MATERIAL CERTIFICATES.
E. COMPLETE FINAL ADJUSTMENTS OF FIRE HYDRANT (FOR WATERMANS ONLY), VALVES, AND MANHOLES.
F. PROPER CAP COLOR OF FIRE HYDRANTS (FOR WATERMANS ONLY).
G. THE DEVELOPER SHALL PROVIDE AS-BUILTS TO GDCG-WWS AND THE CITY OF BURTON.
18. PRIOR TO ISSUING FINAL APPROVAL, THE CITY OF BURTON SHALL INSPECT THE FINAL GRADE OF THE PROJECT TO ENSURE THAT NO FURTHER ADJUSTMENTS ARE NECESSARY TO ANY PRESSURE PIPE STRUCTURES. IF ANY SUCH ADJUSTMENTS ARE NECESSARY, THE CONTRACTOR SHALL, AT NO ADDITIONAL COST TO THE OWNER MAKE THE REQUIRED CHANGES. FINAL APPROVAL SHALL NOT BE GRANTED UNTIL ALL NECESSARY ADJUSTMENTS HAVE BEEN MADE.

REVISIONS:
PER CITY OF BURTON COMMENTS, 12-7-04

DEPARTMENT OF PUBLIC WORKS
4093 MANOR DRIVE
BURTON, MICHIGAN 48519 PHONE: 742-9230

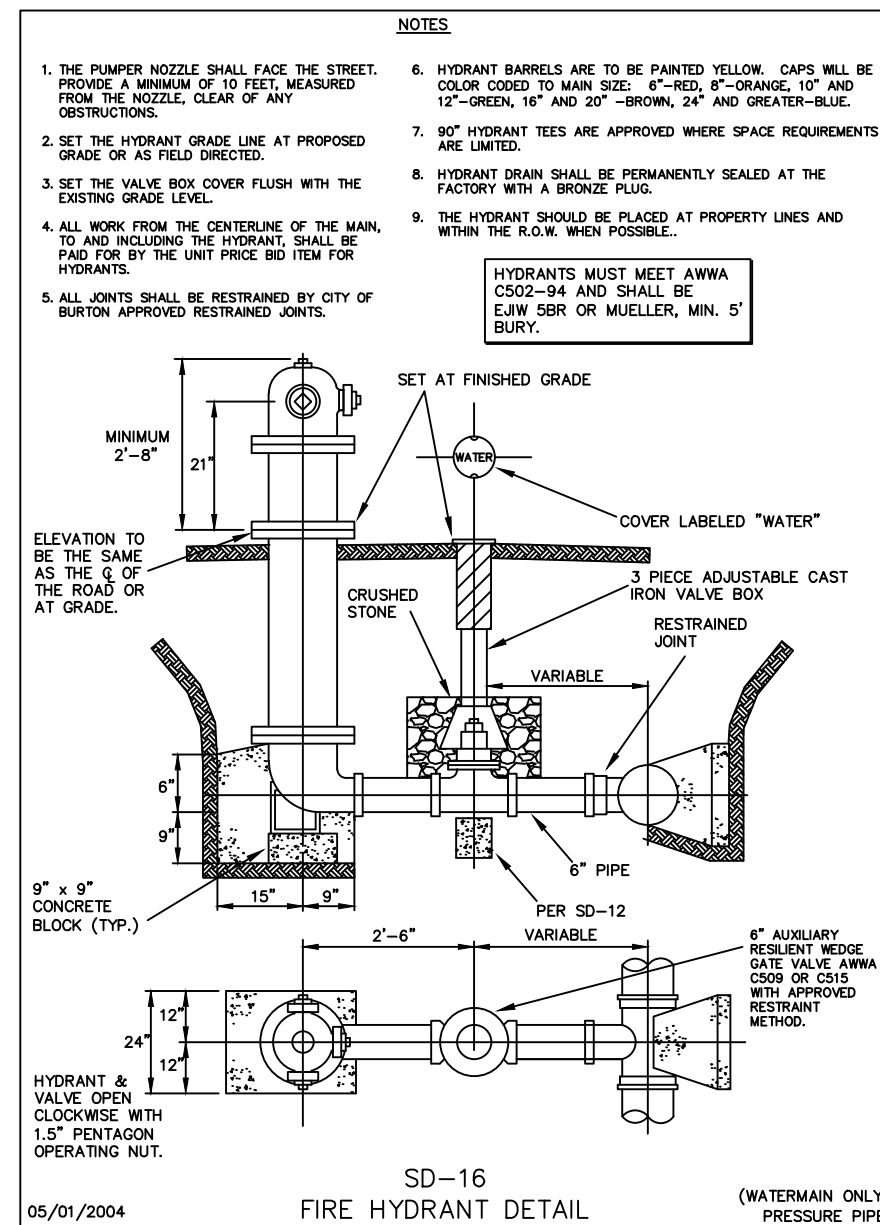
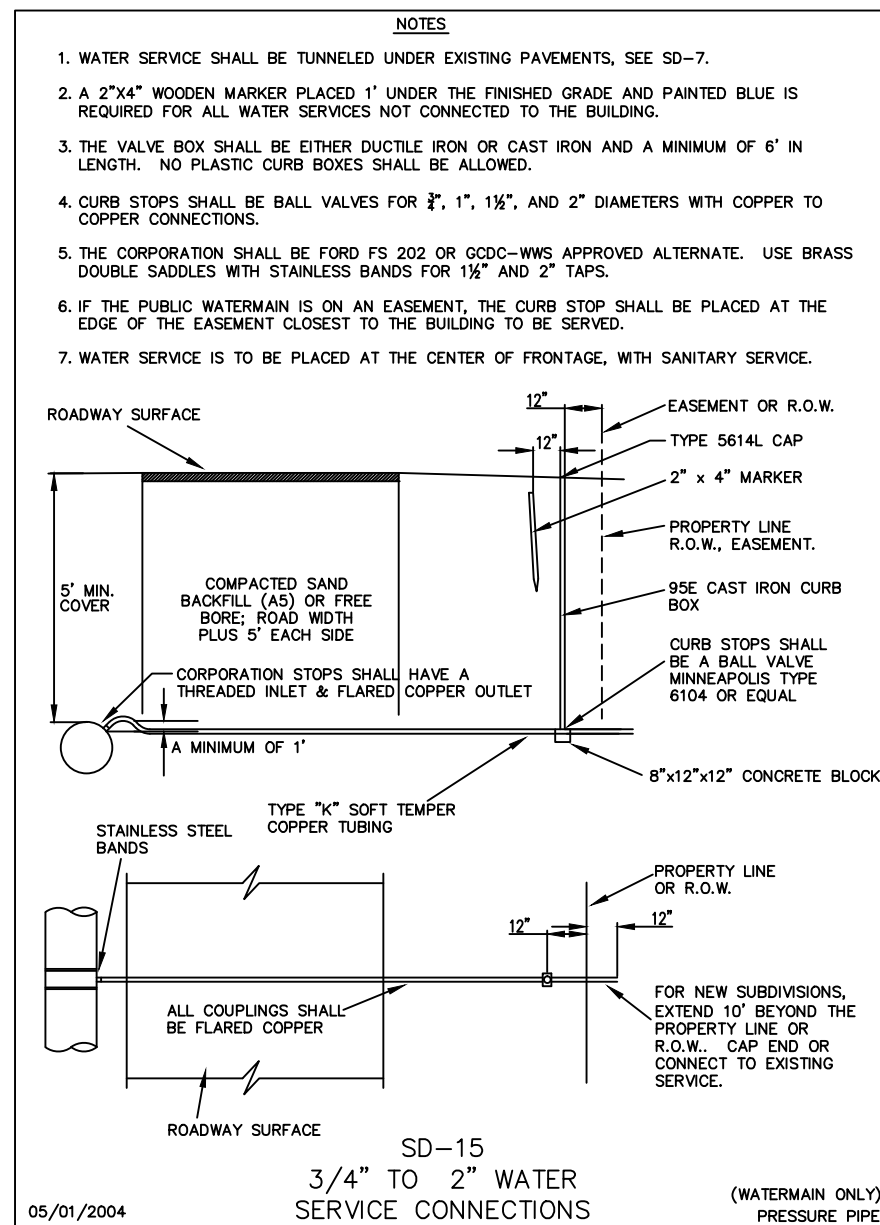
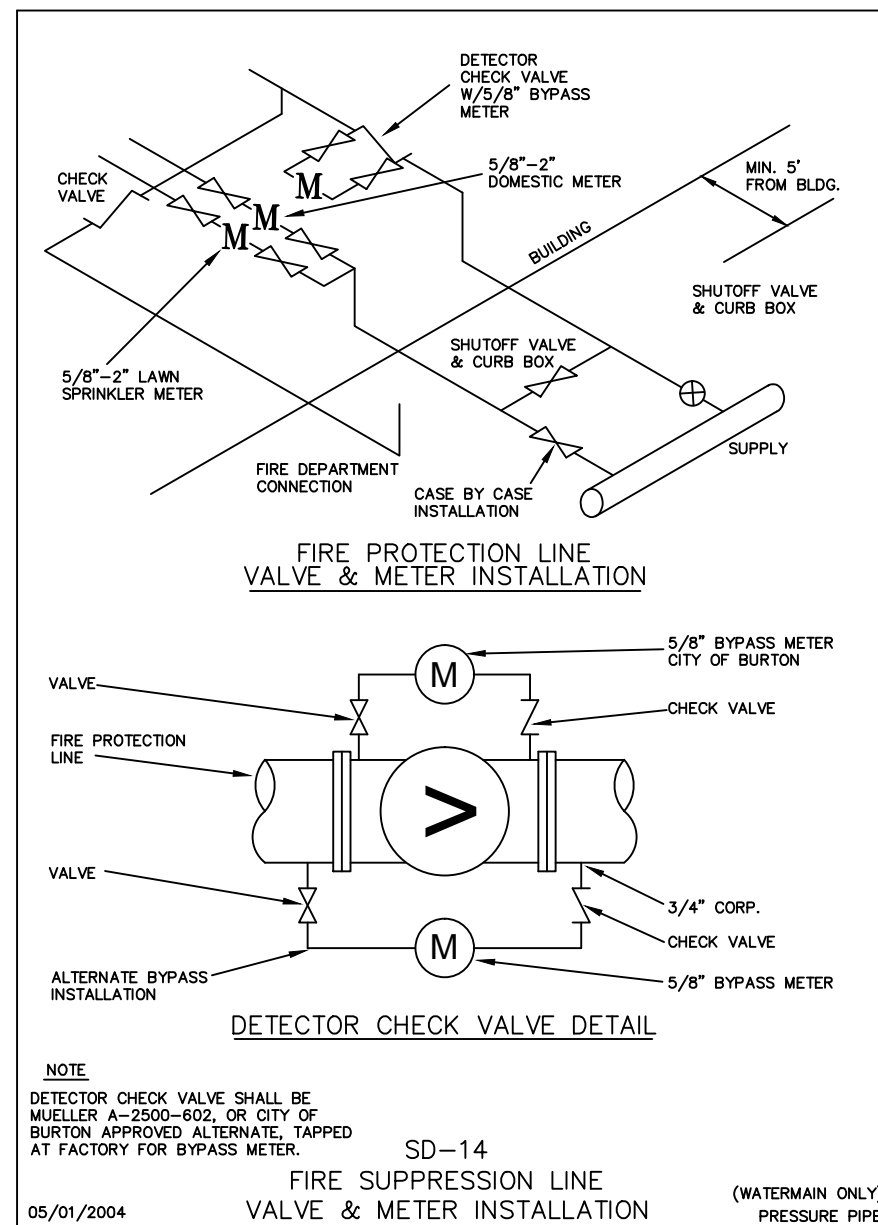
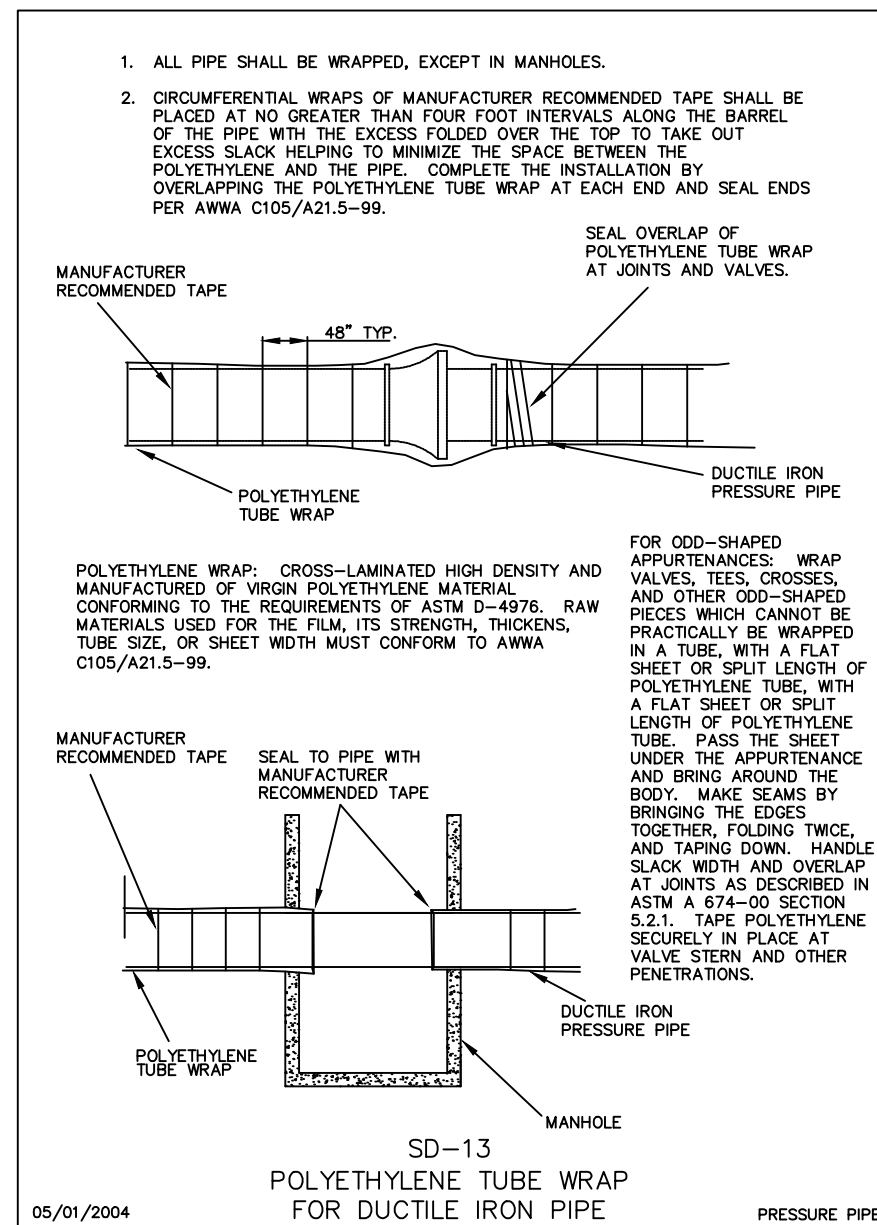
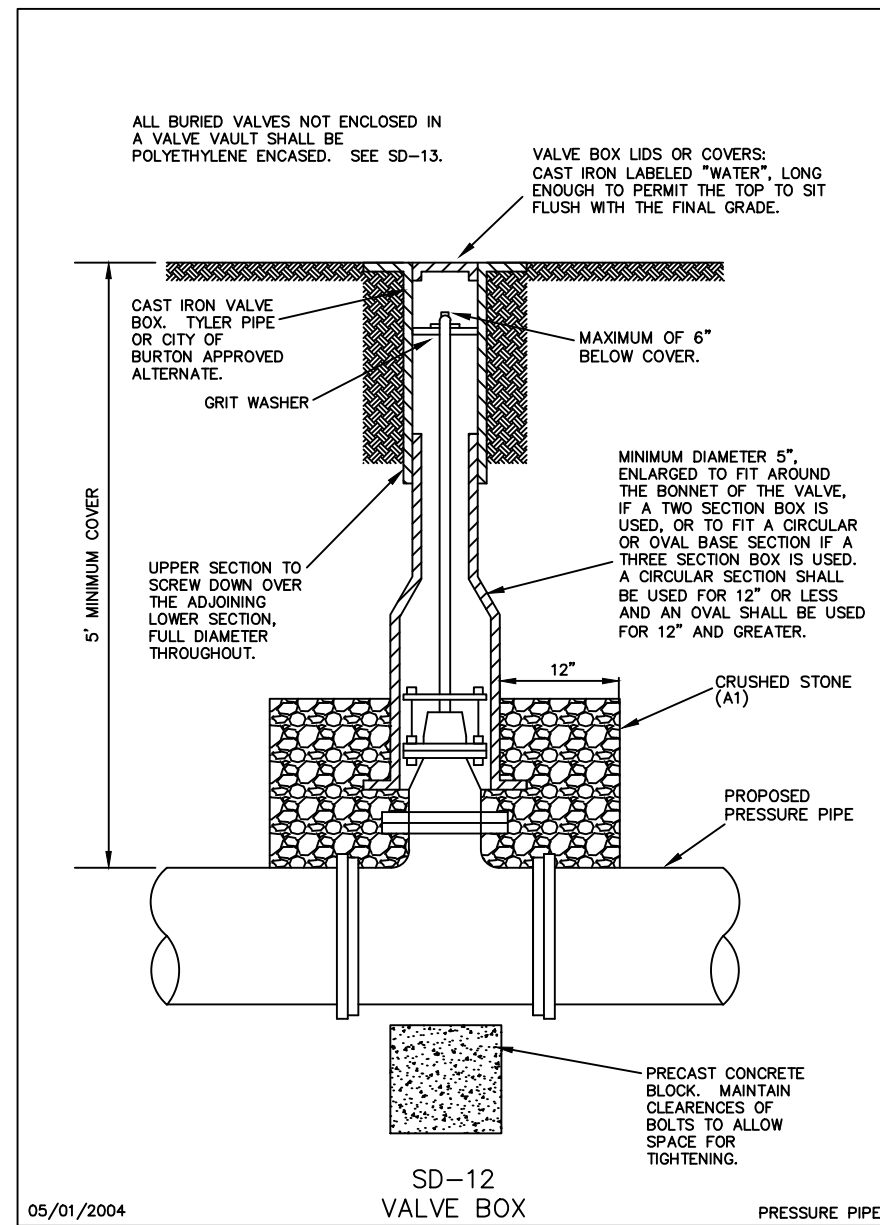
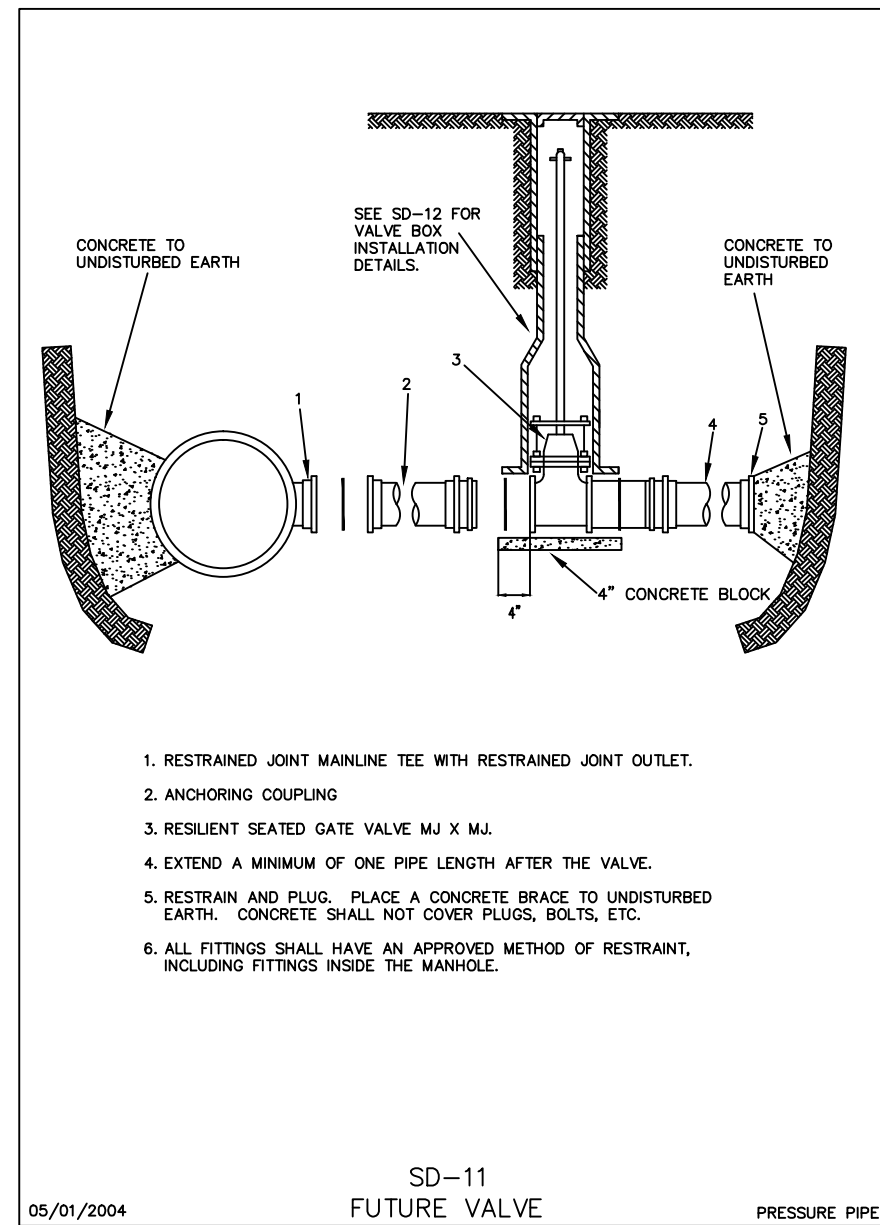
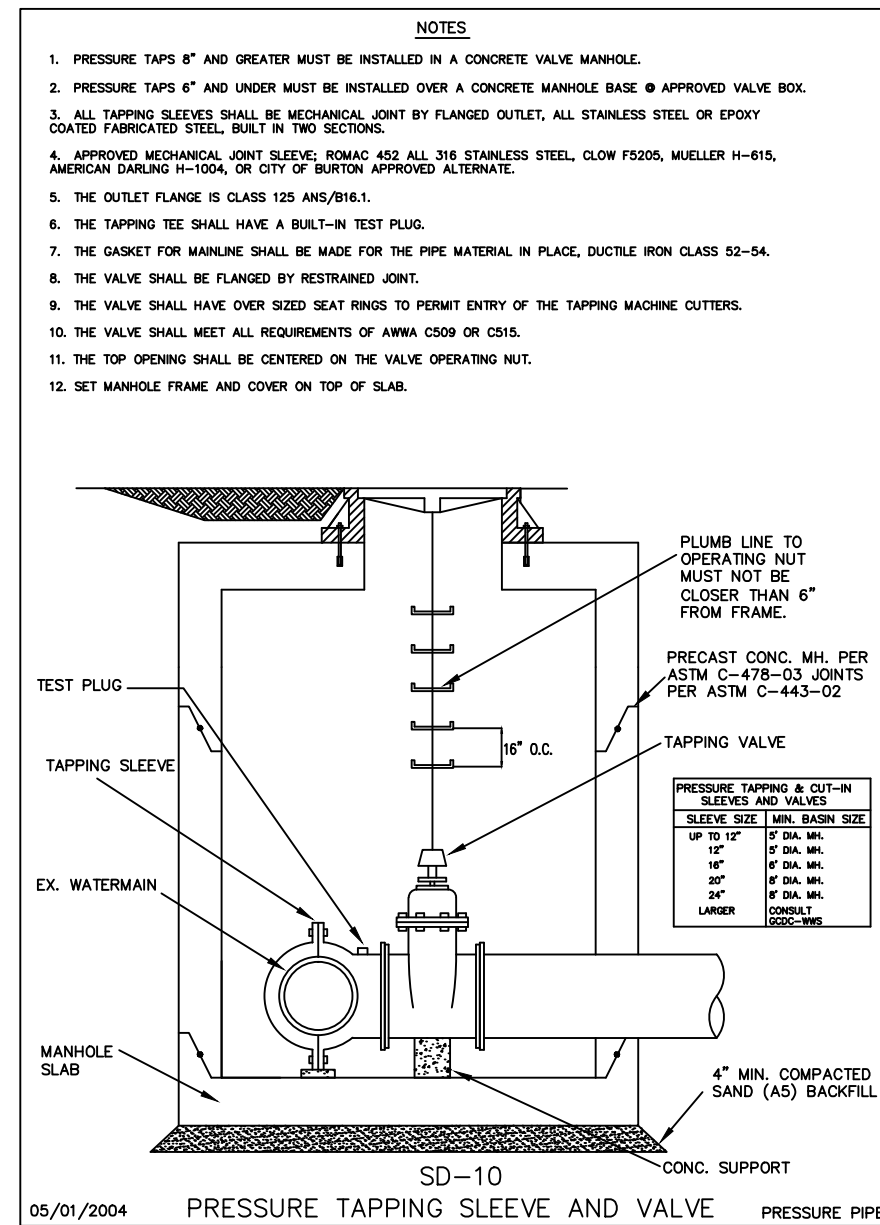
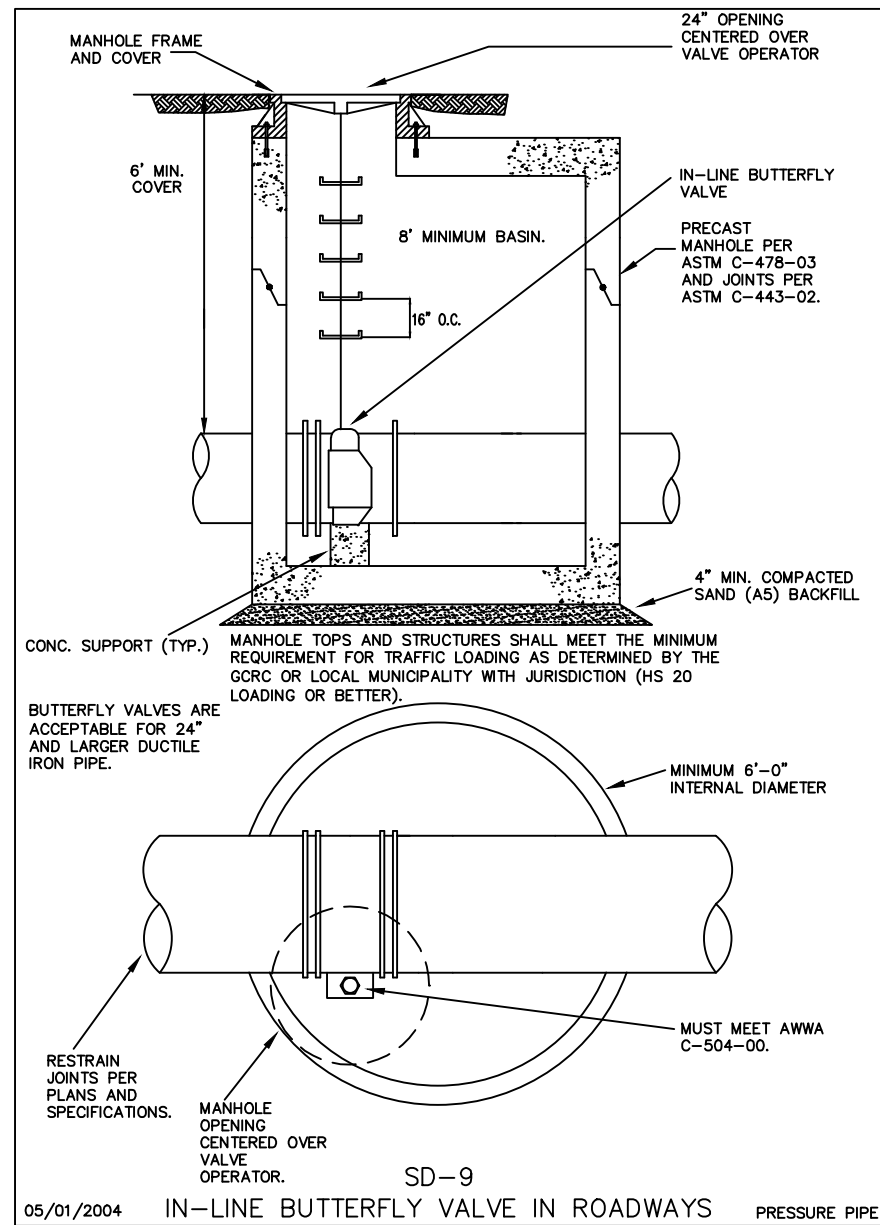
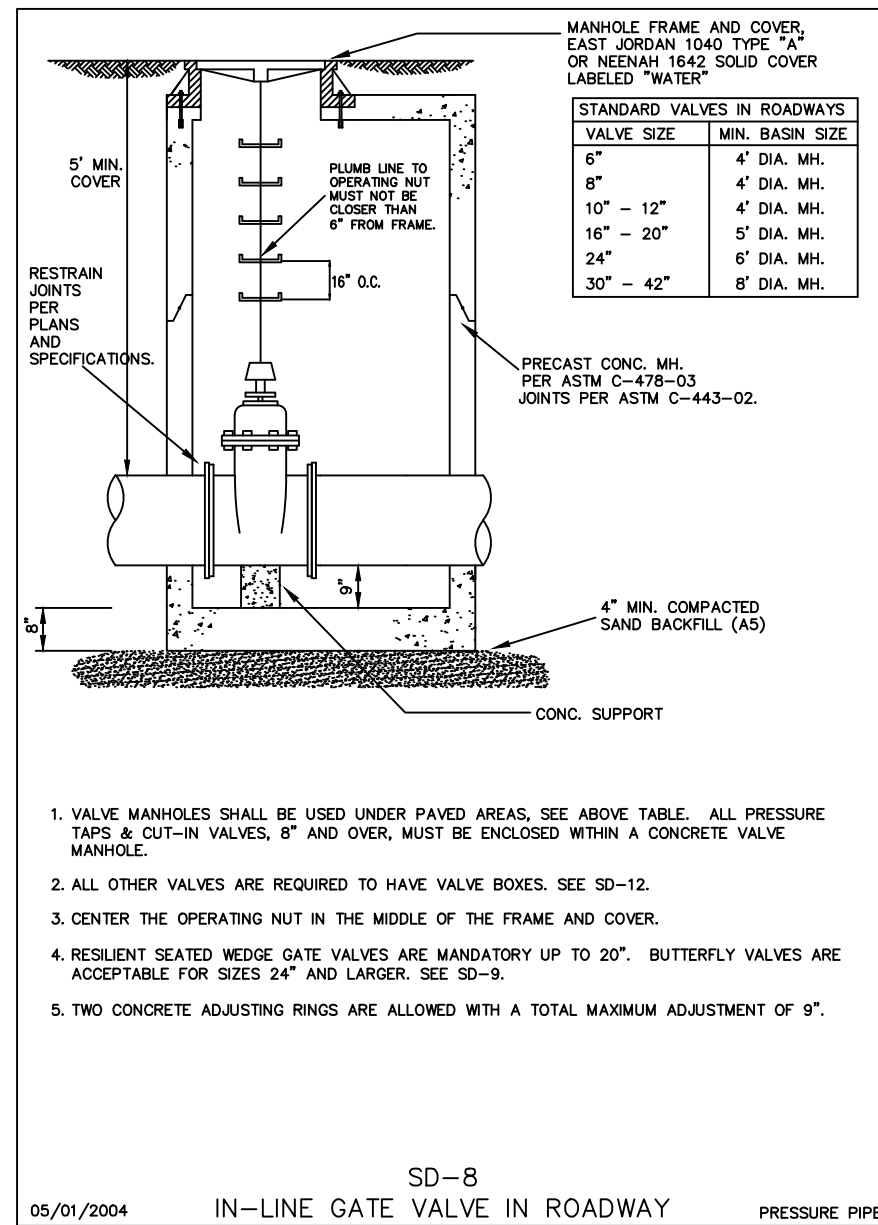
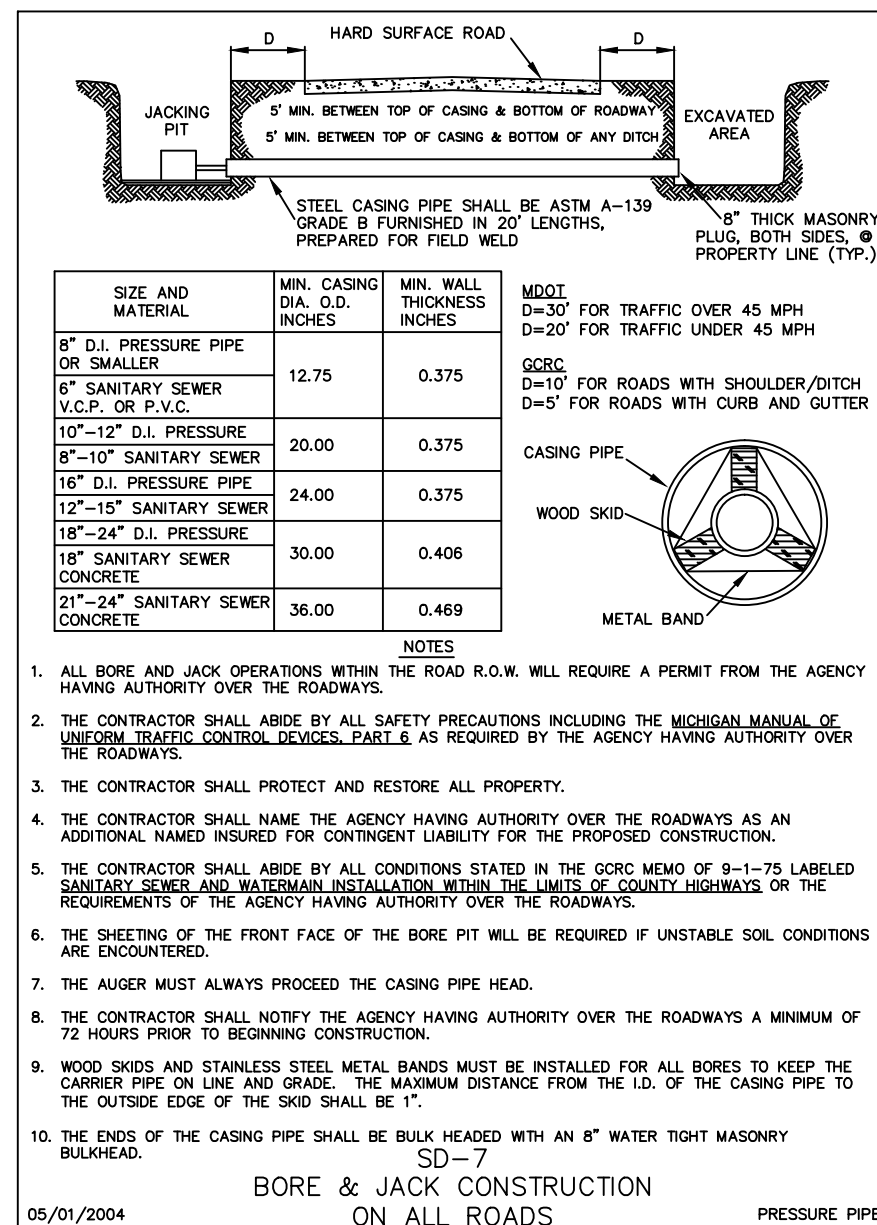
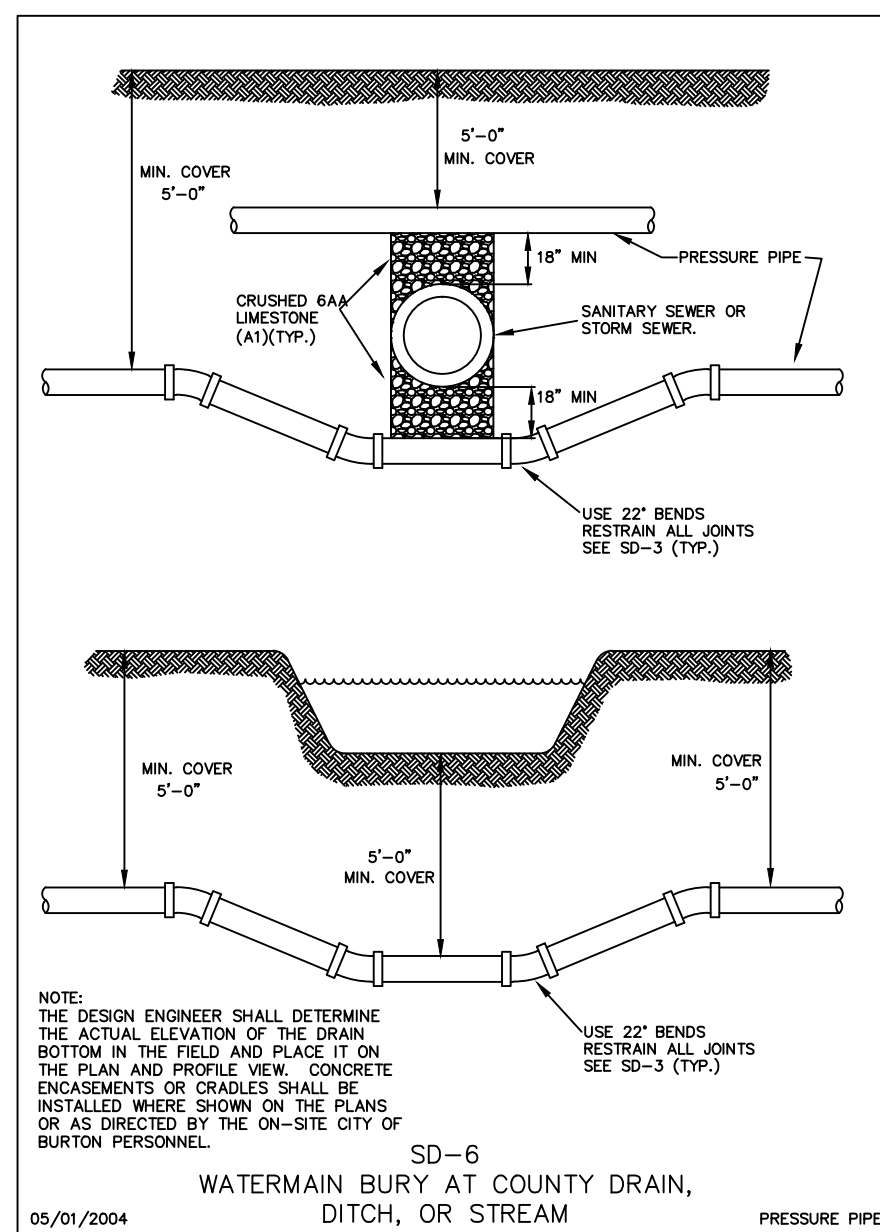
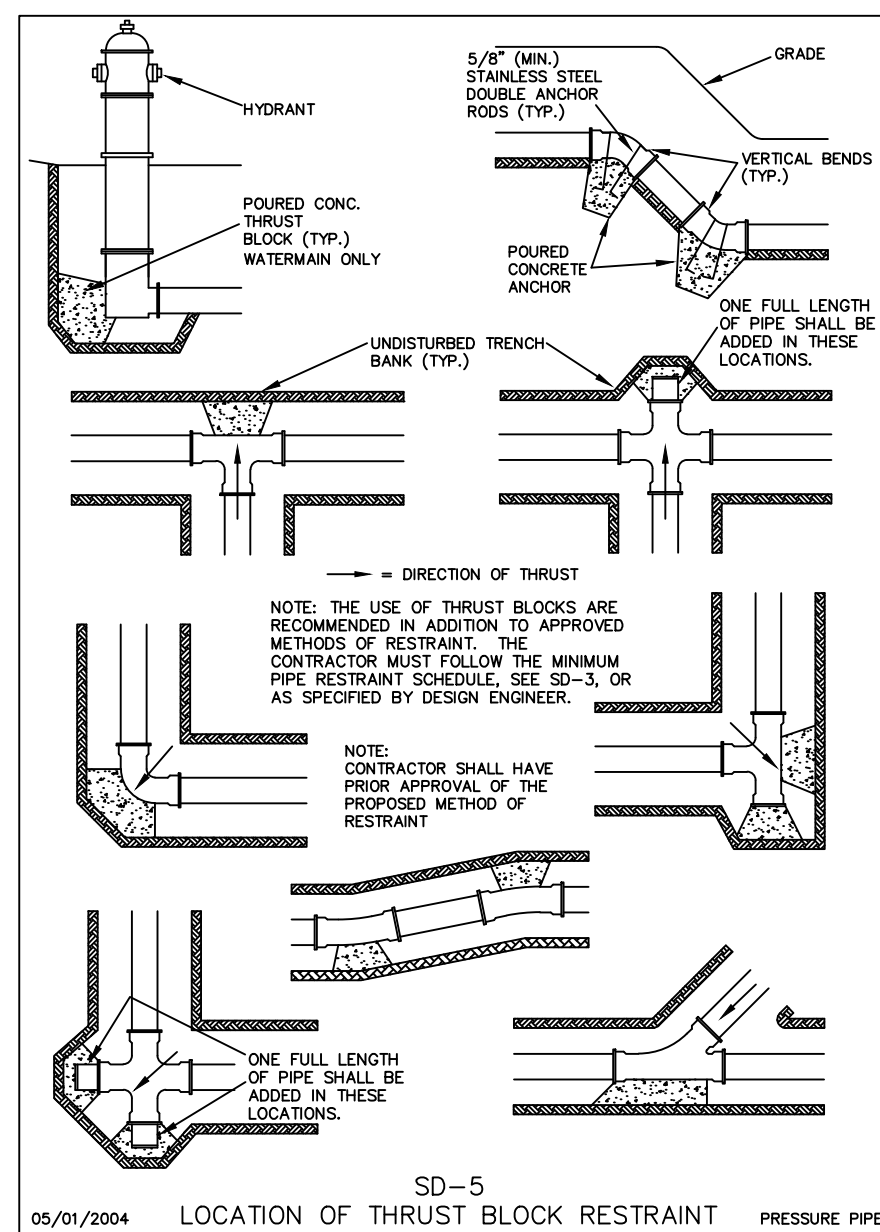
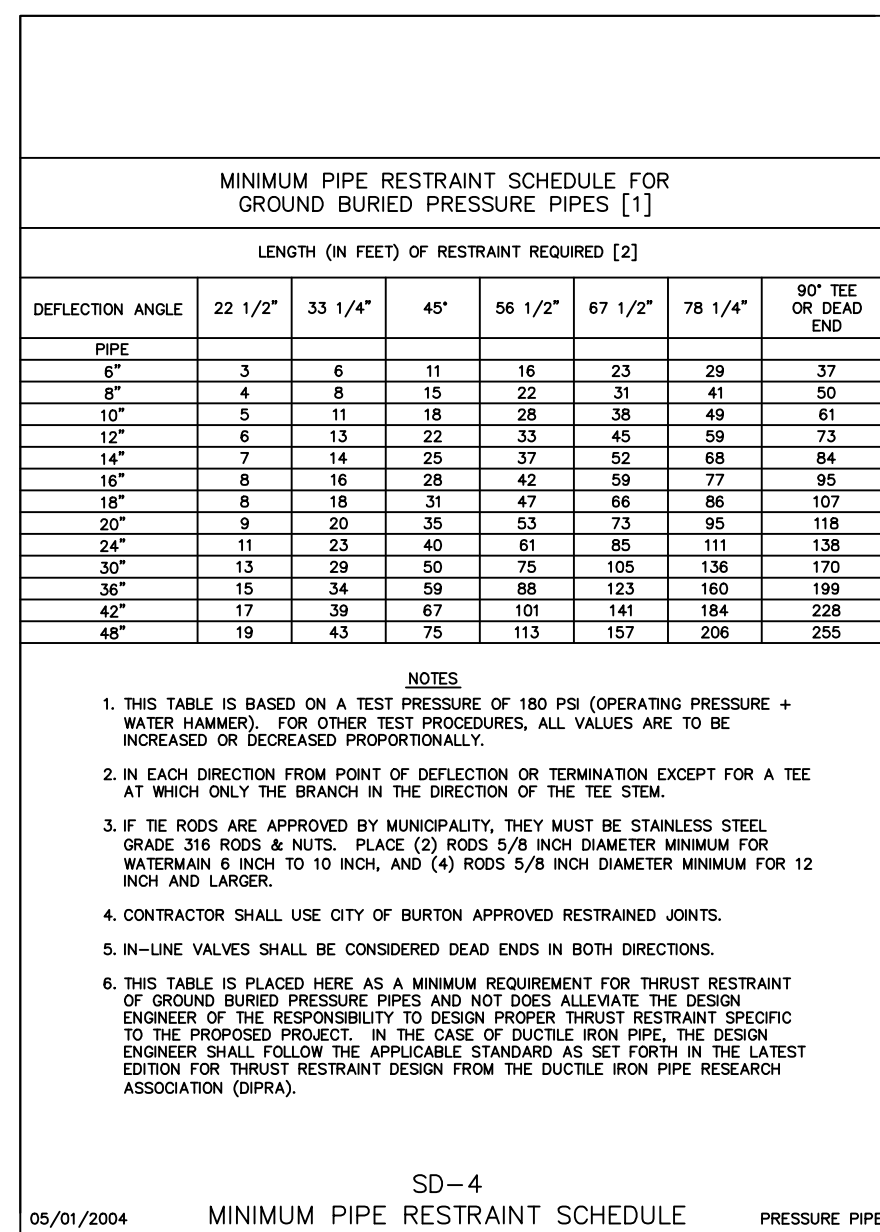
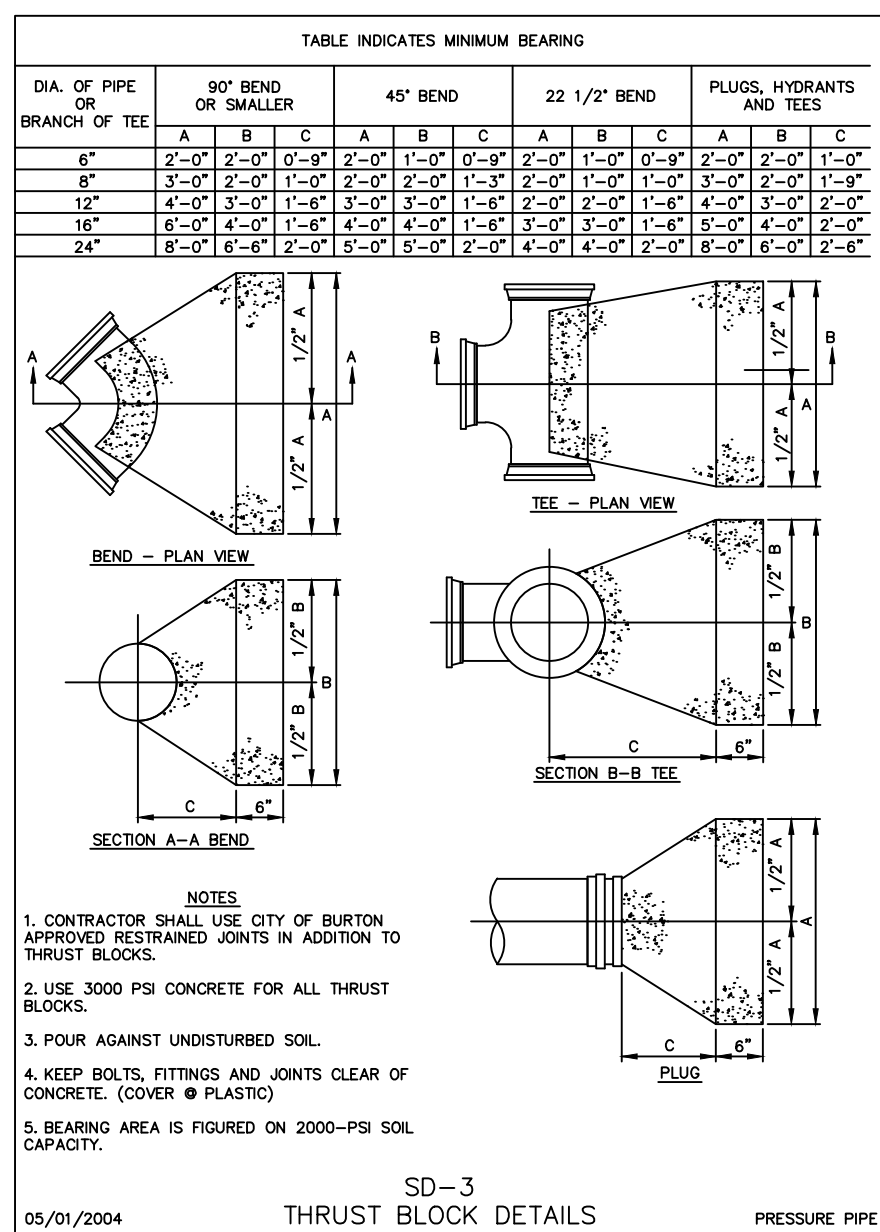
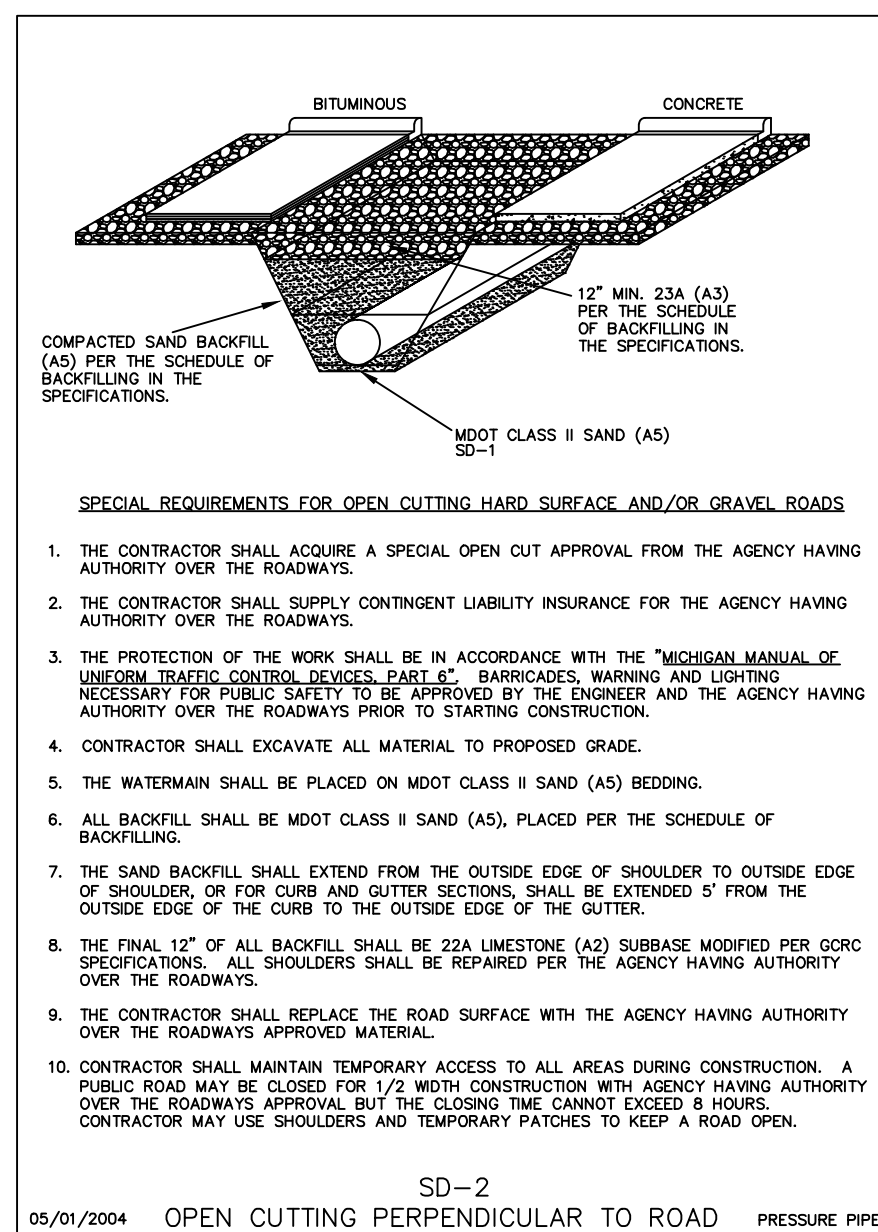
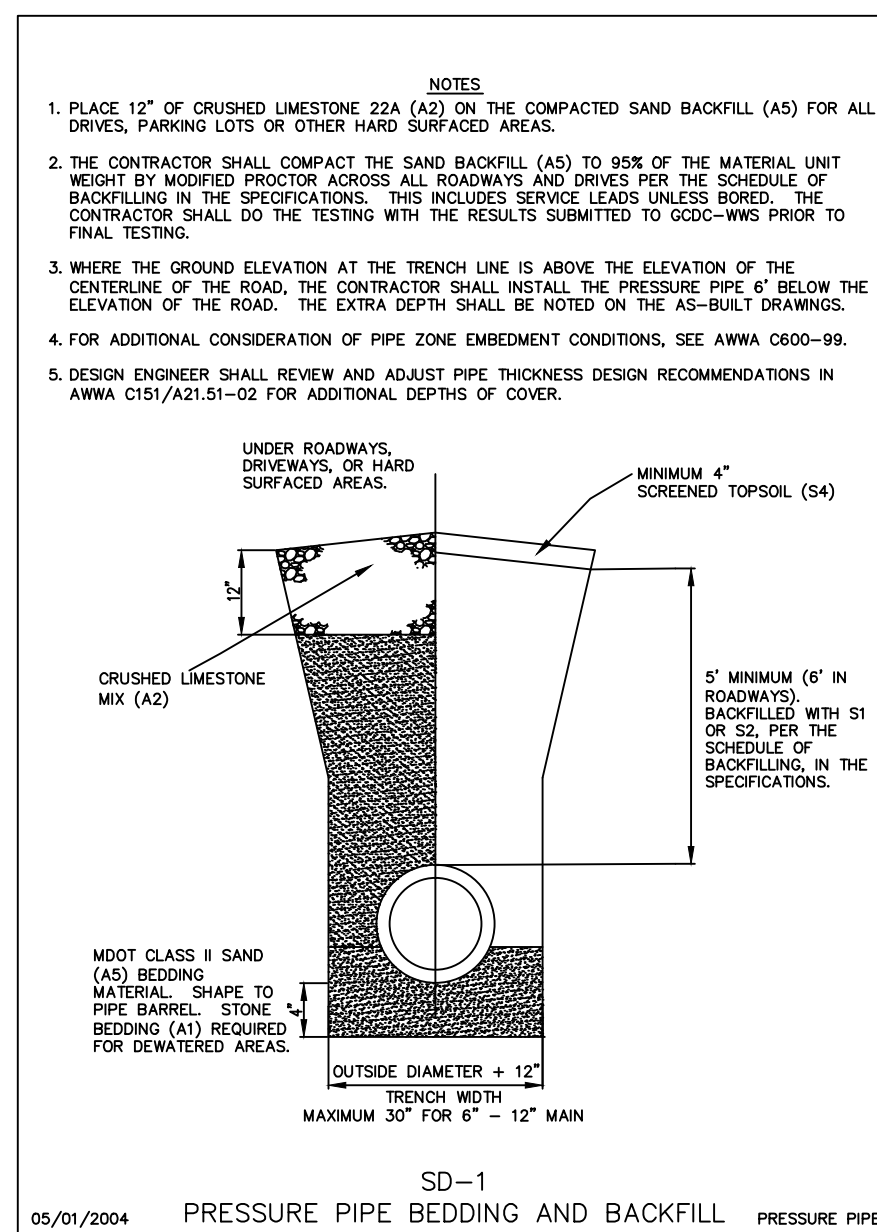


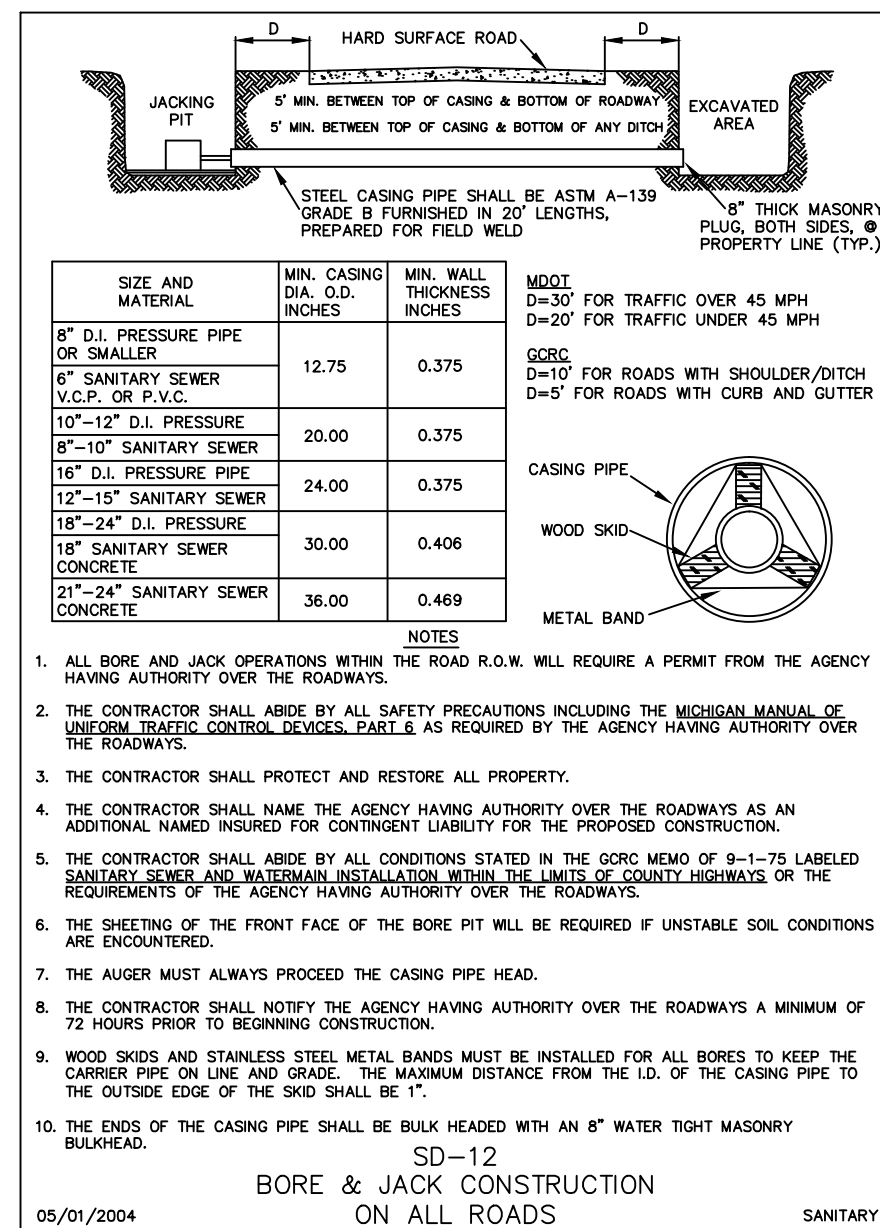
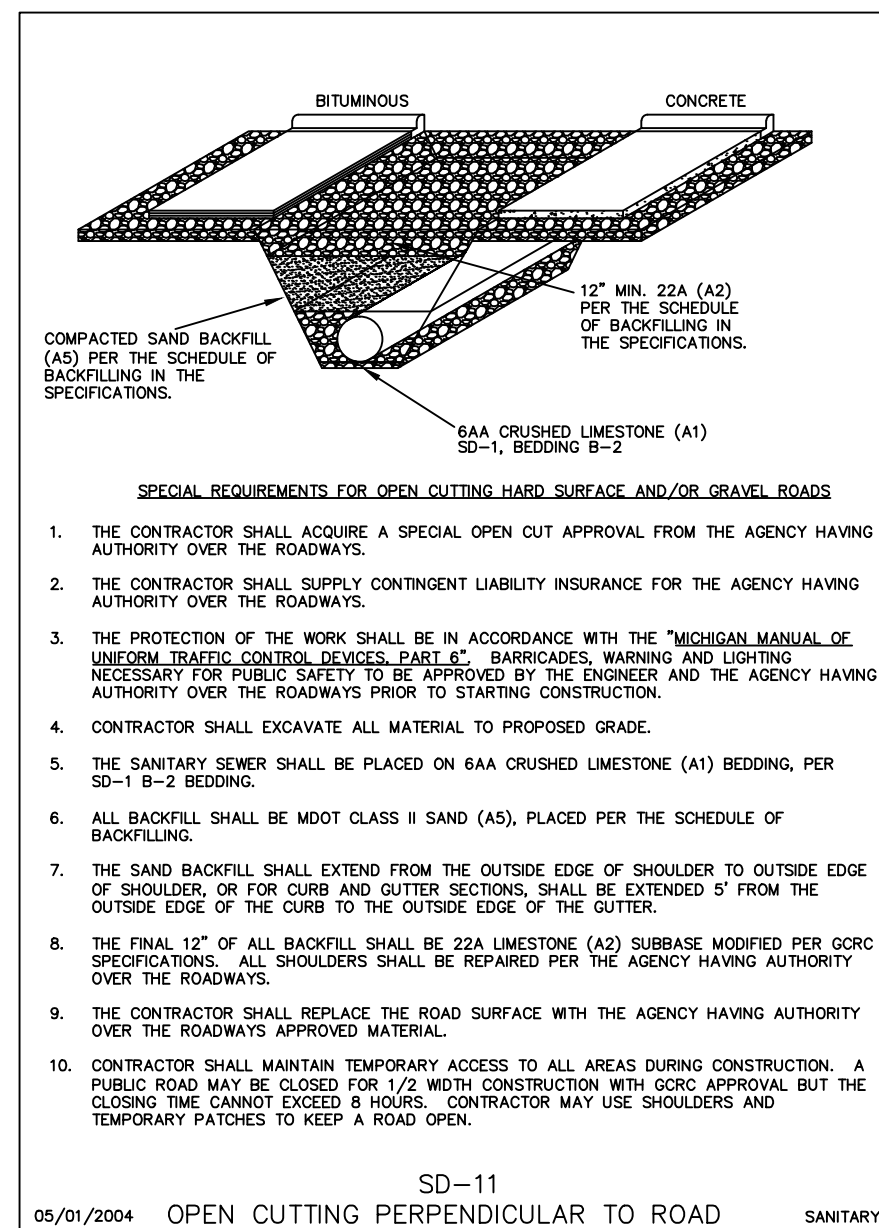
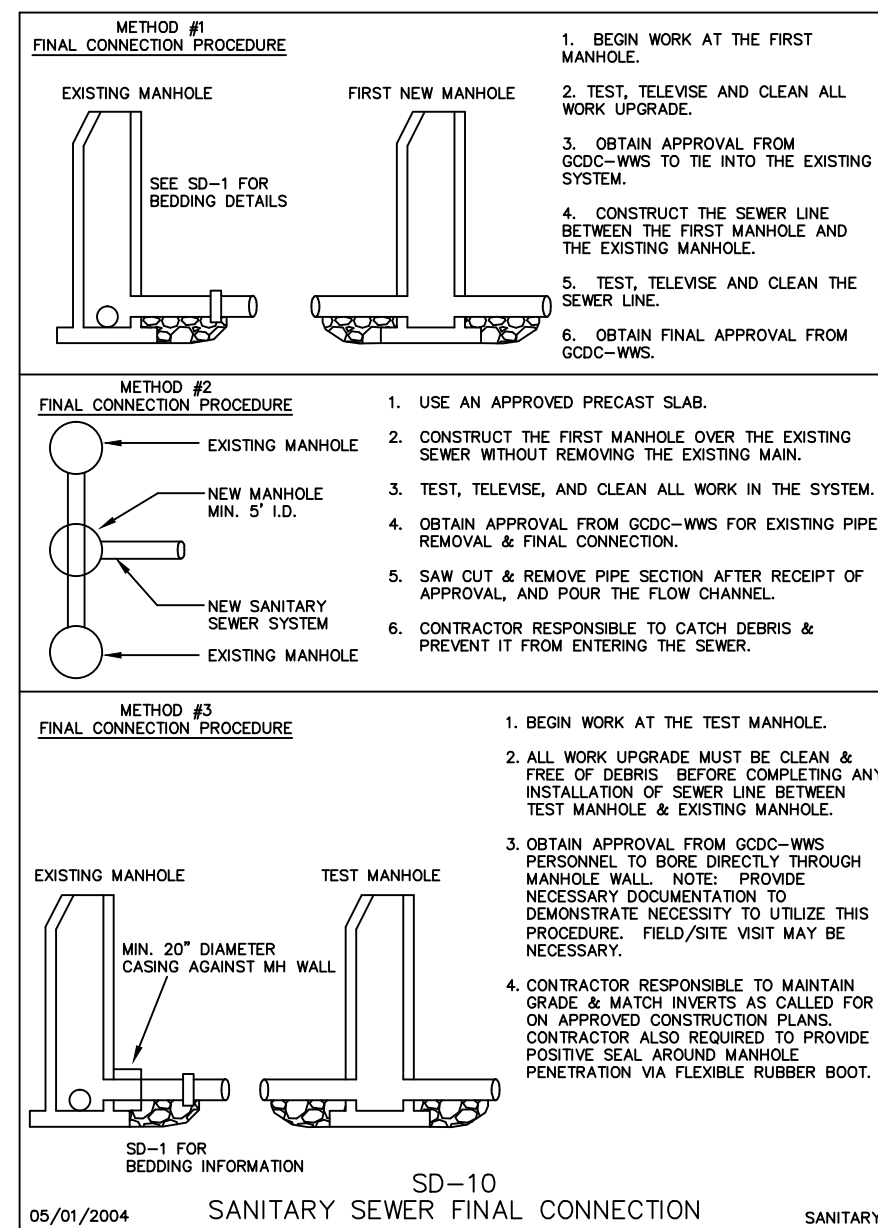
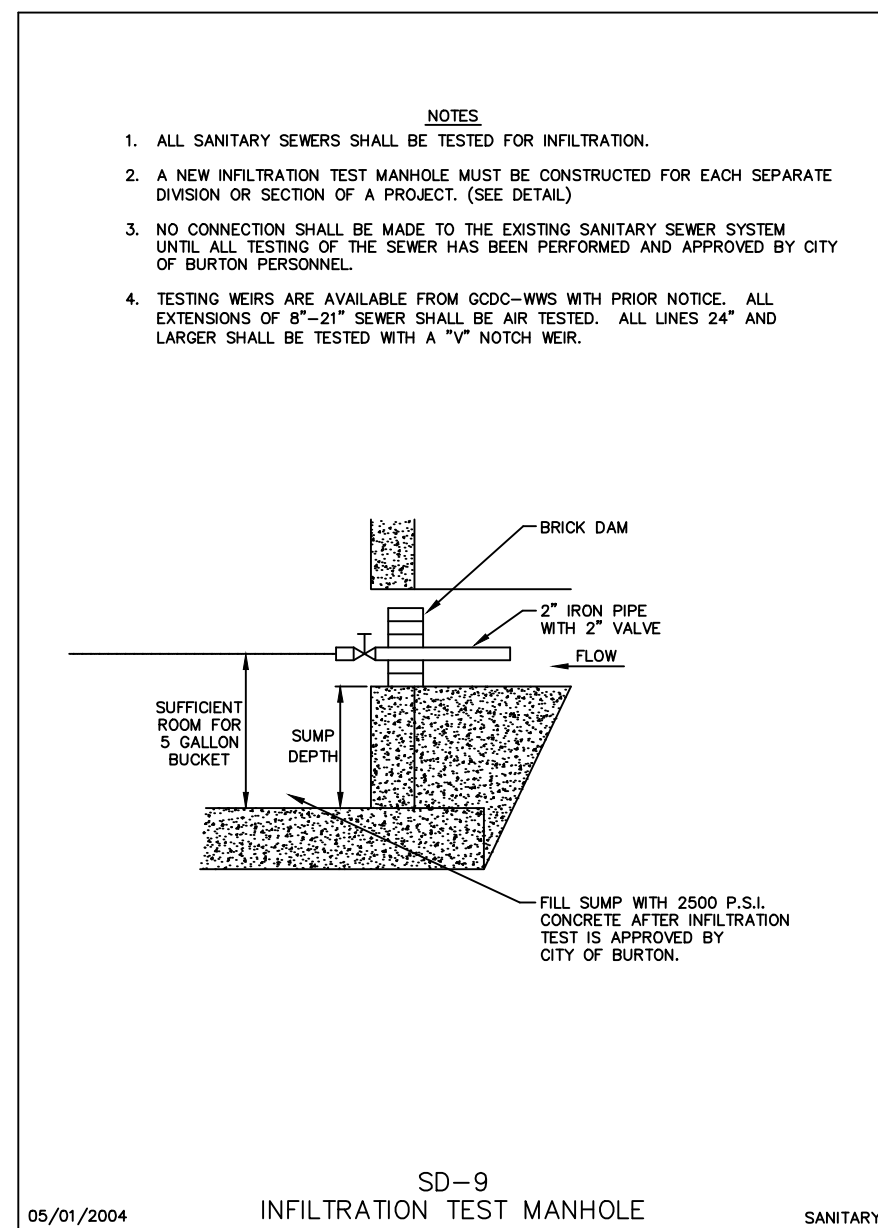
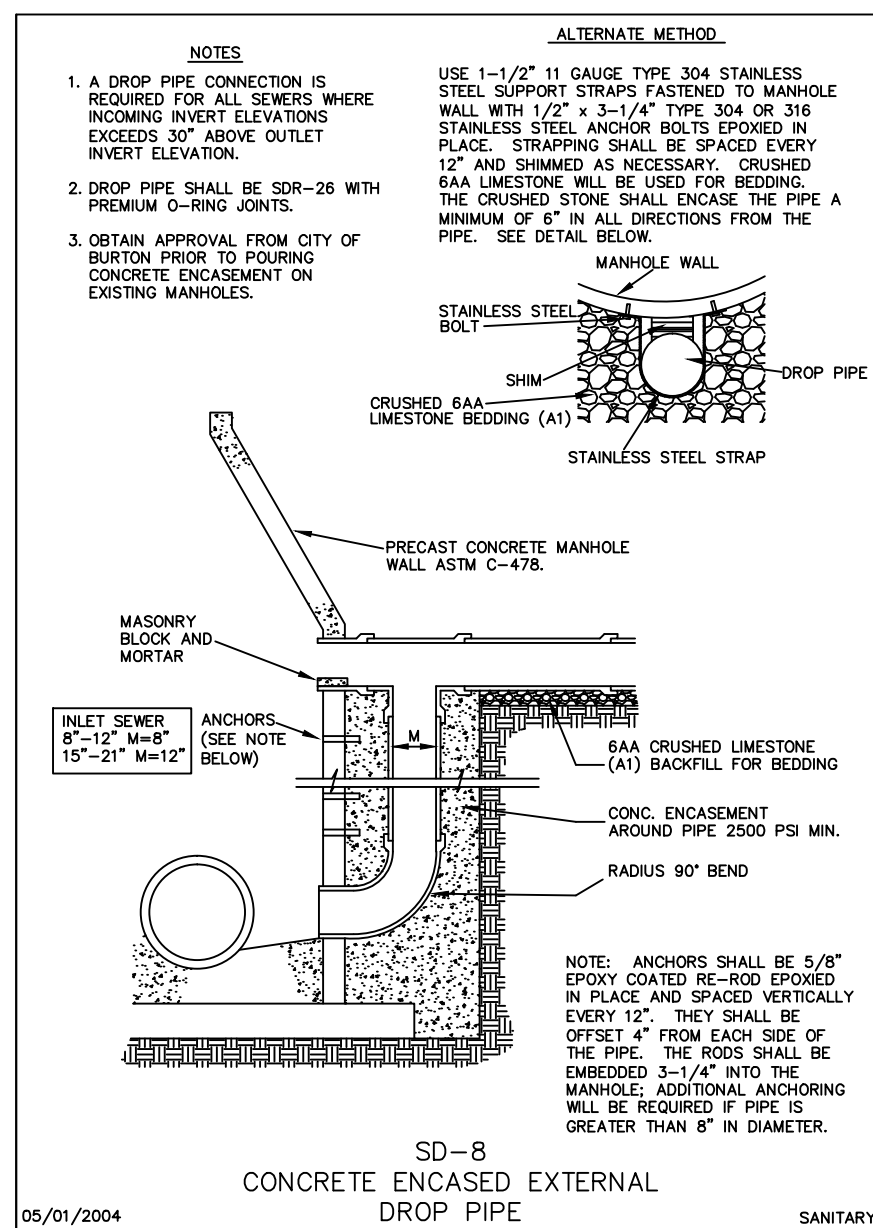
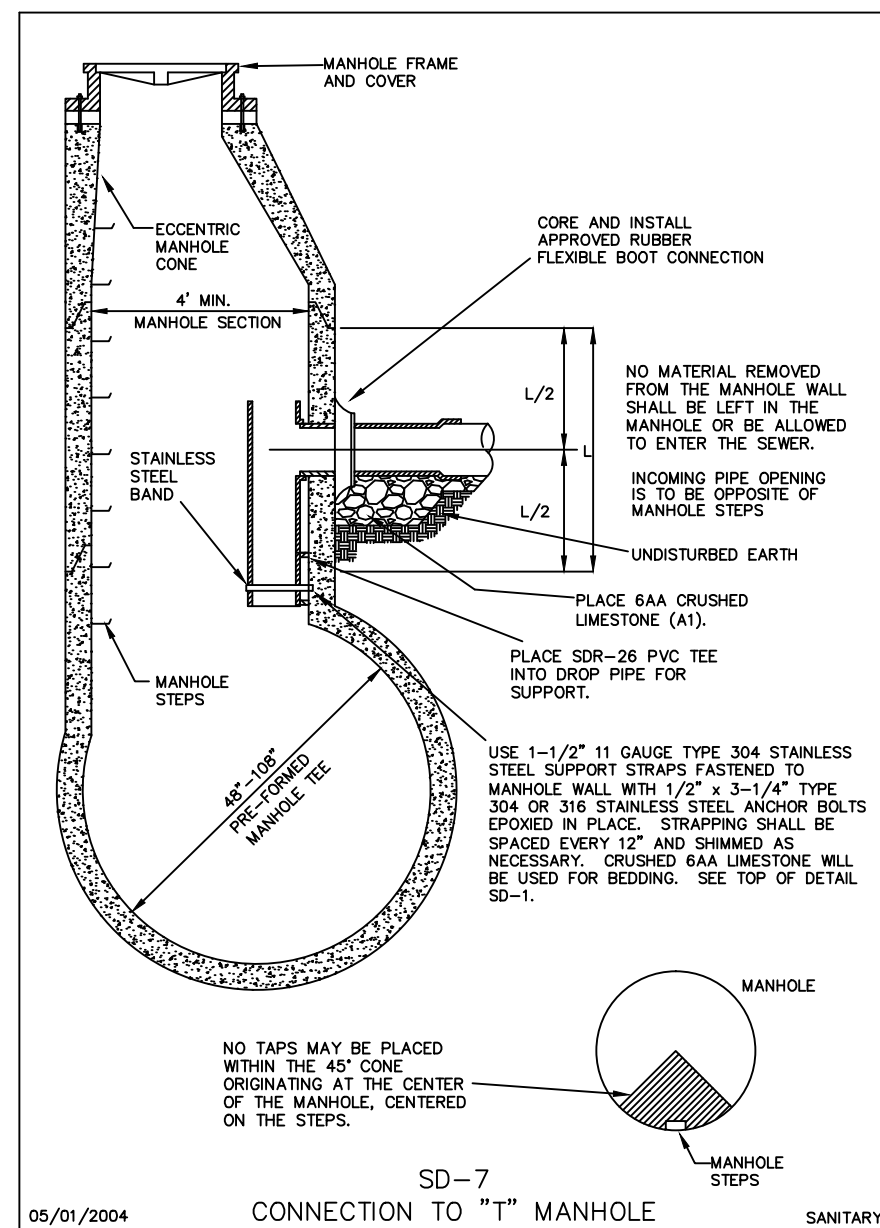
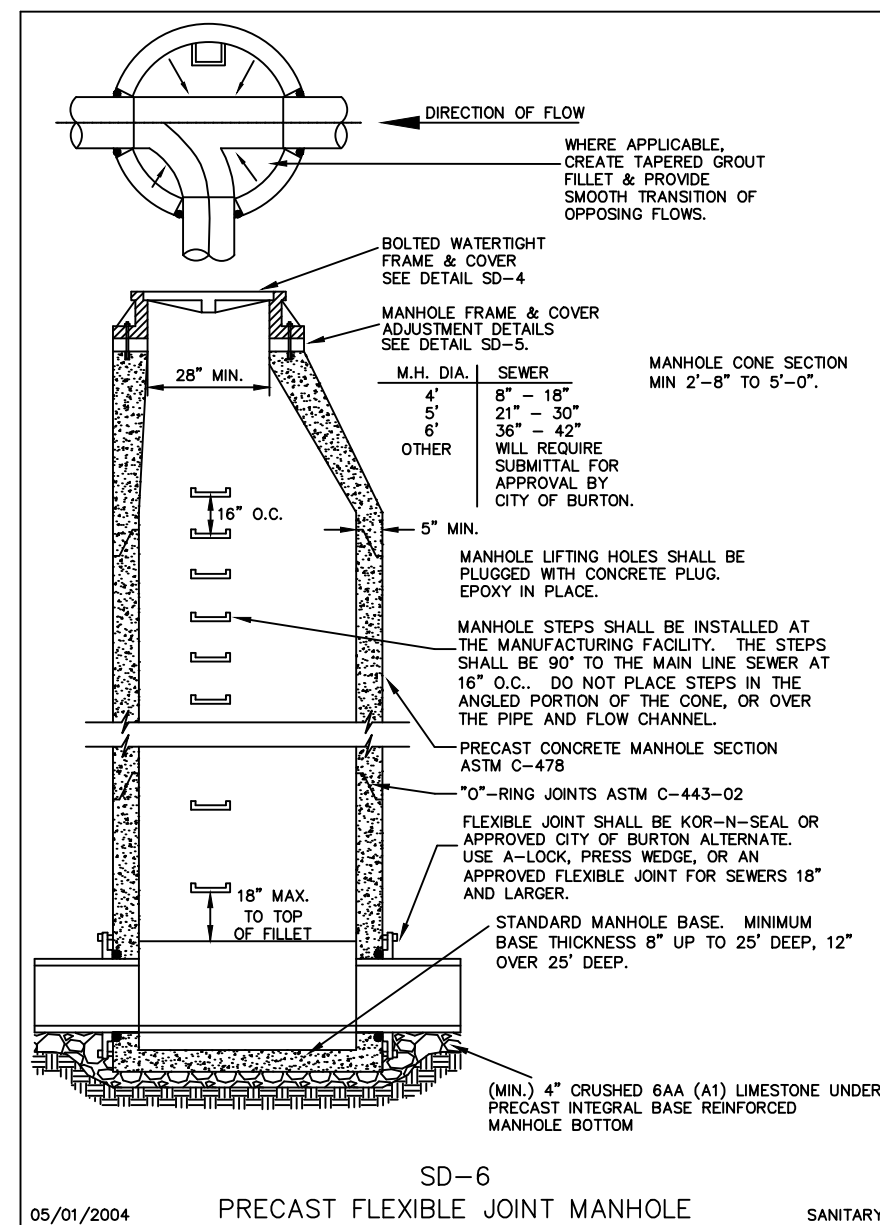
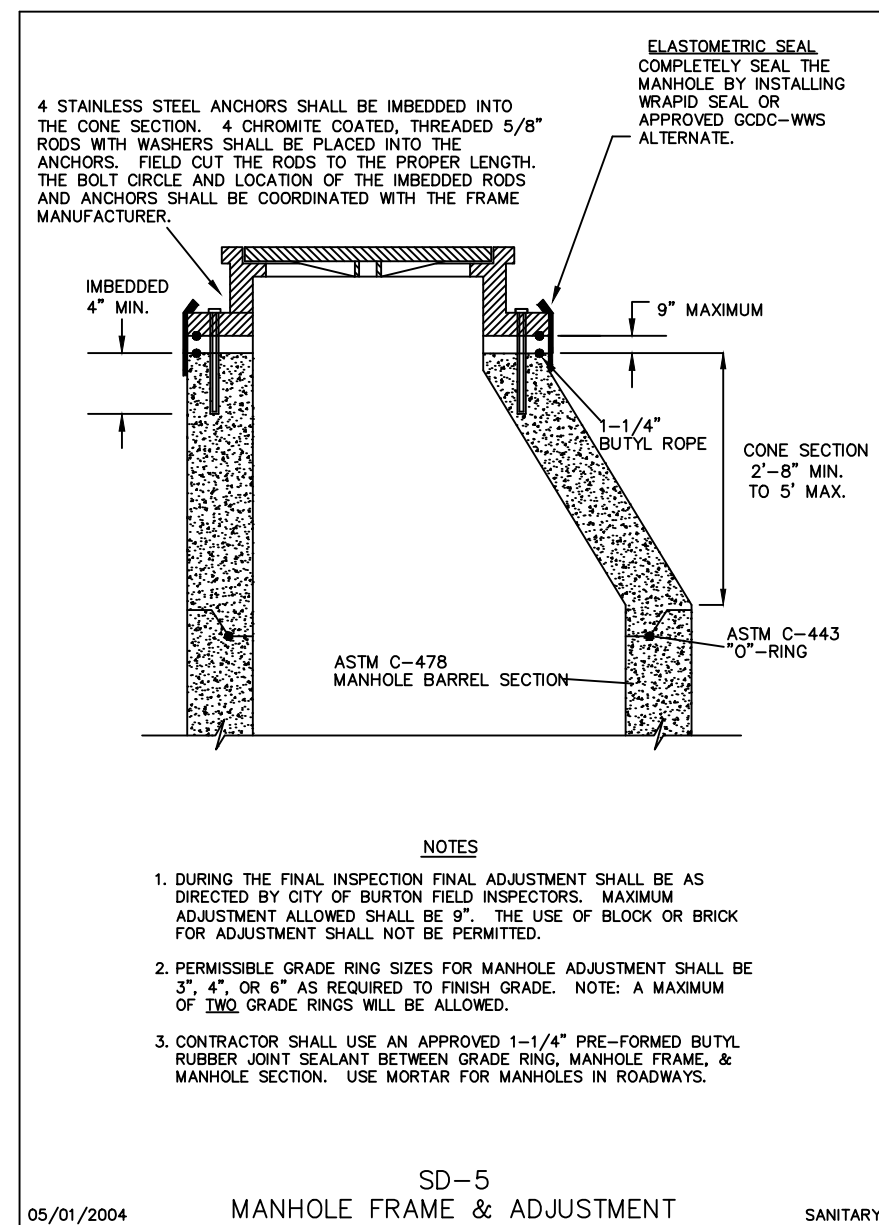
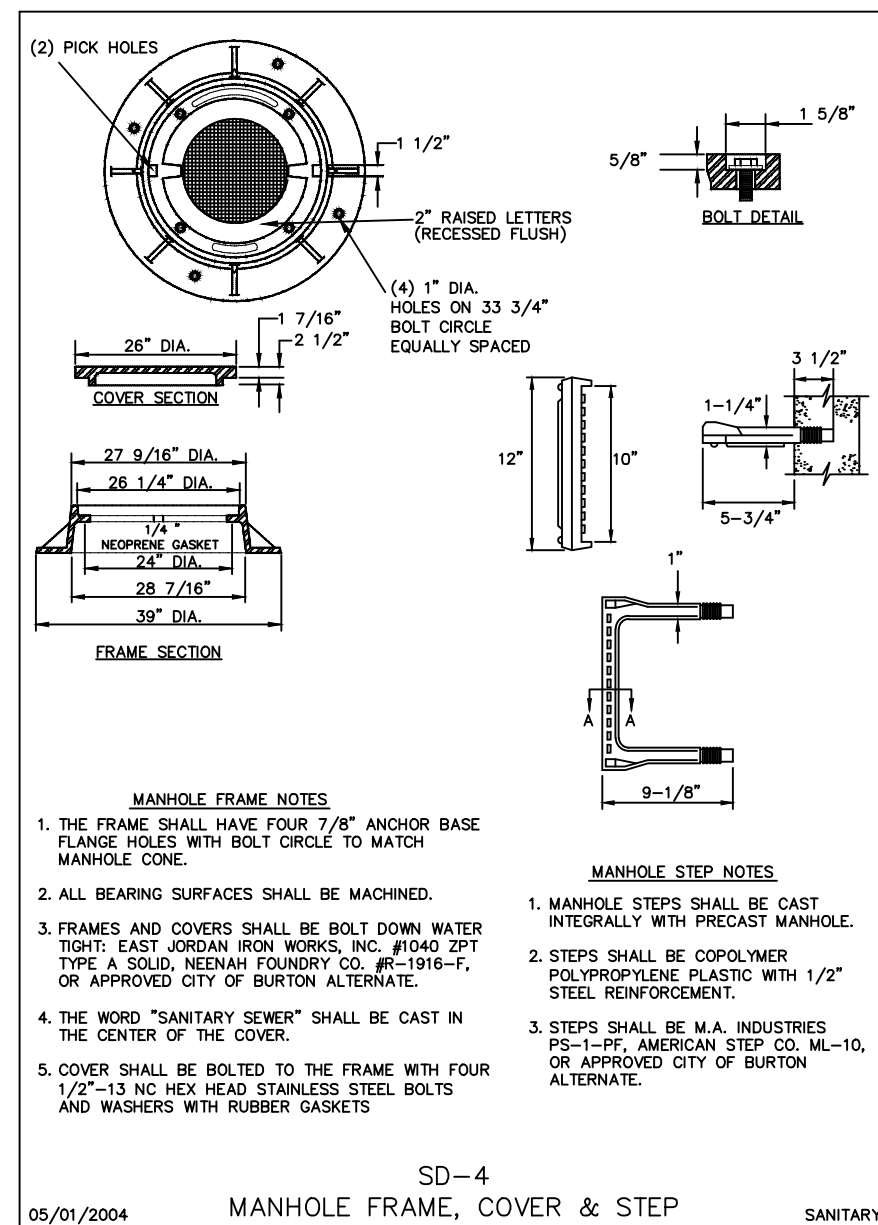
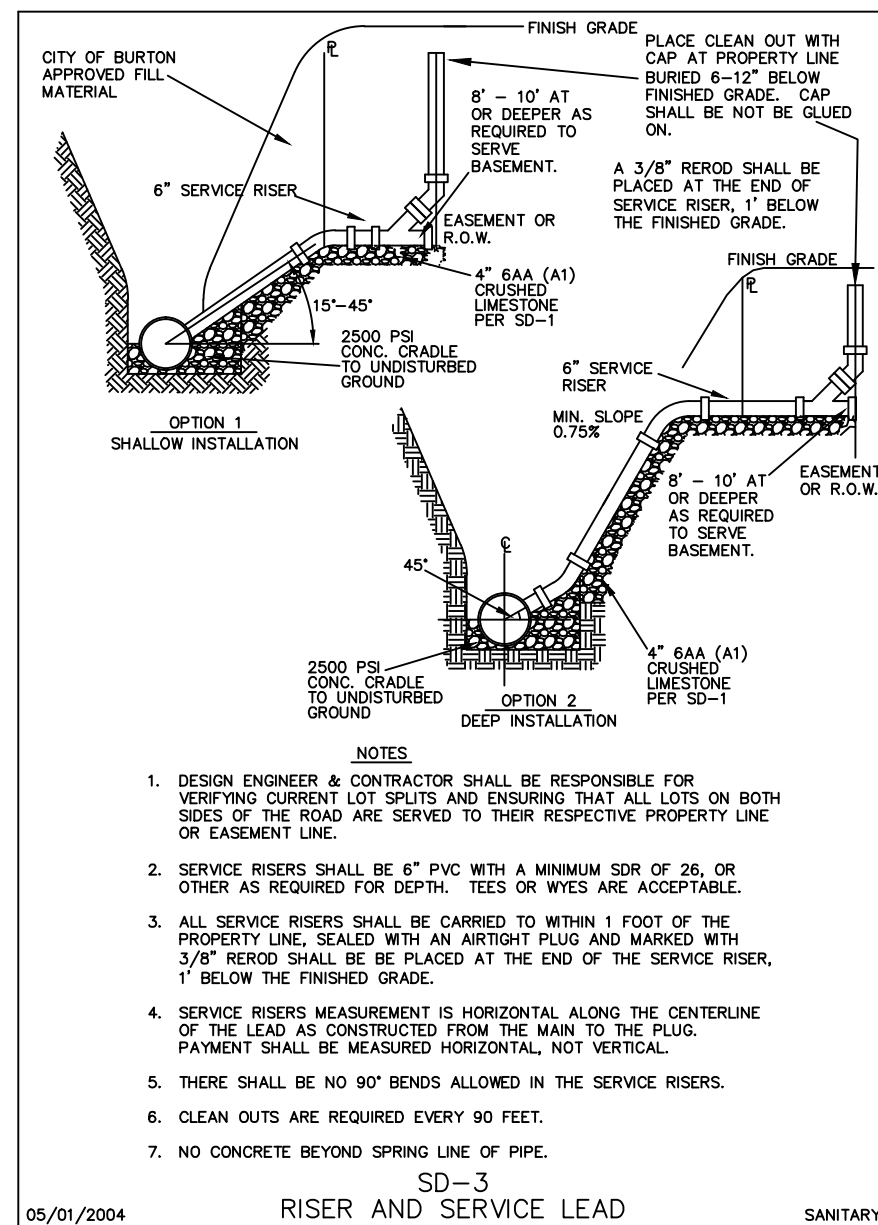
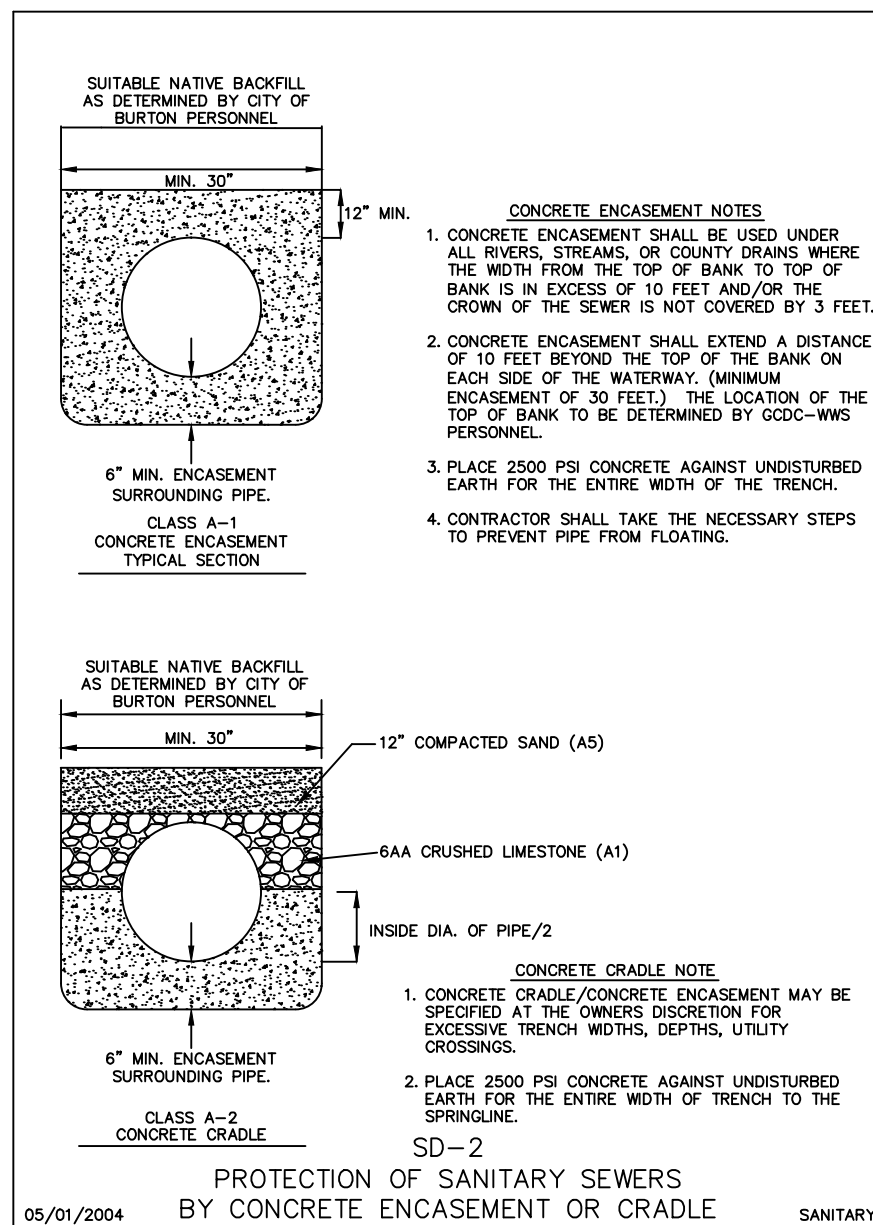
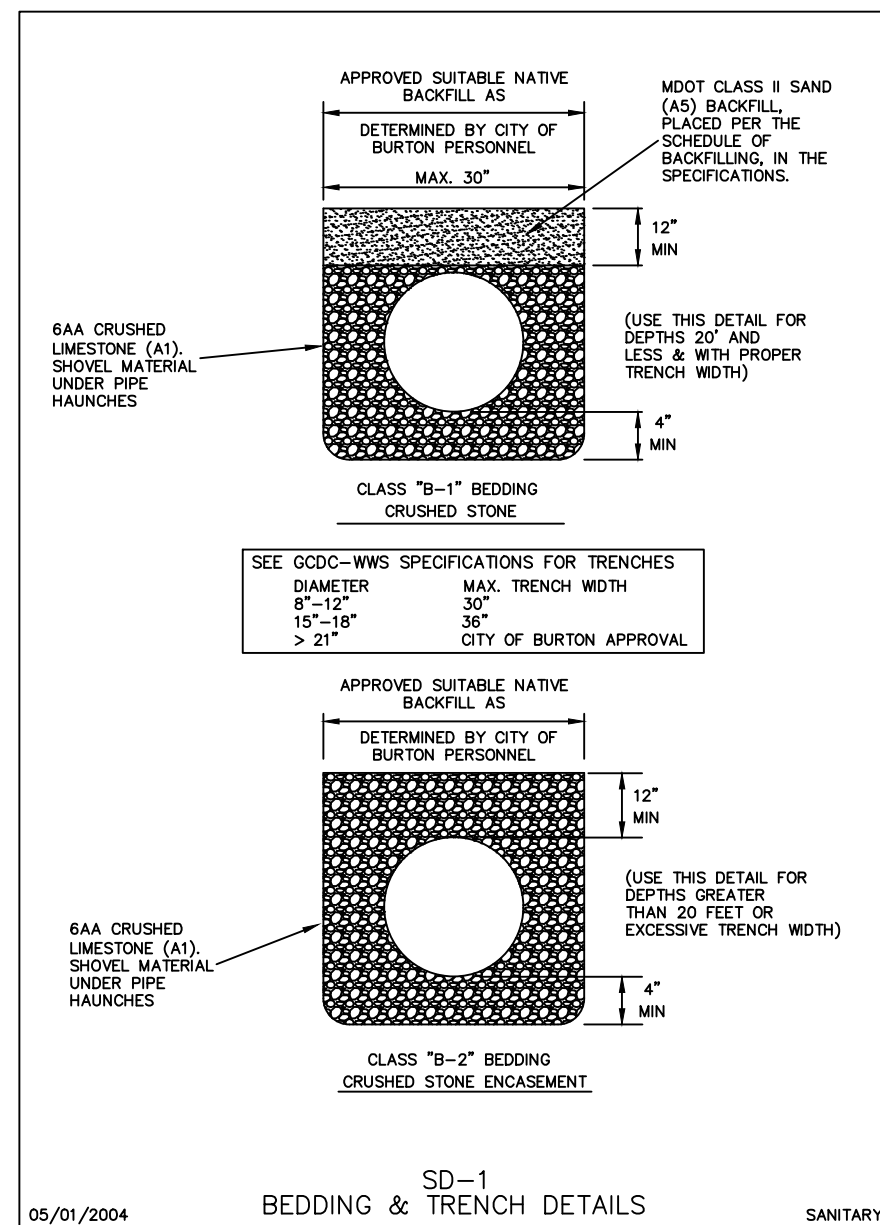
City of Burton

STANDARD CONSTRUCTION NOTES

DWG. NAME: STANDARD NOTES

Attachment: 16-17 (2254 - SPR #16-17)





GENERAL NOTES FOR SANITARY SEWER CONSTRUCTION

1. ALL SANITARY SEWER SHALL BE TELEVIEWED AND VIDEO-TAPED BY CITY OF BURTON WITH REPORTS SUBMITTED TO GDC-WWS.
2. ALL PVC MAINLINE PIPE IS TO BE MANUFACTURED BY A 9-SIDED MANHOLE MEETING CITY OF BURTON SPECIFICATIONS. THE MAXIMUM ALLOWABLE DEFLECTION IS 5%.
3. EACH 6" SERVICE CONNECTION SHALL BE STAKED, WITH AN INVERT ELEVATION, BY THE FIELD ENGINEER.
4. ALL PROJECTS SHALL HAVE A MANDATORY PRE-CONSTRUCTION MEETING WITH THE CITY OF BURTON AND GDC-WWS.

REVISIONS:
PER CITY OF BURTON COMMENTS, 12-7-04

DEPARTMENT OF PUBLIC WORKS
4093 MANOR DRIVE
BURTON, MICHIGAN 48519 PHONE: 742-9230



City of Burton

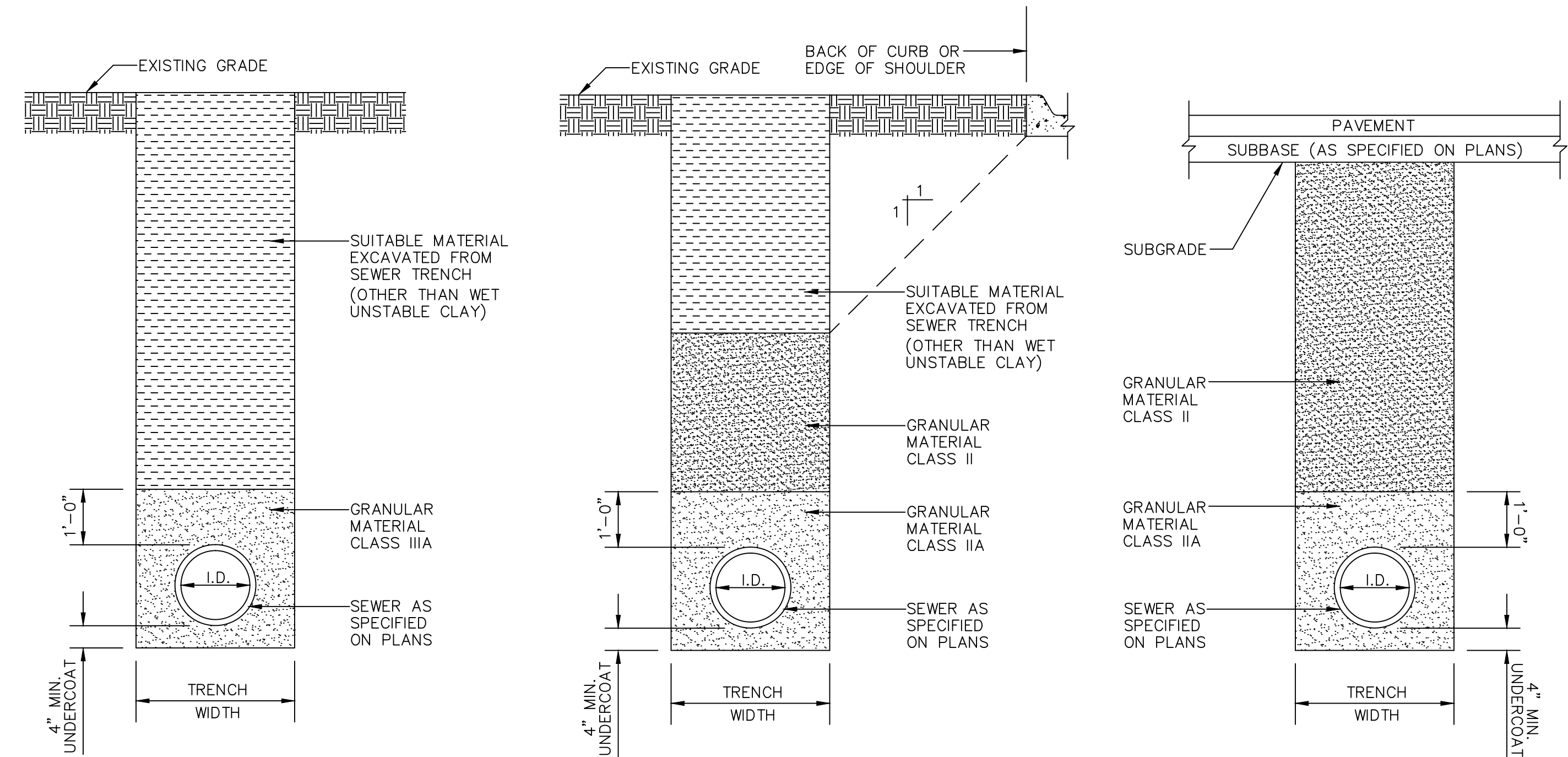
SANITARY SEWER CONSTRUCTION STANDARD DETAILS

DWG. NAME: SANITARY DETAILS

STORM SEWER GENERAL NOTES

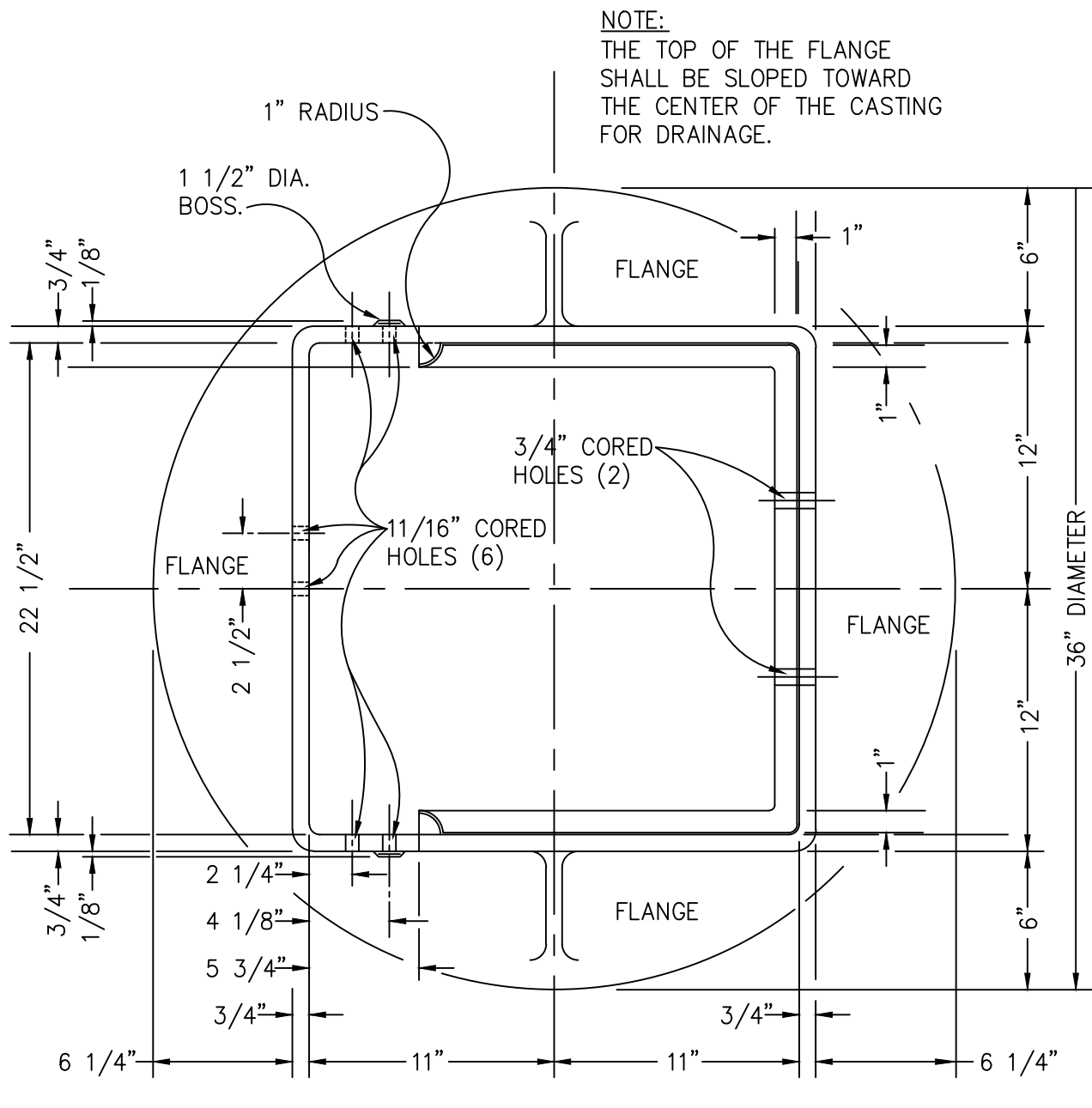
1. ALL PRECAST MANHOLE AND CATCH BASIN COMPONENTS SHALL BE IN ACCORDANCE WITH A.S.T.M. C478 CURRENT EDITION.
2. CONE SECTIONS SHALL BE ECCENTRIC CONE SECTIONS AS SHOWN. CONCENTRIC CONES AND FLAT SLAB TOPS MAY BE SUBSTITUTED ONLY UPON RECEIPT OF PRIOR WRITTEN APPROVAL FROM THE ENGINEER. MINIMUM CONE HEIGHTS SHALL BE AS SHOWN. SHORTER CONES MAY BE SUBSTITUTED ONLY UPON RECEIPT OF PRIOR WRITTEN APPROVAL FROM THE OWNER. SHORTER CONES SHALL BE FABRICATED IN ACCORDANCE WITH M.D.O.T. STANDARD PLANS, CURRENT EDITION. CONES SHALL BE FURNISHED WITH 4 5/8" DIA. THREADED INSERTS CAST INTEGRALLY WITH ALL FRAMES.
3. SPACING BETWEEN PIPE OPENINGS IN A RISER SHALL BE 6" MINIMUM. OPENINGS MAY BE CONSTRUCTED BY CASTING, REMOVING THE GREEN CONCRETE, OR BY DRILLING THE OPENINGS IN CURED CONCRETE.
4. THE TOP OF PRECAST STRUCTURES SHALL BE SUFFICIENTLY LOW TO PERMIT PROPER ADJUSTMENT OF COVER TO GRADE WITH MORTAR.
5. M.D.O.T. GRANULAR MATERIAL CLASS II COMPACTED TO 95% DENSITY SHALL BE USED IN BACKFILLING AROUND ALL STRUCTURES THAT FALL WITHIN THE 1 ON 1 INFLUENCE LINES FROM THE EDGE OF PAVEMENT OR BACK OF CURB OR FROM STRUCTURE FOOTINGS.
6. CAST IN PLACE AND PRECAST CONCRETE BOTTOMS (FOOTINGS) SHALL BE REINFORCED WITH A MINIMUM OF #4 STEEL BARS SPACED AT 1'-0" BOTH WAYS OR WITH TWO LAYERS OF WELDED WIRE FABRIC OF EQUIVALENT CROSS SECTIONAL AREA LAID AT RIGHT ANGLES AND WIRED TOGETHER. REINFORCEMENT SHALL BE PLACED IN TOP OF FOOTING AND TOP OF FOOTING SHALL BE MARKED. PROVIDE 3" CLEARANCE FOR REINFORCING. FOOTINGS SHALL BE SUPPORTED BY A COMPACTED 6" MINIMUM GRANULAR SUBBASE.
7. PRECAST BOTTOMS SHALL BE SET LEVEL AND A MINIMUM OF 2" BELOW THE BOTTOM OF THE SEWER.
8. THE BELL SHALL BE REMOVED FOR THE FIRST LENGTH OF OUTLET PIPE PROJECTING THRU THE WALL OF THE MANHOLE.
9. POUR 30M CONCRETE UNDER SEWER PIPE FROM UNDISTURBED SOIL TO THE PIPE SPRING LINE. THE MINIMUM WIDTH OF CONCRETE SHALL BE O.D. + 12".
10. MORTAR FOR BRICK, BLOCK AND PARING, POINTING AND BEDDING OF CASTING FRAMES SHALL BE IN ACCORDANCE WITH M.D.O.T. STANDARD SPECIFICATIONS FOR MORTAR TYPE II.
11. ALL LIFT PIN HOLES SHALL BE FILLED WITH MORTAR.
12. ALL BRICK AND BLOCK USED IN MANHOLE AND CATCH BASIN CONSTRUCTION SHALL BE SOLID.
13. ALL MANHOLE AND CATCH BASIN RIM ADJUSTMENTS WITHIN THE INFLUENCE OF THE ROAD WAY SHALL BE CONSTRUCTED WITH SOLID CONCRETE RINGS.
14. MANHOLE AND CATCH BASIN DIAMETERS (EXCEPT WHERE OTHERWISE NOTED):

PIPE DIA.	REQUIRED M.H. & C.B. DIA.	MINIMUM PRECAST WALL THICKNESS
24" OR LESS	4'-0"	5"
27" THRU 36"	5'-0"	6"
42" & 48"	6'-0"	7"
54" THRU 72"	8'-0"	8"
15. STEPS SHALL BE INSTALLED IN ALL STRUCTURES MORE THAN 4' DEEP AND SHALL HAVE A MINIMUM 3" EMBEDMENT. STEPS SHALL BE FABRICATED OF CAST IRON, MEETING THE REQUIREMENTS OF A.A.S.H.T.O. M105 CLASS NO. 35 OR COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" STEEL REINFORCEMENT, AND SHALL BE CAST INTEGRALLY WITH THE STRUCTURE. STEPS SHALL BE DESIGNED IN ACCORDANCE WITH CURRENT O.S.H.A. REGULATIONS AND SHALL NOT BE LESS THAN 10" CLEAR LENGTH. STEPS SHALL BE CAPABLE OF SUPPORTING 300 LBS. AND COATED WITH COAL TAR PITCH VARNISH. STEPS SHALL NOT BE PLACED OVER ANY SEWER CHANNEL.
16. FRAME AND COVER CASTING SHOP DRAWINGS SHALL BE APPROVED BY THE CITY OF BURTON PRIOR TO MANUFACTURING.
17. THE MANHOLE FRAME AND COVER SHALL MEET THE REQUIREMENTS OF THE CURRENT STANDARD SPECIFICATIONS FOR GRAY-IRON CASTINGS A.A.S.H.T.O. M105, AND SHALL HAVE A MINIMUM STRENGTH AS PROVIDED FOR CLASS NO. 30 GRAY IRON CASTINGS.
18. ALL PIPES SHALL BE RUBBER GASKET JOINT IN ACCORDANCE WITH MDOT SPECIFICATION 909.03.
19. STORM SEWER SHALL BE TELEVISED PER SANITARY SEWER NOTE NO. 10, SHEET 3.
20. ALL 4" STORM LEADS WILL BE CORED AND BOOTED.

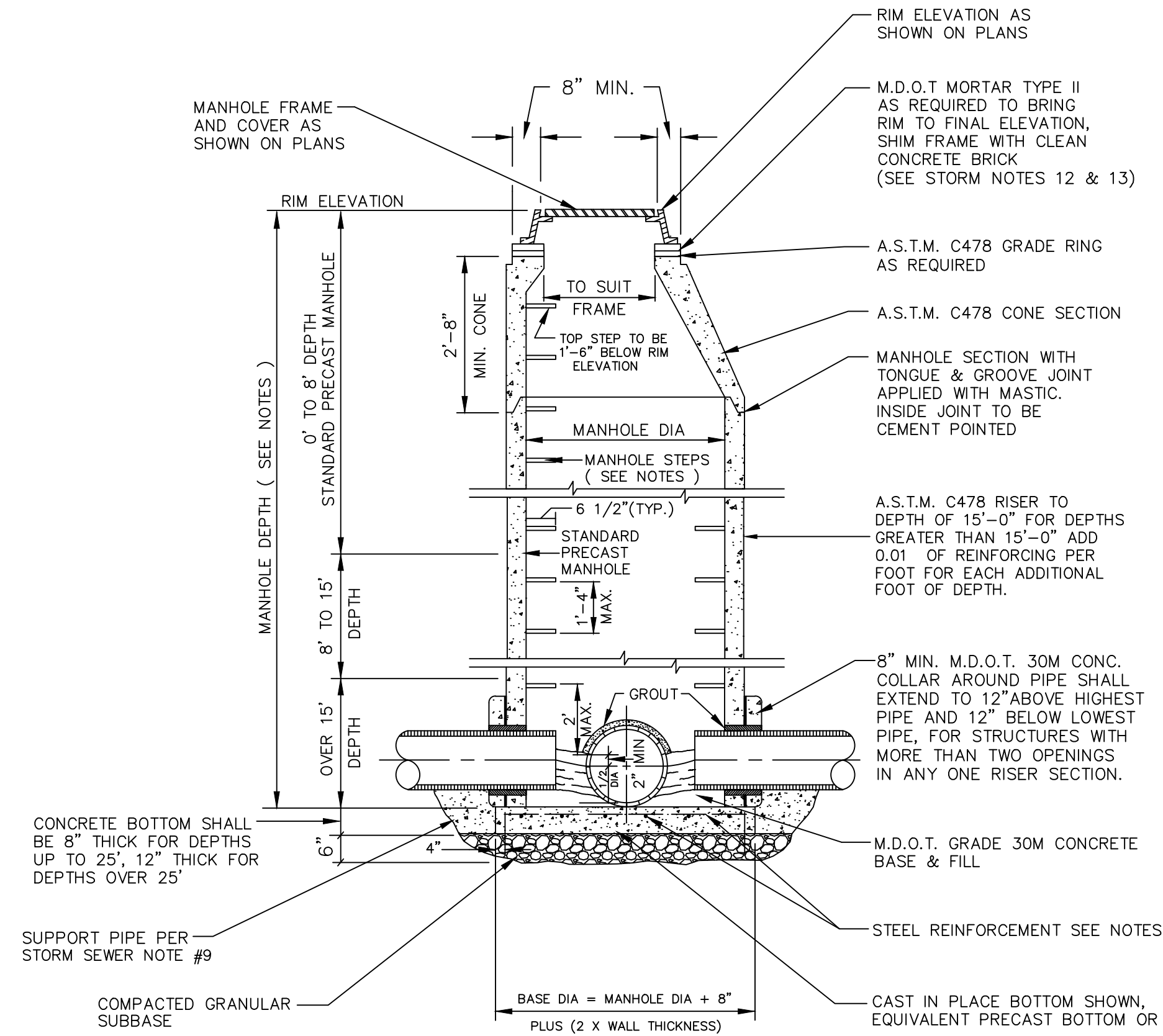


SEWER NOT UNDER ROADBED
(NOT TO SCALE)

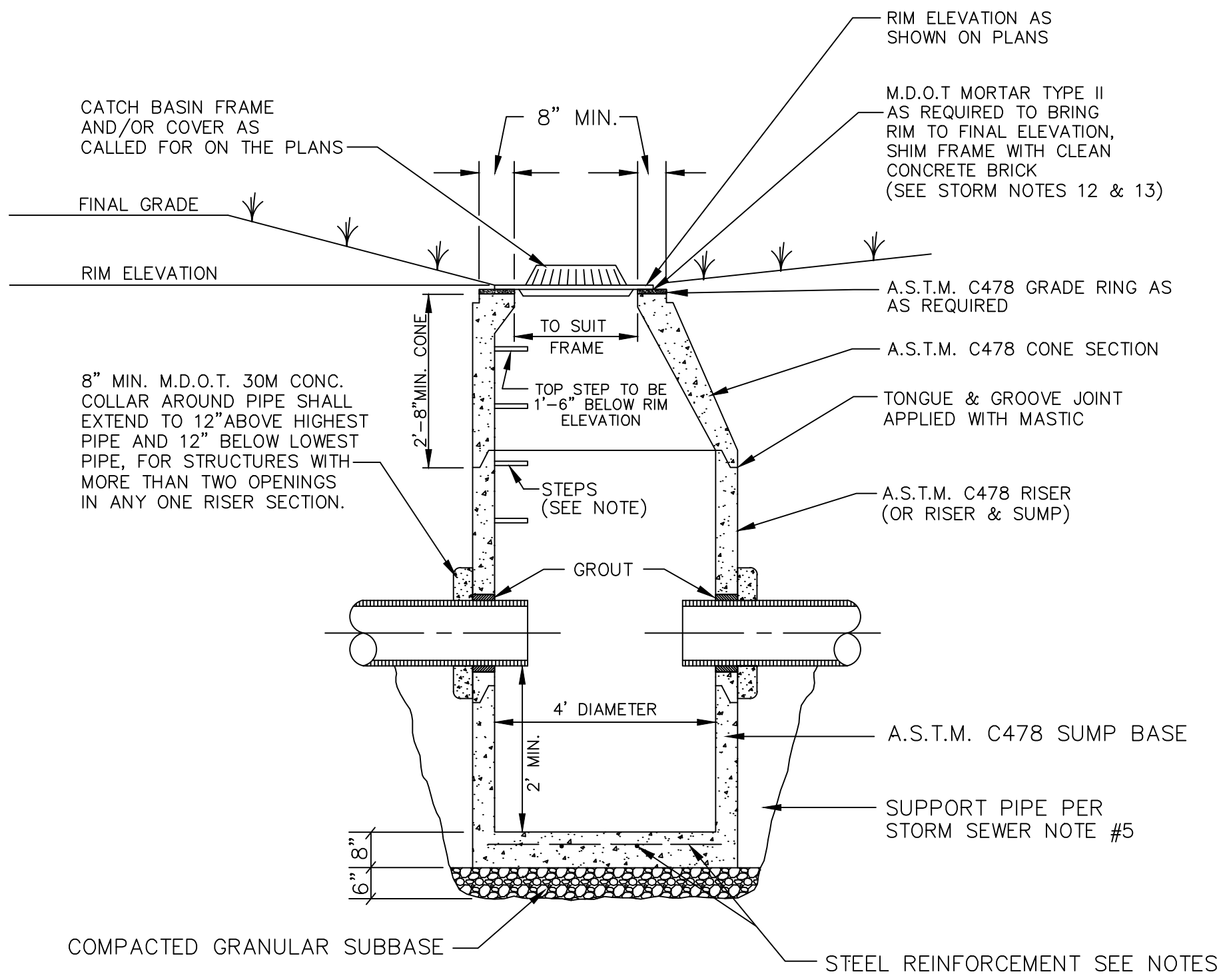
SEWER UNDER ROADBED OR WITHIN INFLUENCE OF ROADBED
(NOT TO SCALE)



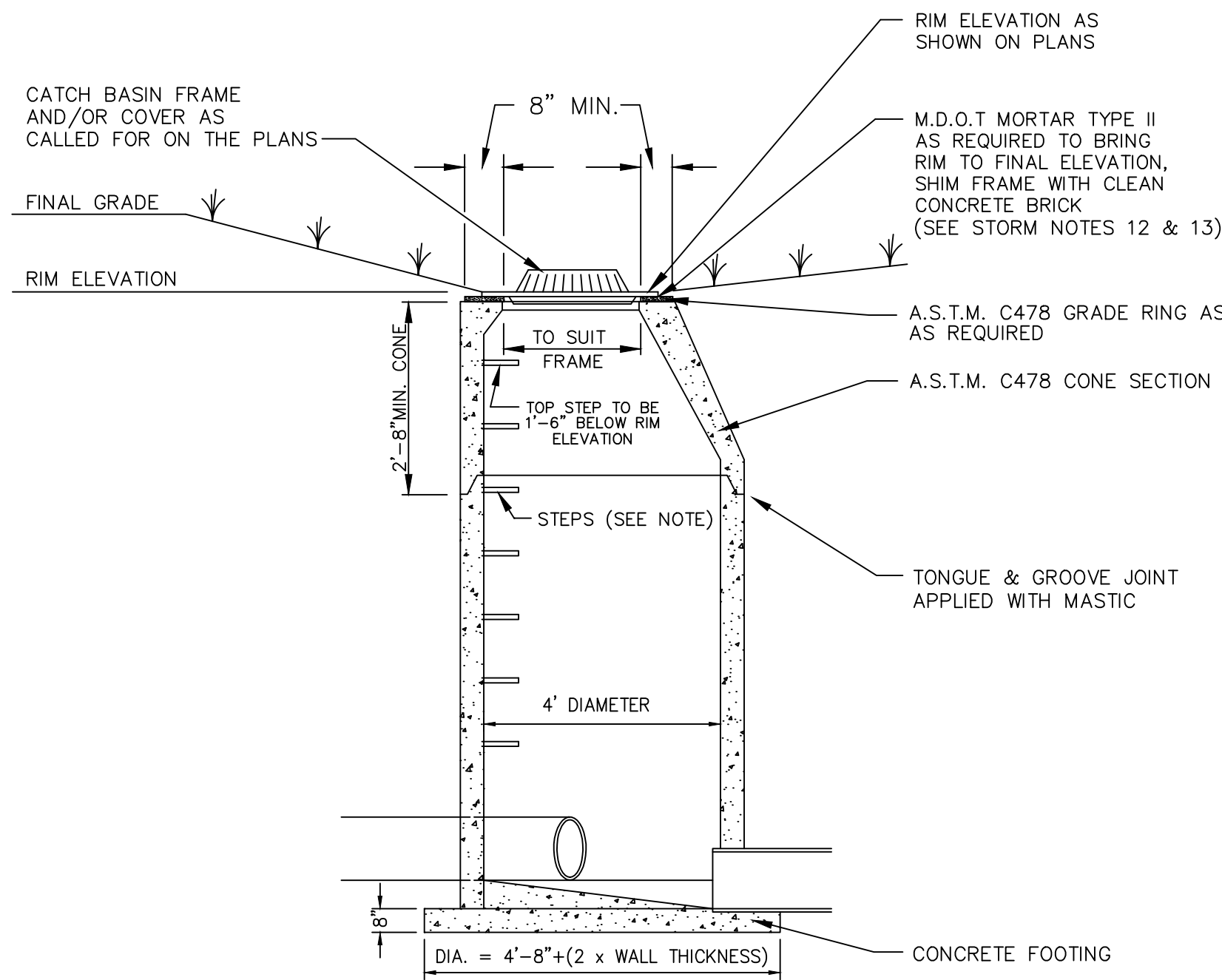
EAST JORDAN COVER 7065
(NOT TO SCALE)



STANDARD PRECAST CONCRETE STORM SEWER MANHOLE
(NOT TO SCALE)



STANDARD PRECAST CONCRETE CATCH BASIN
(NOT TO SCALE)



STANDARD PRECAST CONCRETE INLET
(NOT TO SCALE)

REVISIONS:
PER CITY OF BURTON COMMENTS, 12-7-04

DEPARTMENT OF PUBLIC WORKS
4093 MANOR DRIVE
BURTON, MICHIGAN 48519 PHONE: 742-9230



City of Burton

STORM SEWER STANDARD DETAILS AND NOTES

DWG. NAME: STMSTAN

michigan unified keying system (modified)

* indicates applicability of a specific control measure to one or more of the seven problem areas

KEY	DETAIL	CHARACTERISTICS	A	B	C	D	E	F	G
1	Dust Control - No Detail -	DUST CONTROL APPLICATIONS CAN INCLUDE WATERING, CHEMICAL DUST SUPPRESSION, GRAVEL OR ASPHALT SURFACING, TEMPORARY AGGREGATE COVER AND TRAIL TRUCK COVERS	*				*	*	
2	Selective Grading & Shaping	WATER CAN BE DIVERTED TO MINIMIZE EROSION FLATTER SLOPES EASE EROSION PROBLEMS	*				*	*	*
3	Grubbing/Onsetting	SAVES COST OF GRUBBING, PROVIDES NEW SPROUTS RETAINS EXISTING ROOT MAT SYSTEM, REDUCES WIND FALL AT NEW FOREST EDGE... DISCOURAGES EQUIPMENT ENTRANCE	*				*		*
4	Negative Stabilization	MAY UTILIZE A VARIETY OF PLANT MATERIAL STABILIZES SOIL SLOWS RUNOFF VELOCITY FILTERS SEDIMENT FROM RUNOFF	*	*	*		*	*	*
5	AVAILABLE DETAIL								
6	Seeding with Manure and/or Inert	FACILITATES ESTABLISHMENT OF VEGETATIVE COVER EFFECTIVE FOR DRAINAGEWAYS WITH LOW VELOCITY EASILY PLACED IN SMALL QUANTITIES BY EXPERIENCED PERSONNEL SHOULD INCLUDE PREPARED TOPSOIL BED	*		*			*	*
7	AVAILABLE DETAIL								
8	Sodding	PROVIDES IMMEDIATE PROTECTION CAN BE USED ON STEEP SLOPES WHERE SEED MAY BE DIFFICULT TO ESTABLISH, EASY TO PLANT, MAY BE REPAIRED IF DAMAGED SHOULD INCLUDE PREPARED TOPSOIL BED	*		*		*	*	*
9	Vegetative Buffer Strip	SLOWS RUNOFF VELOCITY FILTERS SEDIMENT FROM RUNOFF REDUCES VOLUME OF RUNOFF ON SLOPES	*	*					*
10	Mulching	USED ALONE TO PROTECT EXPOSED AREAS FOR SHORT PERIODS PROTECTS SOIL FROM IMPACT OF FALLING RAIN PRESERVES SOIL MOISTURE AND PROTECTS GERMINATING SEED FROM TEMPERATURE EXTREMES	*				*	*	
11	Roughened Surface	REDUCES VELOCITY AND INCREASES INFILTRATION RATES COLLECTS SEDIMENT HOLDS WATER, SAND AND MULCH BETTER THAN SMOOTH SURFACES	*				*		
12	AVAILABLE DETAIL								
13	Riprap, Rubble, Gabions	USED WHERE VEGETATION IS NOT EASILY ESTABLISHED EFFECTIVE FOR HIGH VELOCITIES OR HIGH CONCENTRATIONS PERMITS RUNOFF TO NATURE'S SELECTION DISIPATES ENERGY FLOW AT SYSTEM OUTLETS	*	*	*				
14	AVAILABLE DETAIL								
15	AVAILABLE DETAIL								
16	AVAILABLE DETAIL								
17	Berms	REDUCES RUNOFF VELOCITY BY REDUCING EFFECTIVE SLOPE LENGTH COLLECTS SEDIMENT... PROVIDES ACCESS TO SLOPES FOR SEEDING, MULCHING AND MAINTENANCE	*					*	
18	Earth Diversion Berm	DIVERTS WATER FROM VULNERABLE AREAS COLLECTS AND DIRECTS WATER TO PREPARED DRAINAGEWAYS MAY BE PLACED AS PART OF NORMAL CONSTRUCTION OPERATION	*					*	*
18A	Earth Diversion Berm with Stone Outlet	DIVERTS WATER FROM VULNERABLE AREAS COLLECTS AND DIRECTS WATER TO PREPARED DRAINAGEWAYS MAY BE PLACED AS PART OF NORMAL CONSTRUCTION OPERATION	*					*	*
19	Diversion Ditch	COLLECTS AND DIVERTS WATER TO REDUCE EROSION POTENTIAL MAY BE INCORPORATED IN PERMANENT PROJECT DRAINAGE SYSTEMS	*					*	*
20	Diversion Berm & Ditch	DIVERTS WATER TO A PREPARED DRAINAGEWAY MAY BE USED AT INTERVALS ACROSS SLOPE FACE TO REDUCE EFFECTIVE SLOPE LENGTH	*					*	*
21	Stone Filter Berm	CONSTRUCTED OF GRAVEL OR STONE INTERCEPTS AND DIVERTS RUNOFF TO STABILIZED AREAS OR PREPARED DRAINAGE SYSTEMS SLOWS RUNOFF AND COLLECTS SEDIMENT	*	*					*
21A	Stone Filter Berm with Silt Fence	CONSTRUCTED OF GRAVEL OR STONE INTERCEPTS AND DIVERTS RUNOFF TO STABILIZED AREAS OR PREPARED DRAINAGE SYSTEMS SLOWS RUNOFF AND COLLECTS SEDIMENT - SILT FENCE PREVENTS EROSION AROUND SPILLWAY	*	*					*
22	AVAILABLE DETAIL								
23	AVAILABLE DETAIL								
24	Grassed Waterway	MUCH MORE STABLE FORM OF DRAINAGEWAY THAN BARE CHANNEL GRASS TENDS TO SLOW RUNOFF AND FILTER OUT SEDIMENT USED WHERE BARE CHANNEL WOULD BE ERODED			*				
25	Slope Drain (Surface Pipe)	PREVENTS EROSION ON SLOPES WHEN RUNOFF CANNOT BE DIVERTED TO EDGE OF SLOPE AREA... USUALLY TEMPORARY CAN BE CONSTRUCTED OR EXTENDED AS GRADING PROGRESSES	*						
26	Slope Drain - Paved Chute/Flume	PREVENTS EROSION ON SLOPES WHEN RUNOFF CANNOT BE DIVERTED TO EDGE OF SLOPE AREA... USUALLY PERMANENT CAN BE CONSTRUCTED OR EXTENDED AS GRADING PROGRESSES	*						
27	Slope Drain (Subsurface Pipe)	PREVENTS EROSION ON SLOPES WHEN RUNOFF CANNOT BE DIVERTED TO EDGE OF SLOPE AREA... USUALLY PERMANENT CAN BE CONSTRUCTED AS GRADING PROGRESSES	*						
28	Drop Spillway	SLOWS VELOCITY OF FLOW, REDUCING EROSION CAPACITY		*	*				
29	Pipe Drop	REDUCES RUNOFF VELOCITY REMOVES SEDIMENT AND TURBIDITY CAN BE DESIGNED TO HANDLE LARGE VOLUMES OF FLOW			*				
30	Pipe Spillway	REMOVES SEDIMENT AND TURBIDITY FROM RUNOFF MAY BE PART OF PERMANENT EROSION CONTROL PLAN			*				
31	Energy Dissipater	SLOWS RUNOFF VELOCITY TO NON-EROSIVE LEVEL PERMITS SEDIMENT COLLECTION FROM RUNOFF	*		*	*			
32	Level Spreader	CONVERTS COLLECTED CHANNEL OR PIPE FLOW BACK TO SHEET FLOW AVOIDS CHANNEL, EASEMENTS AND CONSTRUCTION OFF PROJECT SITE SIMPLE TO CONSTRUCT			*				
33	Sediment Trap	MAY BE CONSTRUCTED OF A VARIETY OF MATERIALS TRAPS SEDIMENT AND REDUCES VELOCITY OF FLOW CAN BE CLEANED AND EXPANDED AS NEEDED			*	*			
34	Sediment Basin	TRAPS SEDIMENT CLEARS RUNOFF AT NON-EROSIVE RATES CONTROLS RUNOFF AT SYSTEM OUTLETS CAN BE VISUAL MONITORED			*	*	*		
35	AVAILABLE DETAIL								
36	Catch Basin Inlet Protection	COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF MAY USE FILTER CLOTH OVER INLET					*		*
37	Silt Filter	INEXPENSIVE AND EASY TO CONSTRUCT PROVIDES IMMEDIATE PROTECTION PROTECTS AREAS AROUND INLETS FROM EROSION				*			
38	AVAILABLE DETAIL								

* indicates applicability of a specific control measure to one or more of the seven problem areas

KEY	DETAIL	CHARACTERISTICS	A	B	C	D	E	F	G
39	Fabric Filter Cloth Protection	CAN UTILIZE MATERIAL FOUND ON SITE EASY TO CONSTRUCT FILTERS SEDIMENT FROM RUNOFF				*			*
40	Inlet Sediment Trap	EASY TO SHAPE COLLECTS SEDIMENT MAY BE CLEANED AND EXPANDED AS NEEDED				*			
41	Stone and Rock Ford Crossing	MAY BE ROCK OR CLEAN RUBBLE MINIMIZES STREAM TURBIDITY INEXPENSIVE MAY ALSO SERVE AS DITCH CHECK OR SEDIMENT TRAP		*					
42	Temporary Culvert	ELIMINATES STREAM TURBULENCE AND TURBIDITY PROVIDES UNOBSTRUCTED PASSAGE FOR FISH AND OTHER WATER LIFE CAPACITY FOR NORMAL FLOW CAN BE PROVIDED WITH STORM WATER FLOWING OVER ROADWAY		*					
43	Culvert Sediment Trap	EAST TO INSTALL AT INLET KEEPS CULVERT CLEAN AND FREE FLOWING MAY BE CONSTRUCTED OF LUMBER OR LOGS		*					*
44	AVAILABLE DETAIL								
45	Temporary Stream Channel Change	NEW CHANNEL KEEPS NORMAL FLOWS AWAY FROM CONSTRUCTION REQUIRES STATE PERMIT		*					
46	AVAILABLE DETAIL								
47	Cofferdam	WORK CAN BE CONTINUED DURING MOST ANTICIPATED STREAM CONDITIONS CLEAR WATER CAN BE PUMPED DIRECTLY BACK INTO STREAM		*					
48	AVAILABLE DETAIL								
49	Check Dam	REDUCES FLOW VELOCITY CATCHES SEDIMENT CAN BE CONSTRUCTED OF LOGS, STRAW, HAY, ROCK, LUMBER, MASONRY, OR SAND BAGS		*	*				
50	AVAILABLE DETAIL								
51	Retaining Wall	REDUCES GRADIENT WHERE SLOPES ARE EXTREMELY STEEP PERMITS RETENTION OF EXISTING VEGETATION, KEEPING SOIL STABLE IN CRITICAL AREAS... MINIMIZES MAINTENANCE	*						*
52	AVAILABLE DETAIL								
53	Windbreak	MINIMIZES WIND EROSION MAY BE SNOW FENCE					*		
54	Silt Fence	USES GEOTEXTILE FABRIC AND POSTS OR POLES EASY TO CONSTRUCT AND LOCATE AS NECESSARY	*		*		*		*
55	Stone Filter-Before Paving	STONE FILTER TO PROVIDE INEXPENSIVE AND EASILY CONSTRUCTED SEDIMENT CONTROL PRIOR TO PAVING SEE DETAIL AT LEFT			*	*			
55A	Stone Filter-After Paving	STONE FILTER TO PROVIDE INEXPENSIVE AND EASILY CONSTRUCTED SEDIMENT CONTROL AFTER PAVING SEE DETAIL AT LEFT			*	*			
56	AVAILABLE DETAIL								
57	Stream - Liner	MAY BE 6A TYPE STONE, SMALL ROCKS OR SIMILAR-SIZED CLEAN CONCRETE-MASONRY RUBBLE, MINIMIZES STREAM TURBIDITY RELATIVELY INEXPENSIVE MAY BE USED AS DITCH CHECK OR SEDIMENT TRAP		*	*				
58	Sediment Sump	CONTROLS SEDIMENTATION IN LARGE STREAMS, CONSIST OF OVER EXCAVATING THE DRAIN BY ONE TO TWO FEET, THE SUMP WILL BE AT LEAST 200 FEET LONG, SEDIMENTS ACCUMULATED DURING CONSTRUCTION WILL BE REMOVED UPON PROJECT COMPLETION		*	*				
59	AVAILABLE DETAIL								
60	Temporary Construction Entrance	ASSISTS IN REMOVING SOIL FROM THE TIRES OF CONSTRUCTION EQUIPMENT/VEHICLES WHEN ENTERING THE CONSTRUCTION SITE, THIS REDUCES TRACKING EXCESSIVE SEDIMENT/SOIL ONTO THE ADJACENT ROAD							*

SOIL EROSION AND SEDIMENTATION CONTROL

- CONSTRUCTION OPERATIONS SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING AND/OR GRADING OPERATIONS.
- SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
- CLEANUP WILL BE DONE IN A MANNER TO INSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
- THE PROJECT WILL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENT CONTROL COMPLIANCE. DEFICIENCIES WILL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR UPON ESTABLISHMENT OF PERMANENT CONTROL MEASURES.

CONSTRUCTION SEQUENCE

- EXCAVATION AND STOCKPILING OF SOIL.
- IMPLEMENTATION OF TEMPORARY EROSION CONTROL MEASURES; SELECTIVE GRADING, DIVERSIONS AS REQUIRED IN FIELD, PROTECTION OF STORM SEWER FACILITIES.
- PERIODIC MAINTENANCE OF AFFECTED EROSION CONTROL MEASURES.
- PERMANENT MEASURES; FINAL GRADING, SEEDING AND MULCHING.

SEE UNIFIED KEYING SYSTEM FOR EROSION CONTROL KEY NUMBERS

MDEQ STREAM CROSSING NOTES

CONSTRUCTION OF STREAM CROSSINGS SHALL BE SUBJECT TO THE SPECIFICATIONS FOR PROTECTION OF NATURAL RESOURCES AT UTILITY CROSSINGS AS GIVEN IN THE ADMINISTRATIVE RULES OF PART NO. 301 OF PUBLIC ACT 451, AS AMENDED, 1994.

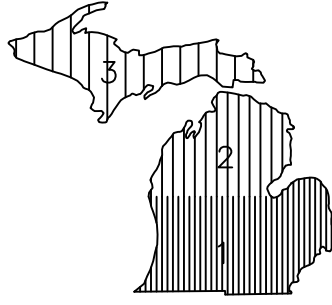
A SILTATION BARRIER SHALL BE CONSTRUCTED IMMEDIATELY DOWNSTREAM OF THE CONSTRUCTION SITE PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. (SEE MICHIGAN UNIFIED KEYING SYSTEM FOR SPECIFIED BARRIER) THE SILTATION BARRIER SHALL BE MAINTAINED IN GOOD WORKING ORDER THROUGHOUT THE DURATION OF THE PROJECT.

BACKFILL SHALL CONSIST OF INERT MATERIALS WHICH WILL NOT CAUSE SILTATION NOR CONTAIN SOLUBLE CHEMICALS OR ORGANIC MATTER WHICH IS BIODEGRADABLE. ALL FILL SHALL BE CONTAINED IN SUCH A MANNER SO AS NOT TO ERODE INTO ANY WATERCOURSE.

ALL RAW BANKS SHALL BE STABILIZED WITH RIPRAP TO THREE FEET ABOVE THE ORDINARY HIGH WATER WATER MARK, THEN SEEDED, FERTILIZED AND MULCHED, OR SODDED TO PREVENT EROSION.

UPON PROJECT COMPLETION THE EXCESS SPOILS SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED UPLAND SITE.

SILTATION BARRIER MAY BE REMOVED UPON PLACEMENT OF PERMANENT EROSION CONTROL MEASURES.



ZONE 1

TYPE OF SEED	APRIL	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	RATE OF APPLICATION *	
								PER/1000 S.F.	PER ACRE
GRASS / BARELY ANNUAL RYE								2 LBS. 3/4 LB.	3 BUSHELS 25 LBS.
LEGUMINOSAE								1 LB.	35 LBS.
CEREAL RYE								1.5 LBS.	2 BU.
WINTER WHEAT								1.5 LBS.	2 BU.

TEMPORARY SEEDING GUIDE



* RATE OF APPLICATION APPLIES TO ALL ZONES

ZONE	TYPE OF IRRIGATION	APRIL	MAY	JUNE	JULY	AUG.	SEPT.	OCT.
ZONE 1	IRRIGATED and/or MULCHED without IRRIGATION or MULCH							
ZONE 2	IRRIGATED and/or MULCHED without IRRIGATION or MULCH							
ZONE 3	IRRIGATED and/or MULCHED without IRRIGATION or MULCH							



PERMANENT SEEDING GUIDE

TO BE COMPLETED BY CONTRACTOR FOR PERMIT

SOIL EROSION / SEDIMENTATION CONTROL OPERATION TIME SCHEDULE											
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JULY	AUG	SEP	OCT	NOV
STRIP & STOCKPILE TOPSOIL											
ROUGH GRADE / SEDIMENT CONTROL											
TEMP. CONTROL MEASURES											
STORM FACILITIES											
TEMP. CONSTRUCTION ROADS											
FOUNDATION / BLDG. CONSTRUCTION											
SITE CONSTRUCTION											
PERM. CONTROL MEASURES											
FINISH GRADING											
LANDSCAPING											

SOUTH FLINT TABERNACLE
FLINT, MICHIGAN

ZION CHURCH BUILDERS, INC.
MATTAWAN, MICHIGAN



GENERAL NOTES

- 1) THE ARCHITECT RESERVES THE RIGHT TO MAKE ALL DECISIONS REGARDING THE INTERPRETATION OF PLANS AND SPECIFICATIONS AS THEY APPLY TO THIS PROJECT. CONSULT WITH THE ARCHITECT IMMEDIATELY IF CONFLICTS OR ERRORS ARE DISCOVERED IN THESE DOCUMENTS.

2) ALL WORK PERFORMED ON THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES AS ADOPTED AND RE-ACTED AT THE TIME OF CONSTRUCTION.

3) SUBCONTRACTORS SHALL COORDINATE ALL WORK TO BE DONE THROUGH THE JOB SUPERINTENDENT PROVIDED BY ZION CHURCH BUILDERS.

4) NEW ADDITION INFORMATION:
BUILDING MAIN LEVEL FOOTPRINT - 51,002 SQUARE FEET
BUILDING UPPER LEVEL - 19,339 SQUARE FEET
TOTAL BUILDING AREA - 70,339 SQUARE FEET
DIMENSIONS ARE SHOWN ON PLAN ARE TO THE FACES OF UNFINISHED STUD WALLS AND TO THE FACE OF MASONRY. MASONRY IS DIMENSIONED SHOWING NOMINAL DIMENSIONS.

5) ALL INTERIOR PARTITIONS ARE METAL STUDS - WALL TYPE "B" UNLESS NOTED OTHERWISE. - ALL EXTERIOR WALLS ARE 6" MASONRY CONSTRUCTION. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 2" MINIMUM INSULATION. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 4" MINIMUM INSULATION UNLESS OTHERWISE NOTED. ALL WOOD FLOORS IN CONTACT WITH CONCRETE SLAB SHALL BE TREATED (CCA) WOOD.

6) PROVIDE SOLID WOOD BLOCKING IN WALLS AS REQUIRED FOR INSTALLATION OF EQUIPMENT AND ACCESSORIES.
- 3) USE 5/8" FINE CODE GYPSUM BOARD THROUGHOUT EXCEPT AS OTHERWISE SPECIFIED. SEE ROOM FINISH SCHEDULE SHEET.

9) PROVIDE EXPANSION JOINTS IN GYPSUM BOARD CEILING AT 40'-0" MAXIMUM SPACING. SPACING AT INTERVALS AS REQUIRED.

10) ALL EXTERIOR LANDINGS AT 1" AN ACCESSIBLE MEANS OF EGRESS DOOR SHALL NOT SLOPE MORE THAN 1/4" PER FOOT ANYWHERE FROM THE BUILDING.

11) ALL DOOR THRESHOLDS AND STOPS OR CHANGES IN FLOOR FINISHES SHALL PROVIDE A CHANGE IN VERTICAL RISE OF NO MORE THAN 1/2" MAXIMUM.

12) PERMANENT SIGAGE USED TO IDENTIFY ROOMS AND SPACES SHALL INCLUDE ELEGANT CHARACTERS AND BE ABLE TO BE MOUNTED ADJACENT TO THE DOOR. SIGNS SHALL BE MOUNTED AT 60" ABOVE FINISH FLOOR ELEVATION TO CENTER OF SIGN.

13) PROVIDE A BARRIER FREE SYMBOL OF COMPLIANCE AT ALL ACCESSIBLE RESTROOMS AND BUILDING ENTRANCES.

14) FOR WALLWORK AND MISCELLANEOUS EQUIPMENT SCHEDULE, REFER TO SCHEDULE THIS SHEET.

15) CONTROLS, OPERATING MECHANISMS AND HARDWARE INTENDED FOR OPERATION BY THE OCCUPANT, INCLUDING SWITCHES THAT CONTROL LIGHTING AND VENTILATION AND ELECTRICAL COMPONENTS, OUTLETS, IN ACCESSIBLE SPACES, ALONG ACCESSIBLE ROUTES OR AS PART OF ACCESSIBLE ELEMENTS, SHALL BE ACCESSIBLE.

MILLWORK AND MISC. EQUIP. SCHEDULE

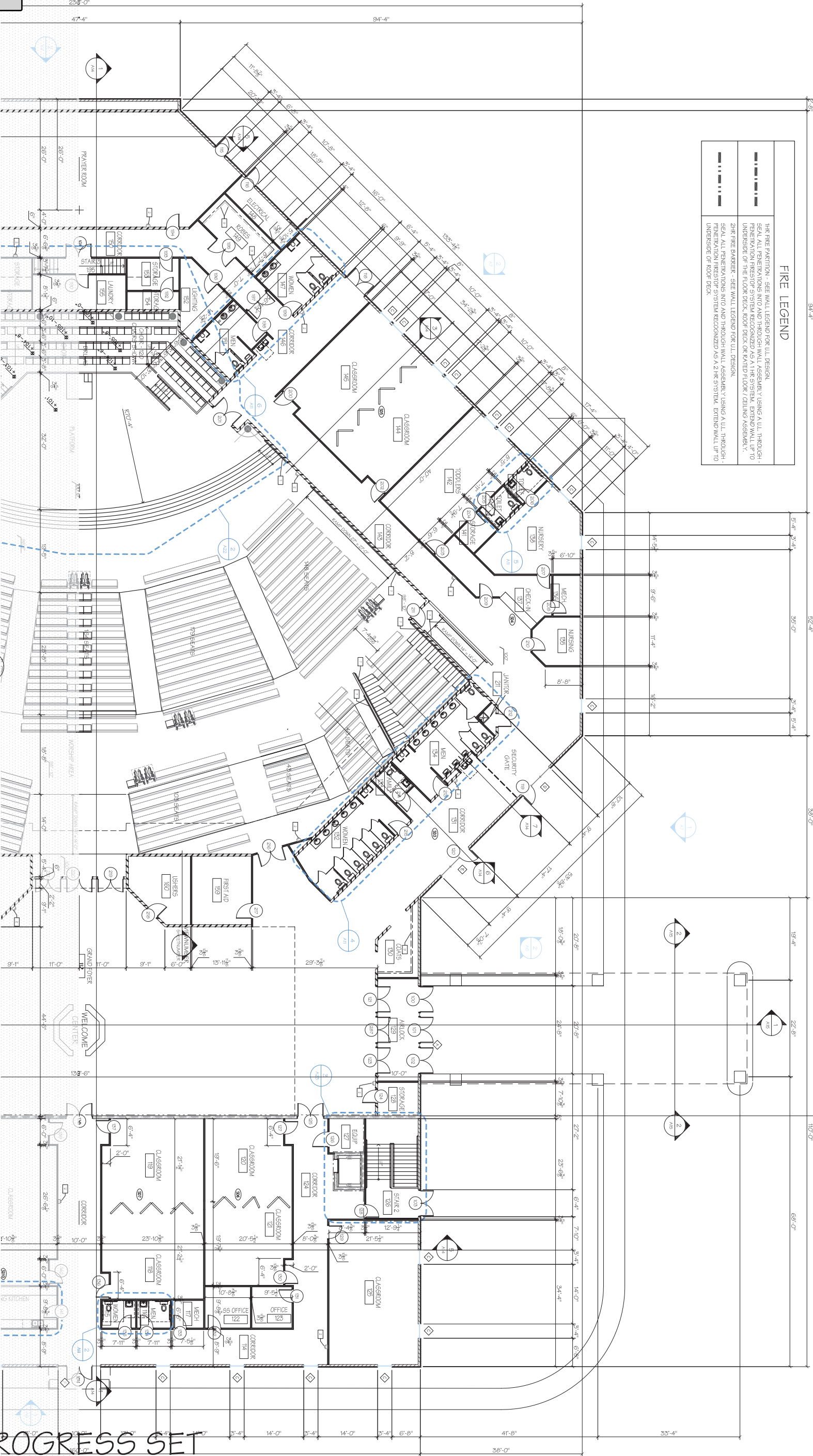
MARK	DESCRIPTION	DETAILS	REMARKS
1	VAULT	11A/2	SEE NOTE #2
2	FIRE EXTINGUISHER	---	NOTE #1
3	FIRE EXTINGUISHER	---	1" LAGS IN 1" WALL BRACKET
4	TOILET PARTITION	---	SEE NOTE #4
5	SOUND BOOTH	10A/2	SEE NOTE #2
6	CABINETS	12A/2	SEE NOTE #2
7	1/2" DIA. WOOD HANGERS	---	SEE NOTES #2 AND #3
8	1/2" DIA. COMPOSITE COLUMN	---	SEE NOTES #2 AND #3
9	COAT RACK	9A/2	SEE NOTES #2 AND #3
10	FIBERGLASS BATHSTERY	---	MODEL BA WITH OPTIONAL WINDOW, PREPARED WITH HANGER AS SUPPLIED BY CHURCH OUTLET
11	FIBERGLASS STERILE UNIT	---	MODEL BA WITH OPTIONAL WINDOW, PREPARED WITH HANGER AS SUPPLIED BY CHURCH OUTLET

MILLWORK AND MISC. EQUIPMENT SCHEDULE NOTES

1. COORDINATE FINAL LOCATIONS WITH LOCAL FIRE DEPARTMENT.
2. PROVIDE BLOCKING IN WALLS AS REQUIRED FOR PROPER INSTALLATION OF ALL EQUIPMENT AND ACCESSORIES.
3. PROVIDE HANDRAIL BRACKETS AT 48" O.C. MAX (EVENLY SPACED) AND AT CHANGE OF DIRECTIONS. PROVIDE BLOCKING IN WALL FOR HANDRAIL BRACKETS AND RETURN HANDRAILS TO WALL. HANDRAILS TO FOLLOW PLANS AND DENIES SHOWN. HANDRAILS SHALL SLOPE WITH AND STAYS. HANDRAILS SHALL EXTEND LEVEL 12" AT BOTTOM OF RAMP AND AT STAIRS SHALL SLOPE FAST BOTTOM OF STAIR ONE TREAD LENGTH AND THEN EXTEND LEVEL 12".
4. TOILET PARTITIONS TO BE EQUAL TO FLUSH METAL OVERHEAD BRACED METAL TOILET PARTITIONS (FLUSHES PROVIDED WITH ALL HARDWARE AND MOUNTING ACCESSORIES. COLOR AND STYLE AS SELECTED BY CHURCH).
5. COAT RACK WITH HANGERS TO BE A SINGLE SHELF ALUMINUM COAT RACK WITH OPTIONAL HANGERS. MODEL BA MANUFACTURED BY EMCO SPECIALTY PRODUCTS INC., KANSAS CITY, KS 66005 OR PRE-APPROVED EQUAL. PROVIDE 6" HANGERS PER FOOT OF COAT RACK.

Attachment: 16-17 (2254 : SPR #16-17)

F.1.a



A NEW FACILITY FOR
SOUTH FLINT TABERNACLE
FLINT, MICHIGAN

MAIN LEVEL FLOOR PLAN - AREA A

Daniel G. White, Architect, LLC

PO Box 695 8576 West Farm Road 76 Willard, Missouri 65781

(417)425-9618

dgwcreations@gmail.com

Architect for:

ZION CHURCH BUILDERS, INC.

P.O. Box 218, Mattawan, MI 49071

(269)544-7211 (269) 544-7216 Fax

email: zionchurchbuilders@gmail.com

A NEW FACILITY FOR

SOUTH FLINT TABERNACLE

FLINT, MICHIGAN

MAIN LEVEL FLOOR PLAN - AREA A

No.	Date
15-09	

08JAN16

A1

© 2016

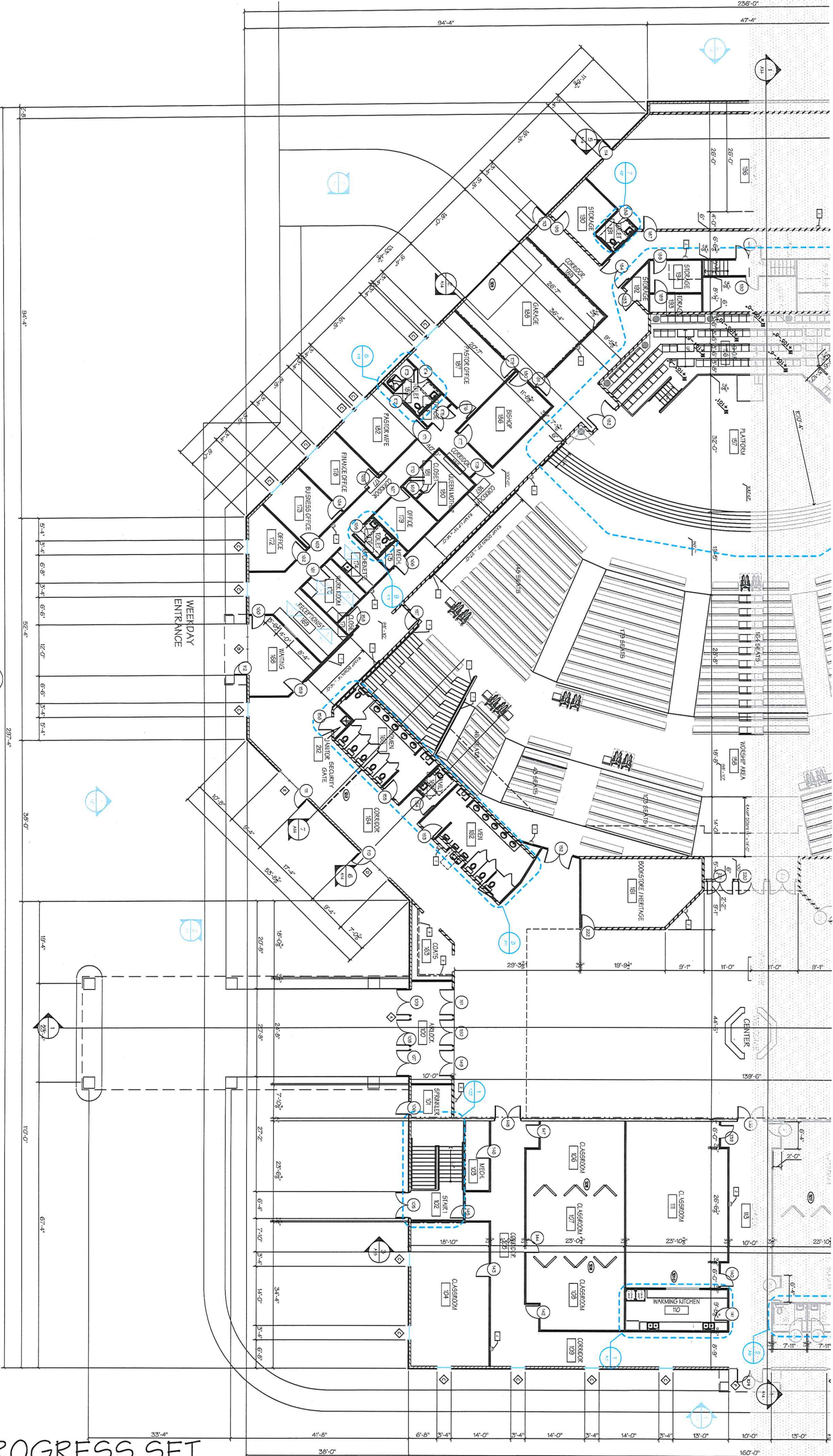
OF

PROGRESS SET

FIRE LEGEND	
---	1/2" FIRE PARTITION - SEE WALL LEGEND FOR ULL DESIGN.
---	SEAL ALL PENETRATIONS INTO AND THROUGH WALL ASSEMBLY USING A ULL THROUGH-PENETRATION FIRESTOP SYSTEM RECOGNIZED AS A 1 HR SYSTEM, EXTEND WALL UP TO OVERSIDE OF THE FLOOR DECK, ROOF DECK OR SLOPED CEILING ASSEMBLY.
---	2" FIRE BARRIER - SEE WALL LEGEND FOR ULL DESIGN.
---	SEAL ALL PENETRATIONS INTO AND THROUGH WALL ASSEMBLY USING A ULL THROUGH-PENETRATION FIRESTOP SYSTEM RECOGNIZED AS A 2 HR SYSTEM, EXTEND WALL UP TO OVERSIDE OF ROOF DECK.

MILLWORK AND MISC. EQUIP. SCHEDULE		
MARK	DESCRIPTION	REMARKS
1	12" VANITY	SEE NOTE #2
2	FIRE EXTINGUISHER	1. "JENSEN" FIREARMS R4 W/ M3
3	FIRE EXTINGUISHER	NOTE #1
4	TOILET PARTITION	1. "JENSEN" W/3 WALL BRACKET
5	SOUND BOOTH	SEE NOTE #4
6	CABINETS	SEE NOTE #2
7	15" DIA. WOOD HANDRAIL	SEE NOTE #2
8	12" DIA. COMPOSITE COLUMN	SEE NOTE #2 AND #3
9	COAT RACK	SEE NOTE #2 AND #5
10	FIBERGLASS BAPTISTERY	MODEL 605 WITH KENNEL 6055 WINDOW AND LIGHTNING PROTECTION AS SUPPLIED BY CHURCH OUTLET
11	FIBERGLASS STEPLE UNIT	MODEL 605 WITH KENNEL 6055 WINDOW AND LIGHTNING PROTECTION AS SUPPLIED BY CHURCH OUTLET

- MILLWORK AND MISC. EQUIPMENT SCHEDULE NOTES
- COORDINATE FINAL LOCATIONS WITH LOCAL FIRE MARSHAL.
 - PROVIDE BLOCKING IN WALLS AS REQUIRED FOR PROPER INSTALLATION OF ALL EQUIPMENT AND ACCESSORIES.
 - PROVIDE HANDRAIL BRACKETS AT 48" O.C. MAX (EVENLY SPACED) AND AT CHANGE OF DIRECTION. PROVIDE BLOCKING IN WALL FOR HANDRAIL BRACKETS AND RETURN HANDRAILS TO WALL. HANDRAILS TO FOLLOW PLANS AND DETAILS SHOWN. HANDRAILS SHALL SLOPE WITH STAIR RAKE AT 1/2" O.C. MAX. AND SHALL EXTEND LEVEL 12 INCHES AT THE TOP OF RAKES AND SLOPE PART BOTTOM OF STAIR ONE (READ LENGTH AND THEN EXTEND LEVEL 12 INCHES AT THE TOP OF RAKES).
 - TOILET PARTITIONS TO BE EQUAL TO FLUSH METAL OVERHEAD BRACKED METAL TOILET PARTITIONS (FURNISHED) PROVIDED WITH ALL HANDRAIL AND ADJUTING ACCESSORIES. COLOR AND STYLE AS SELECTED BY CHURCH.
 - COAT RACK WITH HANGERS TO BE A SINGLE SHEET ALUMINUM COAT RACK WITH OPTIONAL HANGERS. MODEL R1 AS MANUFACTURED BY EMCO SPECIALTY PRODUCTS INC., KANSAS CITY, MO 64105 OR PRE-APPROVED EQUAL. PROVIDE 6 HANGERS PER FOOT OF COAT RACK.



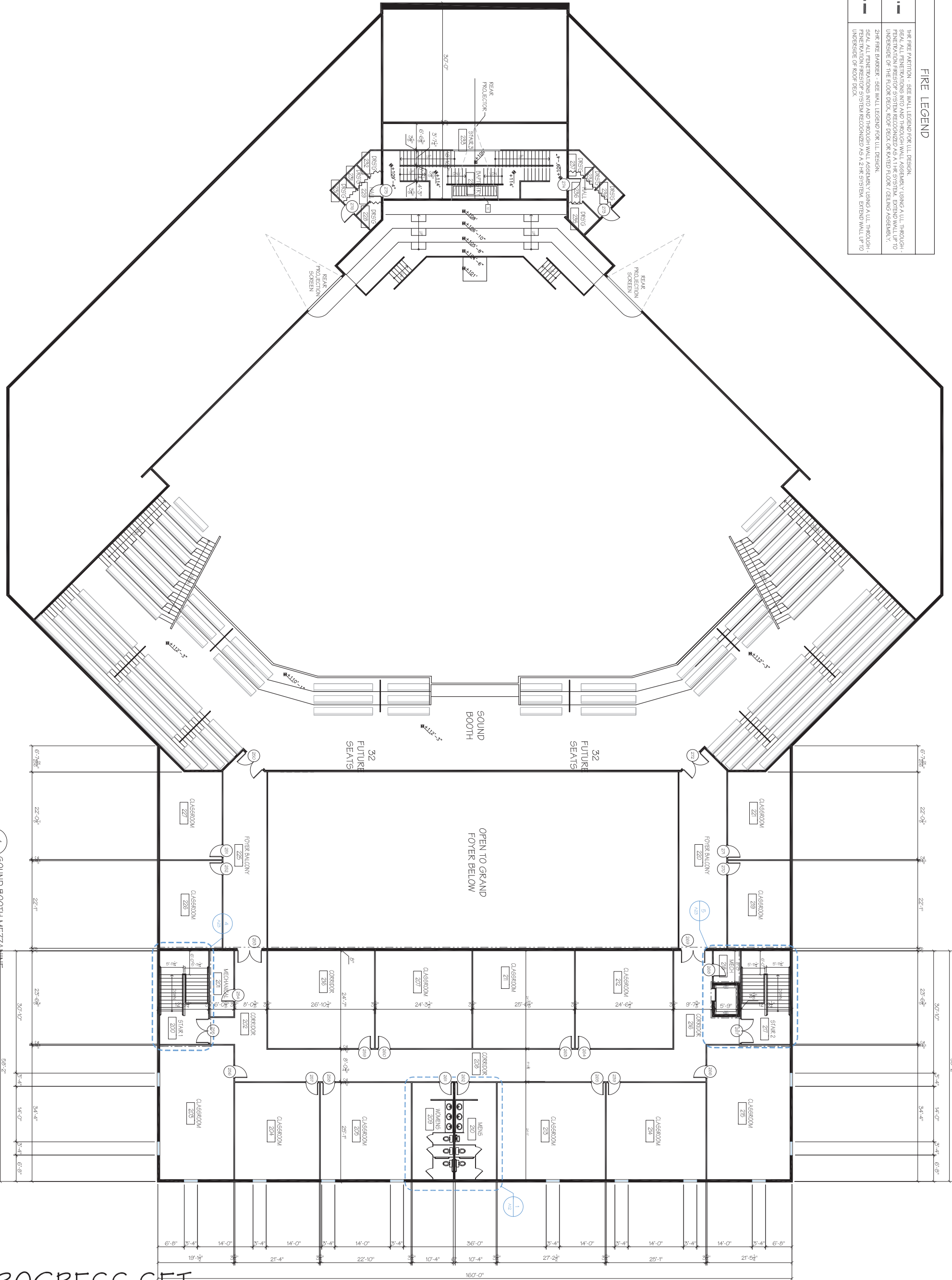
PROGRESS SET

© 2016	A2
08 JAN 16	15-09
DATE	

A NEW FACILITY FOR
SOUTH FLINT TABERNACLE
FLINT, MICHIGAN
MAIN LEVEL FLOOR PLAN - AREA B

Daniel G. White, Architect, LLC
PO Box 695 8576 West Farm Road 76 Willard, Missouri 65781
(417) 425-9618
dgcrcrations@gmail.com
Architect for:
ZION CHURCH BUILDERS, INC
P.O. Box 218, Mattawan, MI 49071
(269) 544-7211 (269) 544-7216 Fax
email: zionchurchbuilders@gmail.com

FIRE LEGEND	11K FIRE PAKTION - SEE WALL LEGEND FOR ULL DESIGN.
----	SEAL ALL PENETRATIONS INTO AND THROUGH WALL ASSEMBLY USING A ULL THROUGH-PENETRATION FIRESTOP SYSTEM RECOGNIZED AS A 11K SYSTEM. EXTEND WALL UP TO UNDERSIDE OF THE FLOOR DECK, ROOF DECK OR RATED FLOOR / CEILING ASSEMBLY.
----	21K FIRE PARKER - SEE WALL LEGEND FOR ULL DESIGN.
----	SEAL ALL PENETRATIONS INTO AND THROUGH WALL ASSEMBLY USING A ULL THROUGH-PENETRATION FIRESTOP SYSTEM RECOGNIZED AS A 11K SYSTEM. EXTEND WALL UP TO UNDERSIDE OF ROOF DECK.



Attachment: 16-17 (2254 : SPR #16-17)

F.1.a

PROGRESS SET

A3

© 2016

OF ----

08JAN16

PROJECT NUMBER

15-09

DATE

NO.

DATE

A NEW FACILITY FOR

SOUTH FLINT TABERNACLE

FLINT, MICHIGAN

UPPER LEVEL FLOOR PLAN

Daniel G. White, Architect, LLC

P.O. Box 695 8576 West Farm Road 76 Willard, Missouri 65781

(417)425-9618

dgcwcreations@gmail.com

Architect for:

ZION CHURCH BUILDERS, INC

P.O. Box 218, Mattawan, MI 49071

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email: zionchurchbuilders@gmail.com

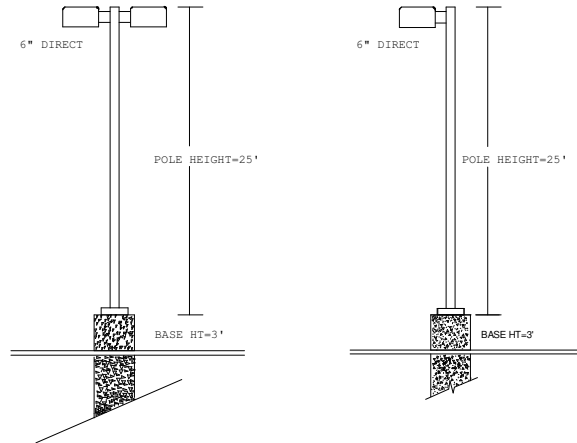
Lot 1
Illuminance (Fc)
Average = 3.37
Maximum = 8.4
Minimum = 0.1
Avg/Min Ratio = 33.70
Max/Min Ratio = 84.00

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Total Watts	Description
	6	WP	SINGLE	N.A.	1.000	450	E-WP11L07UNZ
	18	A	SINGLE	N.A.	1.000	2790	E-AL1L315NZ
	15	A-2	BACK-BACK	N.A.	1.000	4650	E-AL1L315NZ

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
CalcPnts_1	2.55	8.4	0.0	N.A.	N.A.
Lot 1	3.37	8.4	0.1	33.70	84.00
Lot 3	2.97	5.4	0.8	3.71	6.75
Lot 4	2.97	5.2	0.9	3.30	5.78

Pole Schedule
(19) E-PS4E25S1DB (25' X 4" X .180" STEEL SQUARE POLE)
Proposed poles meet 100 MPH sustained winds.
(15) E-PS4E25S2DB (25' X 4" X .180" STEEL SQUARE POLE)
Proposed poles meet 100 MPH sustained winds.

(49) E-ACE (Direct Arm Mount)



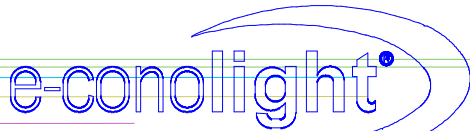
Lot 3
Illuminance (Fc)
Average = 2.97
Maximum = 5.4
Minimum = 0.8
Avg/Min Ratio = 3.71
Max/Min Ratio = 6.75

Lot 4
Illuminance (Fc)
Average = 2.97
Maximum = 5.2
Minimum = 0.9
Avg/Min Ratio = 3.30
Max/Min Ratio = 5.78

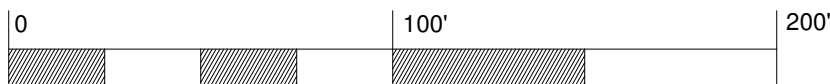
Customer responsible to verify ordering information/
catalogue number prior to placing order.

Date:3/18/2016	Scale: 1"=50'	Layout by: Ben Foster
Project Name: 129369 - South Flint Tabernacle	Salesforce: SR-12616	
Filename: 160226LH1BAFR1.AGI		
Footcandles calculated at grade using mean lumen values		

Illumination results shown on this lighting design are based on project parameters provided to E-conolight used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.



1501 96th Street
Sturtevant, Wisconsin 53177
PH: (888) 243-9445
FX: (262) 504-5409
www.e-conolight.com





Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 2251)

Meeting: 04/12/16 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Amber Abbey

Department Head: Robert Slattery

G.1

DOC ID: 2251

SPR #16-14

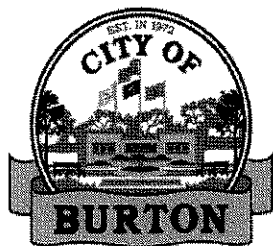
By: John Chams
48 Birchmount Walk
London, On

Re: 3211 S. Dort Hwy Burton, MI 48529

For: Used Vehicle Sales

ATTACHMENTS:

- 16-14 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR ZONING REVIEW

DATE FILED: 3-17-16

FEE: \$40.00

RECEIPT NO: _____

CHECK NO: 00057

SPR #: 16-14

PLEASE PRINT

DATE: march 7 2016

APPLICANTS NAME: John Jihad Chams

APPLICANTS ADDRESS: 48 Birchmount Walk London On

APPLICANTS PHONE NO: 519-857-6161 or 616-228-2885

PROPOSED NAME OF BUSINESS: 229673 Ontario INC o/p Delta Auto Group

PROPOSED TYPE OF BUSINESS: Whole sale cars / SUV / TRUCKS

SITE ADDRESS: G3211 AS Dort Hwy Burton MI 48529

USE OF STRUCTURE: Office for whole sale

SQ FOOTAGE OF PROPERTY: 100 X 90 Feet

SQ FOOTAGE OF STRUCTURE: 60 X 40 Feet

NUMBER OF EMPLOYEES/SEATS: 1

APPLICANTS SIGNATURE: _____

*** ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

Attachment: 16-14 (2251 : SPR #16-14)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 2252)

Meeting: 04/12/16 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Amber Abbey

Department Head: Robert Slattery

G.2

DOC ID: 2252

SPR #16-15

By: Riad Osman
817 Byron Hills Drive
London, On

Re: 3201 S. Dort Hwy. Burton, MI 48529

For: Office Space

ATTACHMENTS:

- 16-15 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ZONING REVIEW

DATE FILED: 3-17-16

FEE: \$40.00

RECEIPT NO: _____

CHECK NO: 000043

SPR #: 16-15

PLEASE PRINT

DATE: march 10 / 2016

APPLICANTS NAME: Riad Osman

APPLICANTS ADDRESS: 817 Byron Hills Drive London ont

APPLICANTS PHONE NO: 519-495 2765

PROPOSED NAME OF BUSINESS: London Auto Mile LTD

PROPOSED TYPE OF BUSINESS: Office space

SITE ADDRESS: 63201 South Don't Hwy Banton Michigan 48529

USE OF STRUCTURE: Office space

SQ FOOTAGE OF PROPERTY: 100 x 90 feet

SQ FOOTAGE OF STRUCTURE: 60 x 40 feet

NUMBER OF EMPLOYEES/SEATS: 1

APPLICANTS SIGNATURE: [Signature]

*** ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

* 3-17-16 spoke w/ Riadh (519-495-2765) I explained that he cannot have used car sales here. Only an office space. I also said I would not sign the State paper the zoning or municipal approval because this is office space.



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 2255)

Meeting: 04/12/16 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Amber Abbey

Department Head: Robert Slattery

G.3

DOC ID: 2255

SPR #16-18

By: Commercial Graphics of MI Inc.
1453 Walli Strasse
Burton, MI 48509

Re: 1453 Walli Strasse Burton, MI 48509

For: Printing Company

ATTACHMENTS:

- 16-18 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 3-21-16

FEE: \$75.00

RECEIPT NO: Cash

CHECK NO:

SPR #: 16-18

PLEASE PRINT

DATE: 3-21-16

APPLICANTS NAME: Commercial Graphics of MI Inc

APPLICANTS ADDRESS: 1453 Walli Strasse

APPLICANTS PHONE NO: 810-577-9104

PROPOSED NAME OF BUSINESS: Commercial Graphics of MI Inc

SITE ADDRESS: 1453 Walli Strasse

SUBDIVISION & LOT # OR PARCEL NUMBER:

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☒ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: Printing Company

SQ FOOTAGE OF PROPERTY:

SQ FOOTAGE OF STRUCTURE: 4,100

NUMBER OF EMPLOYEES/SEATS: 6

APPLICANTS SIGNATURE: [Signature]

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: 16-18 (2255 : SPR #16-18)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 2256)

Meeting: 04/12/16 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Amber Abbey

Department Head: Robert Slattery

G.4

DOC ID: 2256

SPR #16-19

By: Big Coop's Trucking, LLC.
3066 Misty Creek
Swartz Creek, MI 48473

Re: 3481 S. Dort Hwy. Burton, MI 48529

For: Trucking Company

ATTACHMENTS:

- 16-19 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 3-22-16

FEE: \$75.00

RECEIPT NO: _____

CHECK NO: Cash

SPR #: 16-19

PLEASE PRINT

DATE: 3-22-16
APPLICANTS NAME: Big Coops Trucking, LLC (Adam Cooper)
APPLICANTS ADDRESS: 3066 Misty Creek Swartz Creek, MI 48473
APPLICANTS PHONE NO: 810 955 4564
PROPOSED NAME OF BUSINESS: Big Coops Trucking LLC
SITE ADDRESS: 3481 S. Dort Hwy Burton, MI 48519
SUBDIVISION & LOT # OR PARCEL NUMBER: _____

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: Office, parts storage
SQ FOOTAGE OF PROPERTY: 3.8 acres
SQ FOOTAGE OF STRUCTURE: 800 sf., 1400 sf., 1800 sf
NUMBER OF EMPLOYEES/SEATS: 4-?

APPLICANTS SIGNATURE: Adam Cooper

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: 16-19 (2256 : SPR #16-19)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 2257)

Meeting: 04/12/16 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Amber Abbey

Department Head: Robert Slattery

G.5

DOC ID: 2257

SPR #16-20

By: Gregory Butler
1911 Miles Rd.
Lapeer, MI 48446

Re: 4355 S. Saginaw St. Burton, MI 48529

For: Retail / Storage

ATTACHMENTS:

- 16-20 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 3-29-16

FEE: \$75.00

RECEIPT NO: _____

CHECK NO: 3053

SPR #: 16-20

PLEASE PRINT

DATE: 3/22/16

APPLICANTS NAME: GREGORY BUTLER

APPLICANTS ADDRESS: 1911 MILES RD., LAPEER, MI. 48996

APPLICANTS PHONE NO: (810) 241-0945

PROPOSED NAME OF BUSINESS: GROTECH LLC

SITE ADDRESS: G-4355 S. SAGINAW ST.

SUBDIVISION & LOT # OR PARCEL NUMBER: _____

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: RETAIL/STORAGE

SQ FOOTAGE OF PROPERTY: 5500 SQ. FT.

SQ FOOTAGE OF STRUCTURE: 8500 SQ. FT.

NUMBER OF EMPLOYEES/SEATS: 0/1

APPLICANTS SIGNATURE: [Signature]

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: 16-20 (2257 : SPR #16-20)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 2258)

Meeting: 04/12/16 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Amber Abbey

Department Head: Robert Slattery

G.6

DOC ID: 2258

SPR #16-21

By: Allen Automotive
2447 Judd Rd.
Burton, MI 48529

Re: 2447 Judd Rd. Burton, MI 48529

For: Used Vehicles Sales

ATTACHMENTS:

- 16-21 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR ZONING REVIEW

DATE FILED: 3-2-16

FEE: \$40.00

RECEIPT NO: Cash

CHECK NO: _____

SPR #: 16-21

PLEASE PRINT

DATE: 3-2-16

APPLICANTS NAME: Allen Automotive

APPLICANTS ADDRESS: 2447 E. Judd Rd.

APPLICANTS PHONE NO: _____

PROPOSED NAME OF BUSINESS: Allen Automotive

PROPOSED TYPE OF BUSINESS: Auto Dealer

SITE ADDRESS: 2447 E. Judd Rd.

USE OF STRUCTURE: Auto Dealer

SQ FOOTAGE OF PROPERTY: .875 Acres

SQ FOOTAGE OF STRUCTURE: 17,572 S/F

NUMBER OF EMPLOYEES/SEATS: 2

APPLICANTS SIGNATURE: [Signature], Managing Director Allen Automotive, LLC

*** ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

Attachment: 16-21 (2258 : SPR #16-21)