



CITY OF BURTON

BURTON PLANNING COMMISSION MEETING

APRIL 12, 2022

AGENDA

Council Chambers

Regular Meeting

5:00 PM

**4303 S. CENTER ROAD
BURTON, MI 48519**

A. PLEDGE OF ALLEGIANCE

B. ROLL CALL

C. STAFF PRESENT

D. APPROVAL OF MINUTES

1. Planning Commission - Regular Meeting - Oct 12, 2021 5:00 PM

E. NOMINATIONS

1. Approve and Authorize _____ for Planning Commission Chairperson through December 2022.
2. Approve and Authorize _____ for Planning Commission Vice Chairperson through December 2022.

F. SPECIAL USE

1. SPR #22-07

By: Lavern Rogers
4363 Pebble Creek Blvd., Grand Blanc, MI

Re: 4363 Pebble Creek Blvd., Grand Blanc, MI
Parcel ID 59-35-578-086

For: To conduct a special use in a R-1A zone, requesting to expand a licensed family home daycare (capacity of 6 children) to a group childcare license (capacity of 7-12 children)

G. SITE PLAN REVIEW

1. SPR #22-14

By: Lake Like Partners Vandyke LLC : Agent Krisandra Lippert
8805 Ellis Rd., Clarkston, MI 48348

Re: 1242 E.Bristol Rd., Burton MI
Parcel ID 59-31-100-032, Zoned C-4

For: Site Plan Review to construct a Scooter's Coffee.

2. SPR #22-15

By: Rick Swihart, Creekwood Architecture, Inc.
1111 Creekwood Trail, Burton, MI

Re: 3327 E. Bristol Rd., Burton, MI
Lot 18 & 72' of Lot 17 of Follo Acres Subdivision Liber 22

For: Site Plane Review for Streeter Brothers, Inc.

H. ADMINISTRATIVE SITE PLAN REVIEW

1. SPR #22-01

By: Gurdip Singh
11002 Hayes St., Grand Blanc, MI 48439

Re: G4330 S. Saginaw St., Burton, MI
Parcel ID 59-32-553-012

For: Change of Ownership, Liquor Store – Fairland Market

2. SPR #22-02

By: Jason Baker
2802 Yankee Ct., Potterville, MI

Re: 5053 E. Court St., Ste. N, Burton, MI
Parcel ID 59-11-300-006

For: New Certificate for auto wholesaler

3. SPR #22-03

By: Faez Mong
54144 Birchfield Dr. E., Shelby Twp., MI

Re: G-3437 S. Dort Hwy., Burton, MI
Parcel ID 59-28-551-031

For: Change of Ownership, used cars & parts sales – Price Used Cars & Parts
#2 LLC

4. SPR #22-04

By: Bristol Pharmacy LLC
7306 Village Park Dr., Clarkston, MI

Re: 2063 Bristol Rd., Burton, MI

Parcel ID 59-29-555-084

For: Change of Ownership, Retail- Bristol Road Pharmacy

5. SPR #22-05

By: In Stock Furniture Liquidators Inc.
4095 E. Court St., Burton, MI

Re: 4095 E. Court St., Burton, MI
Parcel ID 59-10-551-034

For: Change of Ownership, Furniture retail store- In Stock Furniture Liquidators Inc.

6. SPR #22-06

By: Timothy Wagner
3289 S. Center Rd., Burton, MI

Re: 2501 S. Center Rd., Burton, MI 48519
Parcel ID 59-22-300-004

For: New Business, outdoor power equipment sales & service, Timothy's Tractors

7. SPR #22-09

By: Sukhbinder Narwal

Re: 4121 Flint Asphalt Dr., Burton, MI
Parcel ID 59-33-501-015

For: New Business, office and trucking terminal- Moon Star Express, LLC

8. SPR #22-10

By: Michael Barnett
13225 Pintail Ct.

Re: 4371 S. Saginaw St., Burton, MI
Parcel ID 59-32-552-008

For: Change of Ownership, inside climate controlled storage

9. SPR #22-11

By: Melissa Hynes
4461 Thorntree Dr., Burton, MI

Re: 4461 Thorntree Dr., Burton, MI
Parcel ID 59-03-531-025

For: Home Occupation, Salon

10. SPR #22-12

By: Danyelle Counts
1114 Carlson Dr., Burton, MI

Re: 5515 Davison Rd., Ste. 9, Burton, MI
Parcel ID 59-02-577-081

For: New Business, retail, Pool Service Specialist, LLC

11. SPR #21-52

By: TRex1 Corp / Amy Beauchamp
3265 Card Dr., Burton, MI 48529

Re: 3265 Card Dr., Burton, MI 48529
Parcel ID 59-33-501-020

For: Change of ownership – Trex1 Corp - Office Building / storage of raw materials

12. SPR #21-53

By: Sheldon Banks
G-2340 W. Carpenter Rd., Flint, MI

Re: 1408 Hemphill Rd. Burton, MI
Parcel ID 59-30-576-309

For: Soothing Tums Room Jazz Club - Construction less than 2% - Parking Lot

13. SPR #21-54

By: Duane Damon
1356 Connell St., Burton, MI

Re: 4178 S. Saginaw St., Burton, MI
Parcel ID 59-31-527-031

For: Change of Ownership – Office for Finish Line Seamless Gutters LLC

14. SPR #21-55

By: Becky Vanevery
G3490 S. Saginaw St., Burton, MI

Re: G3499 S. Saginaw St., Burton, MI
Parcel ID 59-29-555-104, 59-29-555-105, 59-29-555-106

For: New Business, Wins Electric Supply

15. SPR #21-56

By: Robert Spangler
P.O. Box 90257 Burton, MI

Re: 2268 Center Rd., Burton, MI
Parcel ID 59-21-529-081

For: New Business, Office for Georgie Mac LLC

16. SPR #21-57

By: Amanda Snider
11429 Dixie Hwy., Holly, MI

Re: 5515 Davison Rd., Ste. 1, Burton, MI
Parcel ID 59-02-577-081

For: New business, shake and tea shop- Rooted Nutrition

17. SPR #21-58

By: Tasha Shelton
3825 Kent St.

Re: G4449 S. Saginaw Ste.C , Burton, MI
Parcel ID 59-32-552-012

For: New business, Tbella Boutique

18. SPR #21-59

By: Lance Redlich
5199 Wyndemere Sq., Swartz Creek, MI

Re: 4277 S. Saginaw St., Burton, MI
Parcel ID 59-32-552-001

For: New Business, retail – Cash USA

19. SPR #21-60

By: Kerry L. Horton
7530 Paradise Dr., Grand Blanc, MI

Re: 3300 S. Center Rd., Burton, MI
Parcel ID 59-28-576-042

For: New Business, Bri'elle's Learning Palace Child Care Center

20. SPR #21-61

By: Vishal Nayak
6272 Opal Ln., Grand Blanc, MI

Re: 3020 E. Atherton Rd., Burton, MI

Parcel ID 59-28-501-185

For: New Business, Pharmacy – Burton Pharmacy

21. SPR #21-62

By: Shrader Tire and Oil Inc.
2045 W. Sylvania Ave., Toledo, OH

Re: 4145.5 Davison Rd., Burton, MI
Parcel ID 59-03-300-060

For: New Business, Shrader Tire and Oil Inc.

22. SPR #21-63

By: Jennings Harper
607 E. Second Ave., Apt. 706, Flint, MI

Re: 24274 E. Judd Rd., Burton, MI
Parcel ID 59-32-527-004

For: New Business, Indoor Skateboard Park – Brush Alley Skate Park & Shop

23. SPR #21-64

By: Luis Ledesma
6695 River Rd.

Re: 3416 S. Saginaw St, Burton, MI
Parcel ID 59-14-526-012

For: New Business, office for L & L interior Glass Designer

24. SPR #21-65

By: Richard Blain
3530 Arlene Ave., Flint, MI

Re: 5501 Lapeer Rd., Burton, MI
Parcel 59-14-526-012

For: New Business, Retail – King Cycle

25. SPR #21-66

By: Deshra Vines-Leak
9508 Woodmont Dr., Grand Blanc, MI

Re: 5210 Lapeer Rd., Burton, MI
Parcel ID 59-14-553-026

For: New Business, Adult residential care facility – Precious Places LLC DBA
D&D Senior Living

26. SPR #21-67

By: Carrie Kittle
4309 Pebble Creek Blvd., Grand Blanc, MI

Re: 4309 Pebble Creek Blvd., Grand Blanc, MI
Parcel 59-35-578-049

For: Home Occupation, Salon/Barbershop

27. SPR #21-68

By: Brandy Balsbough
1810 Ramsay Blvd.

Re: G-4243 S. Saginaw St., Burton, MI
Parcel ID 59-32-503-006

For: New Ownership, Classics Bar

28. SPR #21-69

By: Holly Dubis
4199 Davison Rd., Ste. A, Burton, MI

Re: 4199 Davison Rd., Ste. E, Burton, MI
Parcel ID 59-03-300-062

For: New Certification for used and wholesale auto sales

29. SPR #21-70

By: Kwang Chun Yu
4306 Pinehurst Ln., Grand Blanc, MI

Re: 3009 S. Dort Hwy., Burton, MI
Parcel ID 59-28-501-185

For: New Business, Retail – Great Beauty Inc.

I. AUDIENCE PARTICIPATION

Now is the time set-aside for members of the audience to address the Burton Planning Commission. I would ask each individual to give their name and address for the record and to limit their comments to three (3) minutes and to speak on the topics germane to City business.

J. BOARD DISCUSSION

The next regular scheduled Planning Meeting will be held on May 10, 2022 @ 5:00 PM.

Agendas and minutes may be found at www.burtonmi.gov



CITY OF BURTON

BURTON PLANNING COMMISSION MEETING

OCTOBER 12, 2021

MINUTES

Council Chambers

Regular Meeting

5:00 PM

4303 S. CENTER ROAD
BURTON, MI 48519

This meeting was opened by Chairperson Kevin Burge at 5:00 PM.

A. PLEDGE OF ALLEGIANCE

B. ROLL CALL

Attendee Name	Title	Status	Arrived
Duane Haskins	Mayor	Excused	
Vaughn Smith	Councilman	Present	
Kevin Burge	Chairperson	Present	
Tom Gorang	Commissioner	Present	
Neil Martz	Commissioner	Present	
Don Jones	Vice Chair	Present	
Erica Edgington	Commissioner	Present	
Kenneth Gay	Commissioner	Present	

C. STAFF PRESENT

Amber Abbey, Deputy DPW Director
Leandra Swayne, DPW Records Tech
Katie Malin, Clerk's Office

D. APPROVAL OF MINUTES

1. Planning Commission - Regular Meeting - Sep 14, 2021 5:00 PM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Vaughn Smith, Councilman
SECONDER:	Tom Gorang, Commissioner
AYES:	Smith, Burge, Gorang, Martz, Jones, Edgington, Gay
EXCUSED:	Haskins

E. SITE PLAN REVIEW

1. SPR #21-51

By: Brivar Construction Company
7258 Kensington Rd., Brighton, MI 48116

Re: 3245 Card Dr., Burton, MI
Parcel # 59-33-501-027, Zoned M-2

Parcel # 59-33-501-020, Zoned M-2

For: Site Plan Review for addition to existing facility.

Craig Stockard, 7258 Kensington Road, Brighton, Michigan stated we are seeking approval for a 28,000 square foot addition on to the existing facility at 3245 Card Dr., Burton, Michigan. Brittany Shea is here from Monument Engineering to address any questions in regards to the civil plans, Owners Robert Dodge and Amy Beauchamp are here to answer any questions in regards to operations. There were some initial questions, we responded in email and they are reflected in our updated plans.

Mr. Burge asked if the plans they received have the updated changes.

Mrs. Abbey stated they are not in the plans the Commission has in front of them. The updated changes were made after they had already been mailed out.

Mr. Burge asked for a recommendation from the administration.

Mrs. Abbey stated she went to what she believed to be the site plan because it was not listed in the table of contents. Originally they had the parking spaces at 17 feet long which does not meet the minimum requirement. I did point that out to them. They now have parking spaces at 19 feet. Parking spaces are good as far as size. Something not on the plan that was through a phone conversation was they wanted to remove the front parking spaces and block it off for mechanical equipment , so by doing so they reduced their number of required spaces. I am still only counting 36 spaces and there needs to be 38 spaces, I might be missing where the other two are.

Mr. Stockard stated to clarify there was one space added to the north and two spaces added parallel to the south east corner on the east side.

Mrs. Abbey said ok, yes they do meet the minimum requirement of 38 spaces. It was just not clear that those were parking spaces. With that being said, this business went in a couple years ago they did a great job and built two new buildings. They did buy the property next store and now want to add on which is great. This is an industrial area. One thing I did bring to the applicants attention is I don't like the mechanical equipment in front of the building. In order to keep the mechanical equipment safe, they have to put up a 6 foot high chain link fence. I don't know if there is an option for somewhere else on the property because they are pretty limited.

Mr. Burge asked why the parcels numbers were listed now and formerly.

Mrs. Abbey stated it's because it was two parcels and they combined them. Right now, until it is legally changed, they have two parcel numbers. After the first of the year it will go to one parcel number.

Mr. Martz stated looking at the sheet index on the bottom, they have a landscaping plan and landscaping details, but they are not provided. Landscaping plans are required to be supplied with the site plan. Secondly, there is not any on site lighting

details.

Brittany Shea, 7213 Timberline Drive, Flint, Michigan stated the sheet index is setup to where the dots indicate what sheets are included. For this particular zoning, landscape was not required.

Mr. Martz stated landscaping is required in the site plan checklist and there is also landscape requirement in accordance with the zoning ordinance. There are requirements for landscaping in industrial areas for specific purposes.

Ms. Shea stated she will double check the standards and the zoning. We do have a landscaping architect on hand to make a design for us. We have submitted the site plan to Gasser Bush to get the lighting plan which we will supply to you.

Mr. Martz asked if there will be site and security lighting.

Ms. Shea said, yes.

Mr. Martz asked if there were cameras on the building.

Robert Dodge, 8301 Misty Meadows, Grand Blanc, Michigan stated Our current facility is around 20,000 square feet and we have roughly 100 cameras inside and outside. The state has a requirement.

Mr. Burge asked about the mechanical equipment in the front.

Mr. Dodge stated in order for the buildings to match up there was really no option to put them somewhere else.

Mr. Burge asked if there could be any landscaping with the fence.

Mr. Dodge explained there would really be nowhere for that with the parking lot being so close.

Mr. Martz asked about ornamental screening. Something for security that would be aesthetically pleasing.

Mr. Stockard stated the intent was not just a chain link fence, but a slatted chain link fence that way it is fully screened and you don't see the units at all.

Mr. Martz asked if they could use the vertical slatting instead of the weaving.

Mr. Stockard stated another option is we could use a composite fence instead of chain link.

Mrs. Edgington stated it is all industrial back there and their building looks better than most.

Mr. Martz stated I understand that but we cannot give a variance, it is a requirement to screen in the mechanical equipment.

Mr. Jones asked if they use air handlers off the front of the building.

Mr. Stockard said, yes.

Mr. Jones asked if that helps with smells.

Mr. Dodge said yes, and as far I know we have not received any complaints about smells.

Mr. Martz asked if they had scrubber's in their stacks to clean out the air.

Mr. Dodge said, yes.

Mr. Burge asked about the room labeled chocolate, what is that used for?

Mr. Dodge stated they make edibles.

Mr. Burge asked, how many employees?

Mr. Dodge stated 50 employees.

Mrs. Abbey stated the plan says 45 employees. With 50 there is not enough parking spaces.

Mr. Dodge stated that is the total over all three shifts. There will never be 50 employees at once.

Mrs. Abbey said ok, thank you for the clarification.

Mr. Burge asked if they would use local businesses for labor.

Mr. Stockard stated we do use a lot of local businesses. At least 50 percent are from the area.

Mr. Burge asked about the one way gate. Will that be an issue in the winter if snow piles up?

Ms. Shea stated the only gates are for mechanical equipment. It is a single swing gate right now, but that can easily be changed.

Mr. Martz stated if it is the gate for the mechanical equipment, the chances of needing to get in there in the winter time would be marginal.

Mr. Dodge stated I could easily add that to my snow removal contractor.

Mr. Martz made a motion to approve the plans submitted subject to the requirement that they submit a landscaping, screening and site lighting plan to the city for approval.

RESULT:	CARRIED [UNANIMOUS]
MOVER:	Neil Martz, Commissioner
SECONDER:	Erica Edgington, Commissioner
AYES:	Smith, Burge, Gorang, Martz, Jones, Edgington, Gay
EXCUSED:	Haskins

F. ADMINISTRATIVE SITE PLAN REVIEW

1. SPR #21-49

By: Deonka Bryant
6170 Eastknoll Dr., Grand Blanc, MI

Re: 3362 S. Saginaw St., Burton, MI
Parcel #59-30-576-004, Zone C-2

For: New Business, Retail Store, Flair Boutique

2. SPR #21-50

By: 4403 Davison LLC
1985 W. Big Beaver Rd., #210, Troy, MI 48084

Re: 4403 Davison Rd., Burton, MI 48509
Parcel #59-03-400-002, Zoned C-2

For: Change of Ownership

G. AUDIENCE PARTICIPATION

None.

H. BOARD DISCUSSION

Mr. Burge invited everyone to the Trick-or-Treat Trail at Bentley High School on Saturday, October 23, 2021 from 12-3 PM.

Mr. Smith informed everyone that Project Heats On will also take place at Bentley High School on Saturday, October 23, 2021 at 7:00 AM. If you know of a family in need please have them contact me.

The next regular scheduled Planning Commission Meeting will be held on November 9, 2021 at 5:00 PM.

Agendas and minutes may be found at www.burtonmi.gov

Meeting was adjourned at 5:35 PM.

Minutes Acceptance: Minutes of Oct 12, 2021 5:00 PM (Approval of Minutes)



Burton Planning Commission
4303 S. Center Road
Burton, MI 48519

Meeting: 04/12/22 05:00 PM
Department: Clerk's Office
Category: Appointment
Prepared By: Katie Malin
Department Head: Racheal Boggs

E.1

SCHEDULED

AGENDA ITEM (ID # 5371)

DOC ID: 5371

**Approve and Authorize _____ for Planning
Commission Chairperson through December 2022.**



Burton Planning Commission
4303 S. Center Road
Burton, MI 48519

Meeting: 04/12/22 05:00 PM
Department: Clerk's Office
Category: Appointment
Prepared By: Katie Malin
Department Head: Racheal Boggs

E.2

SCHEDULED

AGENDA ITEM (ID # 5372)

DOC ID: 5372

**Approve and Authorize _____ for Planning
Commission Vice Chairperson through December 2022.**



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5377)

Meeting: 04/12/22 05:00 PM
Department: Department of Public Works
Category: Special Use
Prepared By: Leandra Swayne
Department Head: Charles Abbey

F.1

DOC ID: 5377

SPR #22-07

By: Lavern Rogers
4363 Pebble Creek Blvd., Grand Blanc, MI

Re: 4363 Pebble Creek Blvd., Grand Blanc, MI
Parcel ID 59-35-578-086

For: To conduct a special use in a R-1A zone, requesting to expand a licensed family home daycare (capacity of 6 children) to a group childcare license (capacity of 7-12 children)

ATTACHMENTS:

- Backup SPR 22-07 - Special Use (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230

Date Filed: 2-18-2022
 Fee Paid: 600
 Receipt #: _____
 Check #: 5014
 Received by: J. Swain
 Date Mailed: _____

APPLICATION FOR PLANNING COMMISSION SPECIAL USE:

BCPC Case #: 22-07

DATE OF PLANNING COMMISSION HEARING: APRIL 12TH 2022 AT 5 P.M.

PLEASE PRINT

APPLICANTS NAME: Lavern Rogers

APPLICANTS ADDRESS: 4363 Pebble Creek Blvd

CITY: Grand Blanc

APPLICANTS PHONE: 810-449-4442

APPLICANTS EMAIL: LavernRogers54

ADDRESS AND PARCEL OR LOT NUMBER: 4363 Pebble Creek Blvd
Lot 86 Tax ID: 59-35-578-086

NATURE OF REQUEST (PERMITTED USE AFTER SPECIAL APPROVAL): Zoning
for daycare group home. Currently family
license is active. State advised I have room
for expansion to Group home. Requesting to go
6 kids to 12 kids.

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections. Further I understand that this is an application and any fees paid will not be refundable regardless of the decision of the Commission. Mandatory attendance at the above meeting is acknowledged.

APPLICANTS SIGNATURE: Lavern Rogers

Attachment: Backup SPR 22-07 - Special Use (5377 : SPR #22-07)

OWNER ACKNOWLEDGMENT:

I, Lavern Rogers am the owner of property
 known as: 4363 Pebble Creek Blvd located in the City of Burton. I give permission
 to _____ to make an application to the Planning Commission
 for a Special Use Permit on behalf of my property. I understand unless specified by the Planning Commission,
 any action taken is permanently associated with this property in accordance with the State of Michigan
 Planning Enabling Act.

If I need to be contacted for any reason please contact me at:

Owner Name: Lavern Rogers
 Address: 4363 Pebble Creek Blvd
 City: GRAND Blanc
 Phone: 810-449-4442
 Email: LavernRogers54@gmail.com

SIGNATURE: Lavern Rogers

DATE: 2/18/2022

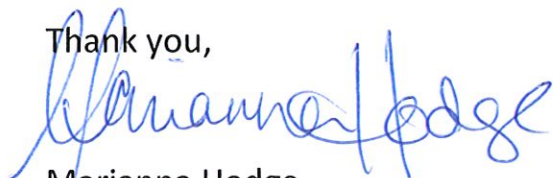
Attachment: Backup SPR 22-07 - Special Use (5377 : SPR #22-07)

02/11/2022

To whom it may concern:

I am writing this letter on behalf of Tiny Hearts and Hands Daycare, located at 4363 Pebble Creek Blvd, Grand Blanc, MI 48439. My son and daughter has been attending this daycare for 3 years and I have not had an issue with parking.

Thank you,



Marianna Hodge

810-428-7349

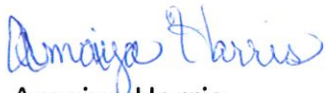
Attachment: Backup SPR 22-07 - Special Use (5377 : SPR #22-07)

02/10/2022

To whom it may concern:

I am writing this letter on behalf of Tiny Hearts and Hands Daycare, located at 4363 Pebble Creek Blvd, Grand Blanc, MI 48439. My daughter has been attending this daycare for 2 ½ years and I have not had an issue with parking.

Thank you,



Amaiya Harris

810-282-4840

Attachment: Backup SPR 22-07 - Special Use (5377 : SPR #22-07)

02/14/2022

To whom it may concern:

I am writing this letter on behalf of Tiny Hearts and Hands Daycare, located at 4363 Pebble Creek Blvd, Grand Blanc, MI 48439. My daughter and new born have been attending this daycare for 3 years and I have not had an issue with parking.

Thank you,



Keshrya Woods

810-309-6311

Attachment: Backup SPR 22-07 - Special Use (5377 : SPR #22-07)





Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5366)

Meeting: 04/12/22 05:00 PM
Department: Department of Public Works
Category: Site Plan Review
Prepared By: Leandra Swayne
Department Head: Charles Abbey

G.1

DOC ID: 5366

SPR #22-14

By: Lake Like Partners Vandyke LLC : Agent Krisandra Lippert
8805 Ellis Rd., Clarkston, MI 48348

Re: 1242 E.Bristol Rd., Burton MI
Parcel ID 59-31-100-032, Zoned C-4

For: Site Plan Review to construct a Scooter's Coffee.

ATTACHMENTS:

- Backup SPR 22-14 - FULL SPR (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR SITE PLAN REVIEW

DATE FILED: 3-24-2022
 FEE: 400

SPR #: 22-14

DATE OF PLANNING COMMISSION MEETING: APRIL 12, 2022 TIME: 5pm

PLEASE PRINT

APPLICANTS NAME: LAKE LIKE PARTNERS VANDYKE LLC Agent: Krisandra Lippert

APPLICANTS ADDRESS: 8805 ELLIS ROAD, CLARKSTON, MI 48348

APPLICANTS PHONE NO: 210.818.5293

APPLICANTS EMAIL: krisandra.lippert@scooterscoffee.com

PROPOSED NAME OF BUSINESS: SCOOTER'S COFFEE

SITE ADDRESS: 1242 E Bristol Road Burton, MI 48529

SUBDIVISION & LOT # OR PARCEL NUMBER: PARCEL NUMBER 59-31-100-032

RE: _____

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections. Further I understand that this is an application and any fees paid will not be refundable regardless of the decision of the Commission. It is to your advantage to attend the above scheduled meeting. The Planning Commission may have questions that directly affect approval, denial, or postponing until these questions can be answered.

APPLICANTS SIGNATURE: Krisandra Lippert

Digitally signed by Krisandra Lippert
 DN: C=US, E=krisandra.lippert@scooterscoffee.com, O="Scooters Coffee, Inc", OU=Development Project Manager, CN=Krisandra Lippert
 Date: 2022.03.16 14:00:09 -05'00'

NOTE: All site plans must be filed at least two (2) weeks prior to the Planning Commission hearing and **MUST** comply with the procedures set forth in Section 157.092 of Codified Ordinance as attached. Must include **twelve (12) sets** of prints and **one (1) electronic** in order to process the application.

Attachment: Backup SPR 22-14 - FULL SPR (5366 : SPR #22-14)

NORTH: C-2
WEST: C-2
EAST: C-4
SOUTH: C-4

**REQUIRED:
BUSINESS AND COMMERCIAL ESTABLISHMENTS FOR
SALE AND CONSUMPTION ON THE PREMISES OF
BEVERAGES, FOOD, OR REFRESHMENTS:
1 FOR EACH 100 SQ. FT. OF GROSS FLOOR AREA**

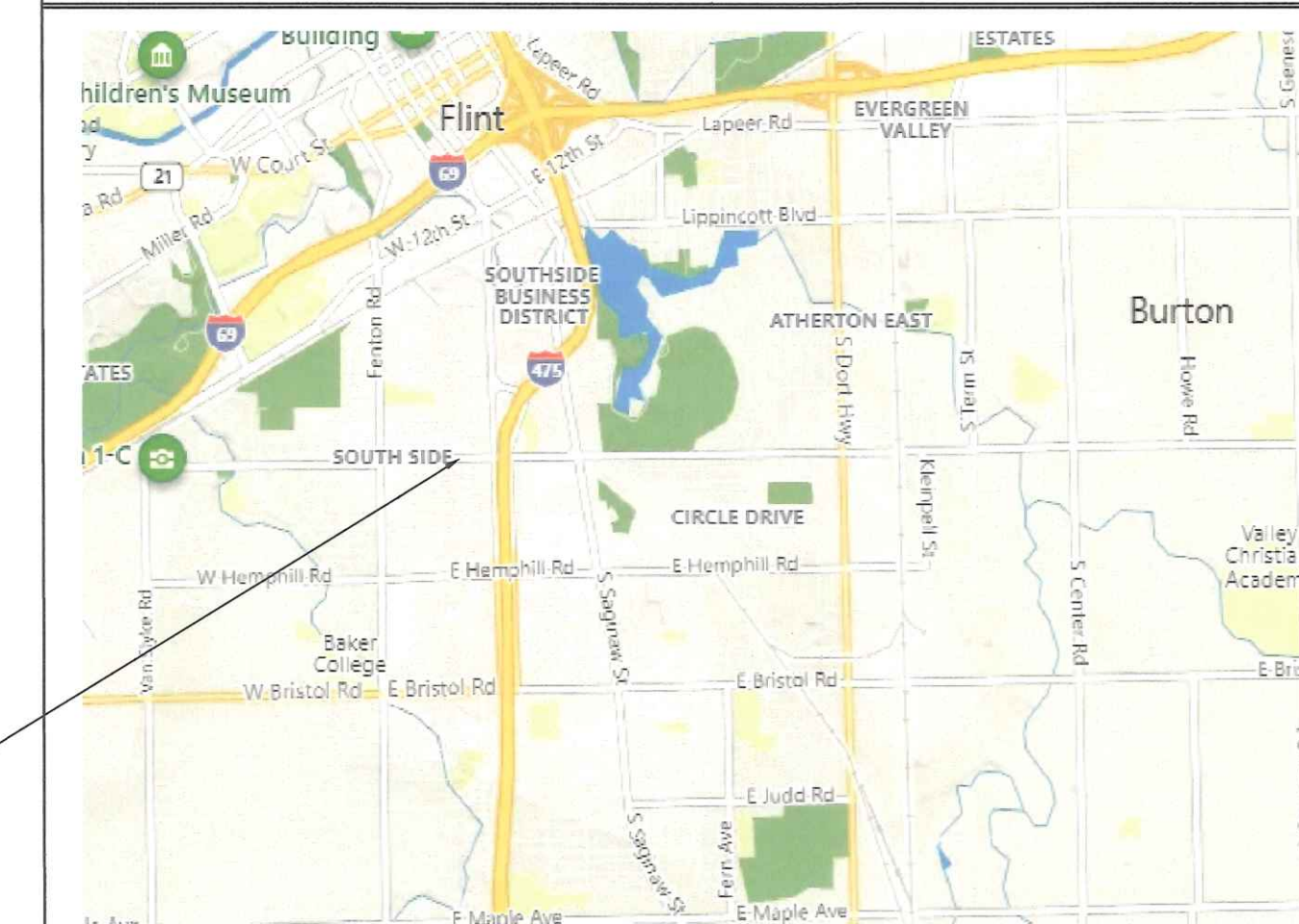
664 SF/ 100 = 7 SPACES
PROVIDED: 7 SPACES (INC. 1 ADA)

TOTAL SITE AREA = 0.84 AC
PROPOSED PAVED SURFACE = 19,085 SF = 0.43 AC
PROPOSED BUILDING AREA = 664 SF = 0.015 AC
TOTAL IMPERVIOUS AREA = 0.445 AC

PROPOSED GREEN SPACE = 0.27 AC

THE PROJECT IS NOT PART OF A LARGER PLAN OR DEVELOPMENT

A PARCEL OF LAND BEGINNING S87°53'01"W 347.98 FEET FROM THE NORTH 1/4 CORNER ON SECTION 31, TOWN N 7, RANGE 7 EAST, CITY OF BURTON, GENESSEE COUNTY, MICHIGAN; THENCE S02°06'59"E 57.00 FEET; THENCE N87°53'01"E 85.74 FEET; THENCE S01°47'26"E 206.00 FEET; THENCE S87°53'01"W 157.88 FEET; THENCE N01°45'50"W 263.03 FEET (MEASURED 263.00 FEET); THENCE N87°53'01"E 71.69 FEET, TO THE POINT OF BEGINNING, CONTAINING 0.84 GROSS ACRES OF LAND +/-.



PROPOSED	EXISTING	
		STORM MANHOLE
		STORM INLET
		STORM INLET
		FLARED END SECTION
		SANITARY MANHOLE
		SANITARY/STORM CLEANOUT
		WATER VALVE
		HYDRANT
		POWER POLE
		POWER POLE W/ LIGHT
		GUY WIRE
		ELECTRIC PEDESTAL/TRANSFORMER
		TELEPHONE PEDESTAL
		GAS METER
		LIGHT POLE
		TRAFFIC SIGNAL
		SIGNS
		BUSH/SHRUB
		CONTROL POINT
		SURVEY BOUNDARY
		LOT LINE
		EASEMENT LINE
		R.O.W. LINE
		SETBACK LINE
		SANITARY SEWER
		STORM SEWER
		WATER LINE
		OVERHEAD ELECTRIC
		UNDERGROUND ELECTRIC
		GAS LINE
		TELEVISION LINE
		TELEPHONE LINE
		FIBER OPTIC CABLE
		UTILITY LINE
		CONTOUR



engineering consultants

5137 utica ridge road
davenport, ia 52807

www.rtmec.com

[illegible]

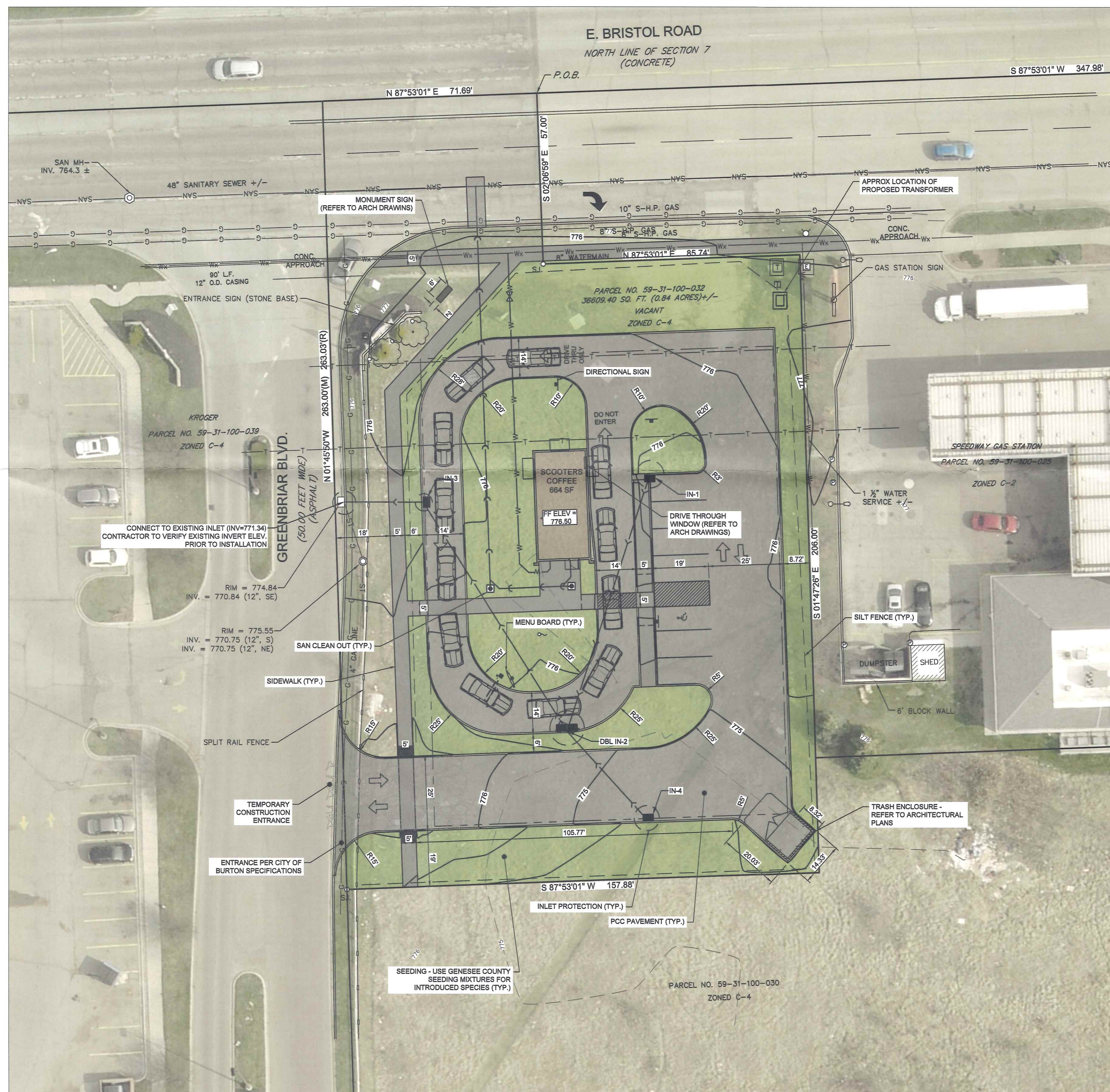
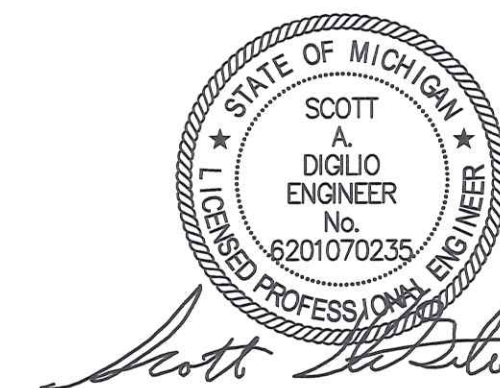
0 10 20 40
Scale: 1" = 20'

SCOOTER'S COFFEE
E. Bristol Rd. & Greenbriar Blvd
Burton, MI

jncd project no.	22.SCT.C04
designed by:	mhm
drawn by:	cam
checked by:	mhm
date:	03.15.2022

SITE PLAN

C-0



BM1-ARROW ON HYDRANT NE
CORNER OF PARCEL
ELEVATION 778.24 (NAVD88)

BM2-RIM ON STORM MH W
SIDE OF PARCEL
ELEVATION 775.55 (NAVD88)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5367)

Meeting: 04/12/22 05:00 PM
Department: Department of Public Works
Category: Site Plan Review
Prepared By: Leandra Swayne
Department Head: Charles Abbey

G.2

DOC ID: 5367

SPR #22-15

By: Rick Swihart, Creekwood Architecture, Inc.
1111 Creekwood Trail, Burton, MI

Re: 3327 E. Bristol Rd., Burton, MI
Lot 18 & 72' of Lot 17 of Follo Acres Subdivision Liber 22

For: Site Plane Review for Streeter Brothers, Inc.



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5347)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.1

DOC ID: 5347

SPR #22-01

By: Gurdip Singh
11002 Hayes St., Grand Blanc, MI 48439

Re: G4330 S. Saginaw St., Burton, MI
Parcel ID 59-32-553-012

For: Change of Ownership, Liquor Store – Fairland Market

ATTACHMENTS:

- Backup SPR 22-01 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 1-21-2022

FEE: 75

SPR #: 22-01

PLEASE PRINT

DATE: _____

APPLICANTS NAME: GURDIP SINGH

APPLICANTS ADDRESS: 11002 HAYES St. Grand Blanc, MI 48439

APPLICANTS PHONE NO: 347-592-3706

APPLICANTS EMAIL: SPSinghmyc @ Gmail.com.

PROPOSED NAME OF BUSINESS: FAIRLAND MARKET

SITE ADDRESS: 94330 S. Saginaw St. Burton, MI - 48529

PARCEL NUMBER: _____

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: BLOCK (CEMENT BLOCKS) - LIQUOR STORE

SQ FOOTAGE OF PROPERTY: 3980

SQ FOOTAGE OF STRUCTURE: _____

NUMBER OF EMPLOYEES/SEATS: 3

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: Gurdip Singh

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 22-01 (5347 : SPR #22-01)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5348)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.2

DOC ID: 5348

SPR #22-02

By: Jason Baker
2802 Yankee Ct., Potterville, MI

Re: 5053 E. Court St., Ste. N, Burton, MI
Parcel ID 59-11-300-006

For: New Certificate for auto wholesaler

ATTACHMENTS:

- Backup SPR 22-02 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR ZONING REVIEW

SPR #: 22-02

DATE FILED: 1-21-22

FEE: 40.00

PLEASE PRINT

DATE: 01/21/22

APPLICANTS NAME: Jason W Baker

APPLICANTS ADDRESS: 2802 Yankee Ct Pottsville Mt 48876

APPLICANTS PHONE NO: 810 288 3851

APPLICANTS EMAIL: Jason.Baker79@me.com

PROPOSED NAME OF BUSINESS: Baker Auto of Burton LLC

SITE ADDRESS: 5053 E Court St N Burton Mt 48509

USE OF STRUCTURE: _____

SQ FOOTAGE OF PROPERTY: _____

SQ FOOTAGE OF STRUCTURE: _____

NUMBER OF EMPLOYEES/SEATS: _____

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: Jason W Baker

*** ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

Attachment: Backup SPR 22-02 (5348 : SPR #22-02)

01/2019

MUNICIPALITY APPROVALName of Dealership: Baker Auto of Burton, LLCDealership Address: 5053 E. Court Street N., Suite X Burton 48509
(street) (city) (zip)

Dealer License Number (if applicable): _____

- ☐ Class A - New Vehicle Dealer
☐ Class B - Used Vehicle Dealer
☐ Class C - Used Vehicle Parts Dealer
☐ Class D - Broker
☐ Class E - Distressed Vehicle Transporter
☐ Class F - Vehicle Scrap Metal Processor
☐ Class G - Vehicle Salvage Pool
☐ Class R - Automotive Recycler
☒ Class W - Automotive Wholesaler

Municipal Authority: _____

The license(s) being applied for (checked above) would permit, but not require, all business activities described above. Please check the appropriate category below, complete the signature portion of this form, and return this completed form to the applicant.

If you have any questions or concerns, contact the Michigan Department of State, Licensing Unit, at 1-888-SOS-MICH (1-888-767-6424).

Thank you.

Municipality requirements may include; local building code requirements, land use requirements, sign ordinances, local licensure, etc...

☒ Location **MEETS** all the municipal requirements for dealer classification(s) checked above.

☐ Location **DOES NOT MEET** all the municipal requirements for dealer classification(s) checked above. Please list the reason(s).

Reason:

☐ There are **NO MUNICIPAL REQUIREMENTS** in this jurisdiction for dealer classification(s) checked above.

Amber Abbey 1-21-22 (810) 742-9230
 Signature of Municipal Authority Date Telephone Number
Amber Abbey City of Burton
 Printed Name of Municipal Authority Jurisdiction (City, Township, etc.)

Attachment: Backup SPR 22-02 (5348 : SPR #22-02)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5349)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.3

DOC ID: 5349

SPR #22-03

By: Faez Mong
54144 Birchfield Dr. E., Shelby Twp., MI

Re: G-3437 S. Dort Hwy., Burton, MI
Parcel ID 59-28-551-031

For: Change of Ownership, used cars & parts sales – Price Used Cars & Parts #2 LLC

ATTACHMENTS:

- Backup SPR 22-03 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 1-28-2022

SPR #: 22-03

FEE: 75

PLEASE PRINT

DATE: 1-28-22

APPLICANTS NAME: Faez Mong

APPLICANTS ADDRESS: 54104 Birchfield Dr E. Shelby Twp MI 48316
G3437 S. Dort Hwy

APPLICANTS PHONE NO: 586-610-9129

APPLICANTS EMAIL: priceauto@comcast.net

PROPOSED NAME OF BUSINESS: Price used cars & Parts #2 LLC

SITE ADDRESS: G3437 S. Dort Hwy

PARCEL NUMBER: 59-28-551-031

TYPE: ☐ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: used cars & parts sales

SQ FOOTAGE OF PROPERTY: 20,750

SQ FOOTAGE OF STRUCTURE: 4,056

NUMBER OF EMPLOYEES/SEATS: 2-4

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: [Signature]

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 22-03 (5349 : SPR #22-03)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5350)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.4

DOC ID: 5350

SPR #22-04

By: Bristol Pharmacy LLC
7306 Village Park Dr., Clarkston, MI

Re: 2063 Bristol Rd., Burton, MI
Parcel ID 59-29-555-084

For: Change of Ownership, Retail- Bristol Road Pharmacy

ATTACHMENTS:

- Backup SPR 22-04 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 2/10/22

FEE: 75

SPR #: 22-04

PLEASE PRINT

DATE: 2/10/22

APPLICANTS NAME: Bristol Pharmacy LLC

APPLICANTS ADDRESS: 7306 Village Park dr. Clarkston MI 4831

APPLICANTS PHONE NO: 810-730-5097

APPLICANTS EMAIL: aeshu.patel07@gmail.com

PROPOSED NAME OF BUSINESS: Bristol Road Pharmacy

SITE ADDRESS: 2063 Bristol Road Burton MI-48529

PARCEL NUMBER: 5929555084

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☒ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: Retail Pharmacy

SQ FOOTAGE OF PROPERTY: 1640

SQ FOOTAGE OF STRUCTURE: _____

NUMBER OF EMPLOYEES/SEATS: 2

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: [Signature]

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 22-04 (5350 : SPR #22-04)



City of Burton

Building Department
4093 Manor Drive
Burton, MI 48519
(810) 742-9230

DATE FILED: 2-10-22
FEE PAID: 100

APPLICATION FOR NEW COMMERCIAL, OR INDUSTRIAL INSPECTION

OWNER'S INFORMATION:

OWNER'S NAME: Nishant Patel
OWNER'S MAILING ADDRESS: 7306 Village Park Dr.
Clarkston MI-48346
OWNER'S PHONE NUMBER: (810) 730-5097
OWNER'S EMAIL: aneshpatel07@gmail.com

APPLICANT'S INFORMATION: (if different than owner)

APPLICANT'S NAME: Varni LLC
APPLICANT'S MAILING ADDRESS: 7306 Village Park Dr.
Clarkston MI-48346
APPLICANT'S PHONE NUMBER: (810) 730-5097
APPLICANT'S EMAIL: _____

PROPERTY ADDRESS: 2063 Bristol Road Burton MI 48529

I hereby certify that the proposed inspection is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any occupancy that may be issued may be void. Further, I agree to comply with the conditions and regulations provided with any occupancy that may be issued. Further, I agree the occupancy that may be issued is with the understanding all applicable sections of the City of Burton Zoning Ordinance and the State of Michigan Residential Building Code will be complied with. Further, I agree to notify the City of Burton inspection department prior to the required inspections identified by the Building Inspector. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections. Finally, I understand this is an inspection application (not a permit) and that a permit, if required will be my responsibility to obtain before occupancy is conveyed. ** *The building inspector will not enter the house/business without either the Representative present at time of inspection or unless given specific instructions as to the entry of the building.

APPLICANT'S SIGNATURE: _____

Please understand that a City of Burton representative will not contact you prior to the scheduled inspection. It is your responsibility to cancel the scheduled inspection prior to the inspection time. Failure to cancel will result in a reinspection fee.

INSPECTION: _____ DATE: _____ TIME: _____

Additional Inspection instructions: _____

Attachment: Backup SPR 22-04 (5350 : SPR #22-04)

I, Nishant Patel understand that the building located
(print name)

at 2063 Bristol Road is a new business located in the City of
Burton. The Building Inspector has conducted an inspection of the building and given me a list
of repairs to be made before the building can be occupied. I am requesting that the water be
turned on by the City of Burton so that I can make said repairs. I also understand that this does
not give permission or rights for occupancy of the building. It is my responsibility to contact the
Building Division for an occupancy inspection once I have made the correct repairs.

Failure to follow up with the Building Division for occupancy before the timeframe specified by
the inspector or occupying the building without proper approvals will result in the water being
turned off regardless of the status of the bill. I understand that I am responsible to pay any
applicable turn on/turn off fees.

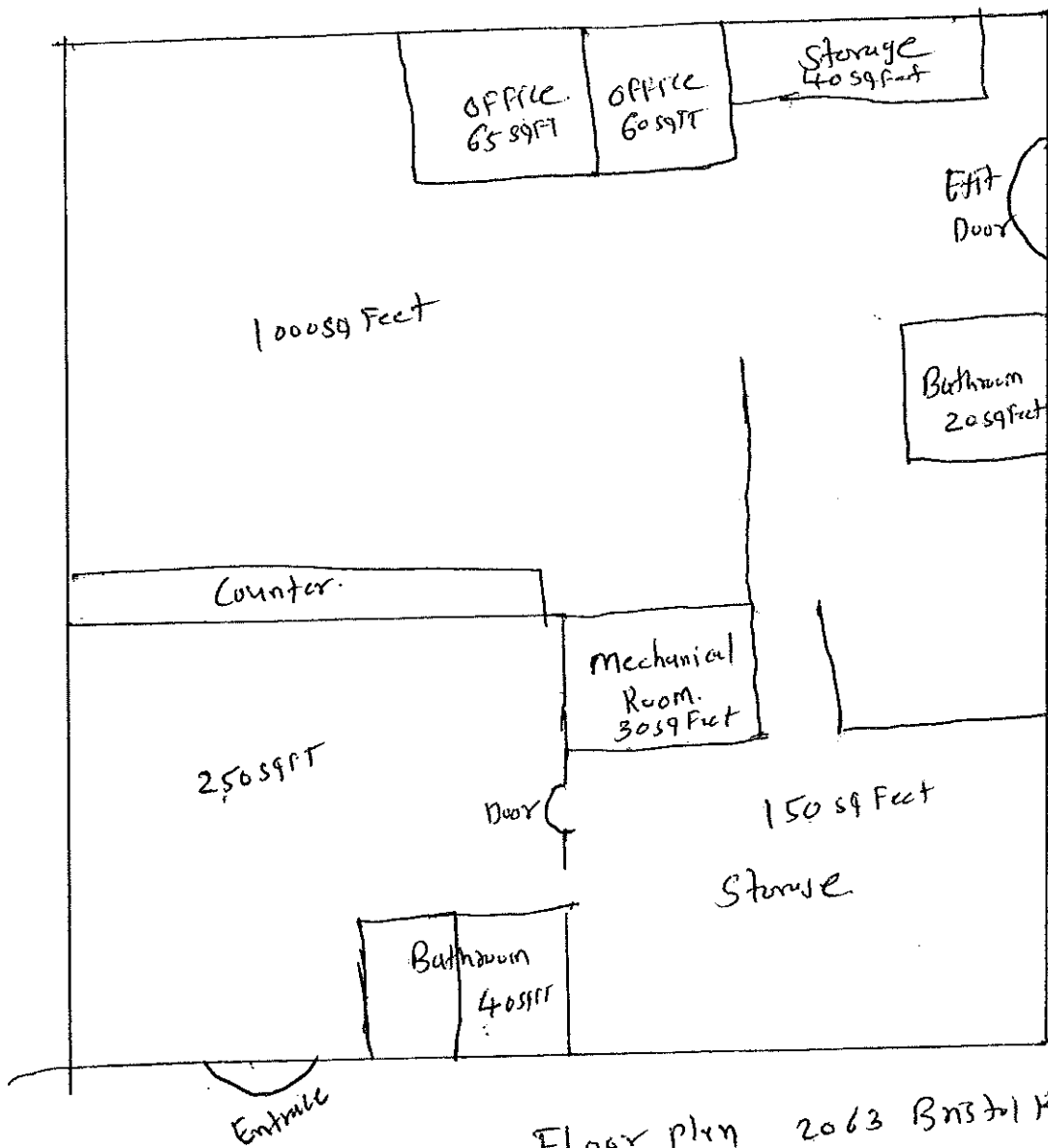
Signature below indicated acceptance of the conditions listed above.


Signature

2/10/22
Date

Attachment: Backup SPR 22-04 (5350 : SPR #22-04)

1640 sqft



Floor plan 2063 Bristol RD.
 Boston, mi 48529



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5351)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.5

DOC ID: 5351

SPR #22-05

By: In Stock Furniture Liquidators Inc.
4095 E. Court St., Burton, MI

Re: 4095 E. Court St., Burton, MI
Parcel ID 59-10-551-034

For: Change of Ownership, Furniture retail store- In Stock Furniture Liquidators Inc.

ATTACHMENTS:

- Backup SPR 22-05 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 2-10-2022

FEE: 75

SPR #: 22-05

PLEASE PRINT

DATE: 2/10/22

APPLICANTS NAME: In stock Furniture Liquidators Inc

APPLICANTS ADDRESS: 4095 E Court St

APPLICANTS PHONE NO: 810-339-6582 (store #) 815 329-8005 (cell)

APPLICANTS EMAIL: Office@choicefurnitureusa.com

PROPOSED NAME OF BUSINESS: In stock Furniture Liquidators Inc

SITE ADDRESS: 4095 E Court St

PARCEL NUMBER: _____

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: To conduct Furniture Retail

SQ FOOTAGE OF PROPERTY: ~~72,500~~ 72,500 Sq Ft

SQ FOOTAGE OF STRUCTURE: 72,500 Sq ft

NUMBER OF EMPLOYEES/SEATS: 15-20

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: [Signature]

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 22-05 (5351 : SPR #22-05)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5355)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.6

DOC ID: 5355

SPR #22-06

By: Timothy Wagner
3289 S. Center Rd., Burton, MI

Re: 2501 S. Center Rd., Burton, MI 48519
Parcel ID 59-22-300-004

For: New Business, outdoor power equipment sales & service, Timothy's Tractors

ATTACHMENTS:

- Backup SPR 22-06 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 2-11-2022

FEE: 75

5355

SPR #: 22-06

PLEASE PRINT

DATE: 01/31/2022

APPLICANTS NAME: Timothy Wagner

APPLICANTS ADDRESS: 3289 S. Center rd Burton MI 48519

APPLICANTS PHONE NO: (810) 252-0754

APPLICANTS EMAIL: timothysttractorparts@gmail.com

PROPOSED NAME OF BUSINESS: Timothy's Tractors

SITE ADDRESS: 2501 S. Center rd Burton MI 48519

PARCEL NUMBER: 59-22-300-004

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: outdoor power equipment sales & service

SQ FOOTAGE OF PROPERTY: 33,149.16 sq feet

SQ FOOTAGE OF STRUCTURE: 3600 sq feet

NUMBER OF EMPLOYEES/SEATS: 4

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: 

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 22-06 (5355 : SPR #22-06)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5356)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.7

DOC ID: 5356

SPR #22-09

By: Sukhbinder Narwal

Re: 4121 Flint Asphalt Dr., Burton, MI
Parcel ID 59-33-501-015

For: New Business, office and trucking terminal- Moon Star Express, LLC

ATTACHMENTS:

- Backup SPR 22-09 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 3-9-2022

SPR #: 22-09

FEE: 75

PLEASE PRINT

DATE: 3-7-2022

APPLICANTS NAME: Sukhbinder Narwal

APPLICANTS ADDRESS: _____

APPLICANTS PHONE NO: 734-896-3044

Joe
734-896-1469

APPLICANTS EMAIL: Sukhio moonstarexpress.com

PROPOSED NAME OF BUSINESS: Moon Star Express, LLC

SITE ADDRESS: 4121 Asphalt Drive Burton, MI 48529

PARCEL NUMBER: _____

TYPE: ☒ CHANGE OF OWNERSHIP/USE

☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: Administrative Office and Trucking Terminal

SQ FOOTAGE OF PROPERTY: _____

SQ FOOTAGE OF STRUCTURE: 8260

NUMBER OF EMPLOYEES/SEATS: 5 to 15 people in and out per shift

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: [Signature]

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 22-09 (5356 : SPR #22-09)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5357)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.8

DOC ID: 5357

SPR #22-10

By: Michael Barnett
13225 Pintail Ct.

Re: 4371 S. Saginaw St., Burton, MI
Parcel ID 59-32-552-008

For: Change of Ownership, inside climate controlled storage

ATTACHMENTS:

- Backup SPR 22-10 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 3-11-22

FEE: 75.00

SPR #: 22-10

PLEASE PRINT

DATE: 02/23/2022

APPLICANTS NAME: Michael D. Barnett

APPLICANTS ADDRESS: 13225 Pin tail Ct.

APPLICANTS PHONE NO: 810 394-1361

APPLICANTS EMAIL: NONE

PROPOSED NAME OF BUSINESS: Don't have one yet

SITE ADDRESS: G-4371 S. Saginaw St. Burton MI 48529

PARCEL NUMBER: 59-32-552-008

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: inside climate controlled storage

SQ FOOTAGE OF PROPERTY: (Land, site) 29,700 SQ FT.

SQ FOOTAGE OF STRUCTURE: 21,000 SQ FT. (+-)

NUMBER OF EMPLOYEES/SEATS: 2 maybe 4

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: Michael D. Barnett

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 22-10 (5357 : SPR #22-10)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5359)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.9

DOC ID: 5359

SPR #22-11

By: Melissa Hynes
4461 Thorntree Dr., Burton, MI

Re: 4461 Thorntree Dr., Burton, MI
Parcel ID 59-03-531-025

For: Home Occupation, Salon

ATTACHMENTS:

- Backup SPR 22-11 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 3-18-22

FEE: 75.00

SPR #: 22-11

PLEASE PRINT

DATE: 3-9-22

APPLICANTS NAME: Melissa Hynes

APPLICANTS ADDRESS: 4461 Thorntree Dr. Burton 48509

APPLICANTS PHONE NO: 810 265-5212

APPLICANTS EMAIL: Meldhynes@gmail.com

PROPOSED NAME OF BUSINESS: Melissa's Salon

SITE ADDRESS: 4461 Thorntree Dr. Burton 48509

PARCEL NUMBER: _____

TYPE: ☐ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: Home Occupation/Salon

SQ FOOTAGE OF PROPERTY: _____

SQ FOOTAGE OF STRUCTURE: _____

NUMBER OF EMPLOYEES/SEATS: 1

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: Melissa Hynes

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 22-11 (5359 : SPR #22-11)



Burton Planning Commission
4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5360)

Meeting: 04/12/22 05:00 PM
Department: Department of Public Works
Category: Administrative Site Plan Review
Prepared By: Leandra Swayne
Department Head: Charles Abbey

H.10

DOC ID: 5360

SPR #22-12

By: Danyelle Counts
1114 Carlson Dr., Burton, MI

Re: 5515 Davison Rd., Ste. 9, Burton, MI
Parcel ID 59-02-577-081

For: New Business, retail, Pool Service Specialist, LLC

ATTACHMENTS:

- Backup SPR 22-12 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ZONING REVIEW

DATE FILED: 3/18/22
FEE: \$40.00

SPR #: 22-12

PLEASE PRINT

DATE: 3/15/22

APPLICANTS NAME: Danyelle Counts

APPLICANTS ADDRESS: 1114 Carlson Dr. Burton, MI 48509

APPLICANTS PHONE NO: 810.336.3796

APPLICANTS EMAIL: Danyelle.Counts@yahoo.com

PROPOSED NAME OF BUSINESS: Pool Service Specialist, LLC

SITE ADDRESS: 5515 DAVISON RD. Burton, MI 48509
STE. #9

USE OF STRUCTURE: Swimming Pool Supply Retail

SQ FOOTAGE OF PROPERTY: 1500

SQ FOOTAGE OF STRUCTURE: _____

NUMBER OF EMPLOYEES/SEATS: 2

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made the attached application are true, and if found not to be true, any permit that may be issued may void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: Danyelle Counts



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5328)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.11

DOC ID: 5328

SPR #21-52

By: TRex1 Corp / Amy Beauchamp
3265 Card Dr., Burton, MI 48529

Re: 3265 Card Dr., Burton, MI 48529
Parcel ID 59-33-501-020

For: Change of ownership – Trex1 Corp - Office Building / storage of raw materials

ATTACHMENTS:

- Backup SPR 21-52 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 9-29-2021

FEE: 75

SPR #: 21-52

PLEASE PRINT

DATE: 9/29/2021

APPLICANTS NAME: Trex Corp / Amy Beauchamp

APPLICANTS ADDRESS: 3265 CARD DRIVE, BURTON, MI 48529

APPLICANTS PHONE NO: 248-240-6966

APPLICANTS EMAIL: amy.beauchamp@trexcorp.com

PROPOSED NAME OF BUSINESS: Trex Corp

SITE ADDRESS: 3265 CARD DRIVE, BURTON, MI 48529

PARCEL NUMBER: 59-33-501-020

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: Office building / storage of raw materials

SQ FOOTAGE OF PROPERTY: 51836.4

SQ FOOTAGE OF STRUCTURE: 2400

NUMBER OF EMPLOYEES/SEATS: 8

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: [Signature]

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 21-52 (5328 : SPR #21-52)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5329)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.12

DOC ID: 5329

SPR #21-53

By: Sheldon Banks
G-2340 W. Carpenter Rd., Flint, MI

Re: 1408 Hemphill Rd. Burton, MI
Parcel ID 59-30-576-309

For: Soothing Tums Room Jazz Club - Construction less than 2% - Parking Lot

ATTACHMENTS:

- Backup SPR 21-53 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 10-5-2021

SPR #: 21-53

FEE: 75

PLEASE PRINT

DATE: 10-4-2021

APPLICANTS NAME: SHELDON T. BANKS

APPLICANTS ADDRESS: G-2340 W. CARPENTER RD.

APPLICANTS PHONE NO: (810) 397-3509

APPLICANTS EMAIL: BANKSSHELDON12C@YAHOO.COM

PROPOSED NAME OF BUSINESS: SOOTHING TUMS ROOM JAZZ CLUB

SITE ADDRESS: 1408 HEMPHILL RD., BURTON

PARCEL NUMBER: 59-30-576-309

TYPE: ☐ CHANGE OF OWNERSHIP/USE ☒ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: JAZZ CLUB - DANCE HALL

SQ FOOTAGE OF PROPERTY: 29,058 SF

SQ FOOTAGE OF STRUCTURE: 9,340 SF

NUMBER OF EMPLOYEES/SEATS: 5 EMPLOY., 122 SEATS

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: [Signature]

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 21-53 (5329 : SPR #21-53)



Griggs Quaderer Inc.
8308 Office Park Drive
Grand Blanc, MI 48439
PH: (810) 695-0154
FX: (810) 695-0158

Letter of Transmittal

To: _____
City of Burton
Planning Department
4093 Manor Drive
Burton, MI 48519

Date: 11-15-21 Transmittal No: 1
Project No: 210901 Page 1 of 1
ATTN: Amber Abbey, Planning Official
RE: Soothing Tums Room Jazz Club
Final Review Package

We are sending you the following via:

Regular Mail ☐ Hand Delivered ☒ Pickup ☐ Electronic Mail ☐
Fax ☐ Overnight Priority ☐ Overnight Standard ☐ Overnight Saver ☐

Item	Qty	Code	Dwg/Spec No.	Title/Description
1	3	A1		SPA Documents (Signed & Sealed)

- CODES:**
- | | | | |
|---|---------------------|---|----------------------|
| A | Bond Reproducible | 1 | For Approval |
| B | Vellum Reproducible | 2 | For Review / Comment |
| C | Mylar Reproducible | 3 | As Requested |
| D | Compact Disc | 4 | For Your Use |
| E | Electronic File | | |

REMARKS:

Amber,
This is our final submittal for administrative review of the Jazz club on Hemphill Road. Please feel free to contact me if you have any questions or need additional information.

Thanks,
Rudy

By: R. Quaderer Griggs Quaderer, Inc.
Cc: Sheldon Banks

Attachment: Backup SPR 21-53 (5329 : SPR #21-53)

SOOTHING TUMS ROOM JAZZ CLUB

NEW ON-SITE PAVEMENT REHAB ADMINISTRATIVE REVIEW PACKAGE

1408 HEMPHILL ROAD
BURTON, MI

PART OF THE SOUTHEAST 1/4 OF SECTION 30
TOWNSHIP 7 NORTH, RANGE 7 EAST
CITY OF BURTON, COUNTY OF GENESEE, STATE OF MICHIGAN

PROPERTY DESCRIPTION:

A PARCEL OF LAND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 30, TOWN 7-NORTH, RANGE 7-EAST, CITY OF BURTON, COUNTY OF GENESEE, STATE OF MICHIGAN MORE PARTICULARLY DESCRIBED AS:

ALL OF LOTS 69 THROUGH 75 IN THE PLATTED SUBDIVISION "BAKER PARK" AS RECORDED IN THE GENESEE COUNTY REGISTER OF DEEDS.

DRAWING INDEX:

●	11-15-2021	C000 — COVER SHEET
●	11-15-2021	C100 — TOPOGRAPHIC SURVEY PLAN
●	11-15-2021	C101 — SITE REMOVAL PLAN
●	11-15-2021	C200 — SITE LAYOUT PLAN
●	11-15-2021	C300 — SITE GRADING & STORM SEWER PLAN
●	11-15-2021	C301 — SOIL EROSION CONTROL PLAN
●	11-15-2021	C400 — SITE LANDSCAPE PLAN
●	11-15-2021	C401 — SITE PHOTOMETRIC PLAN

●	DATE
●	MOST RECENT ISSUE / REVISION DATE
●	FILLED CIRCLE INDICATES SUBMITTED DRAWING

BENCHMARKS (NAVD88):

- BM #1 TOP ARROW ON FIRE HYDRANT LOCATED APPROXIMATELY 30' SOUTH OF 1/2 HEMPHILL ROAD, 330' WEST OF 1/2 MORRISON STREET AND 11' NORTHWEST OF THE CORNER OF A TUMBER WALL. ELEVATION = 773.73
- BM #2 TOP ARROW ON FIRE HYDRANT LOCATED APPROXIMATELY 30' SOUTH OF 1/2 HEMPHILL ROAD, 53' WEST OF 1/2 MORRISON STREET AND 108' NORTHEAST OF THE NORTHEAST CORNER OF BUILDING #1408. ELEVATION = 773.25

NPDES STATEMENT:

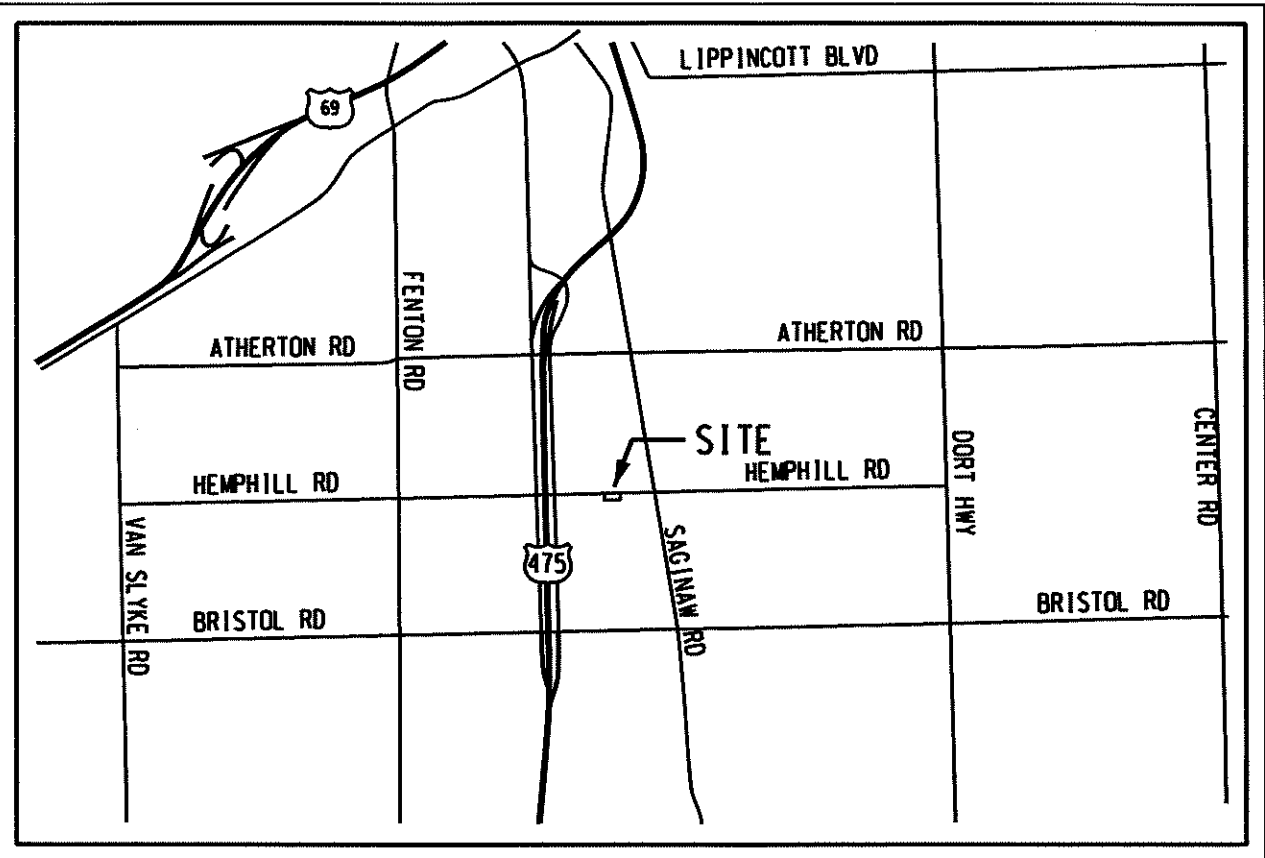
THE OWNER WILL NOT NEED TO OBTAIN AN NPDES STORM WATER DISCHARGE PERMIT FROM THE MDEQ. TOTAL DISTURBED AREA: 0.45 ACRES

TOPOGRAPHIC SURVEY STATEMENT:

THE EXISTING FEATURES SHOWN ON THIS PLAN ARE FROM AN ACTUAL TOPOGRAPHIC SURVEY PERFORMED BY GRIGGS QUADERER, INC. IN SEPTEMBER OF 2021. THE UNDERGROUND UTILITIES SHOWN WERE EITHER VERIFIED BY THIS SURVEY OR WERE PLOTTED IN ACCORDANCE WITH THE BEST INFORMATION AVAILABLE. NO EXISTING UTILITIES WERE EXPOSED FOR VERIFICATION OF LOCATION AND ELEVATION. NO GUARANTEES ARE GIVEN THAT THE LOCATIONS ARE ABSOLUTELY ACCURATE OR THAT UTILITIES OTHER THAN THOSE SHOWN ARE NOT PRESENT.

OWNER: SHELDON T. BANKS
SERENITY FUNERAL CHAPEL LLC
G-2340 W. CARPENTER ROAD
FLINT, MI 48505
PHONE: (810) 397-3509
EMAIL: BANKSSHELDON12@YAHOO.COM

ENGINEER: RUDY QUADERER
GRIGGS QUADERER, INC.
8308 OFFICE PARK DRIVE
GRAND BLANC, MI 48439
PHONE: (810) 695-0154
EMAIL: RQUADERER@GQINCORP.COM

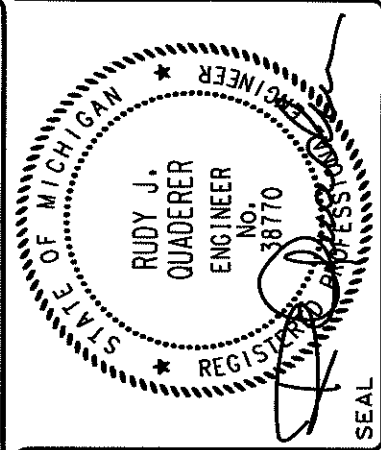


LOCATION MAP
NOT TO SCALE

1
NORTH

STANDARD LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING		
STORM SEWER		
SANITARY SEWER		
WATER		
GAS LINE		
ELECTRIC LINE		
TELEPHONE LINE		
MANHOLE		
CATCH BASIN		
FIRE HYDRANT		
GATE VALVE & WELL		
POWER POLE		
LIGHT POLE		
CURB & GUTTER		
FENCE		
DECIDUOUS TREE		
EVERGREEN TREE		
EASEMENT		
WETLAND BOUNDARY		
SIGN		
ASPHALT SURFACE		
CONCRETE SURFACE		
SOIL BORING		
SPOT ELEVATION		
CONTOUR LINE		

AGENCY CONTACT INFORMATION					
AGENCY	SUBMITTAL DATE	STATUS	AGENCY	SUBMITTAL DATE	STATUS
AMBER ABBEY DEPUTY PLANNING OFFICIAL CITY OF BURTON 4093 MANOR DR. BURTON, MI 48519 PH: 810-742-9230 EXT.3103	10-05-2021	APPROVED	SOIL EROSION CONTROL CITY OF BURTON ENGINEERING DIVISION 4303 S. CENTER ROAD BURTON, MI 48519 PH: (810) 742-7311	11-15-2021	APPROVED

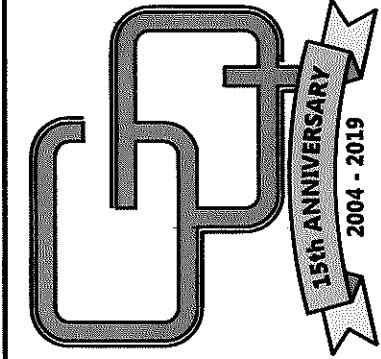


NO.	DATE	REVISION OR ISSUE	SUBJECT
11-15-21	10-05-21	ISSUED TO CITY OF BURTON	
09-23-21		TOPOGRAPHIC SURVEY	

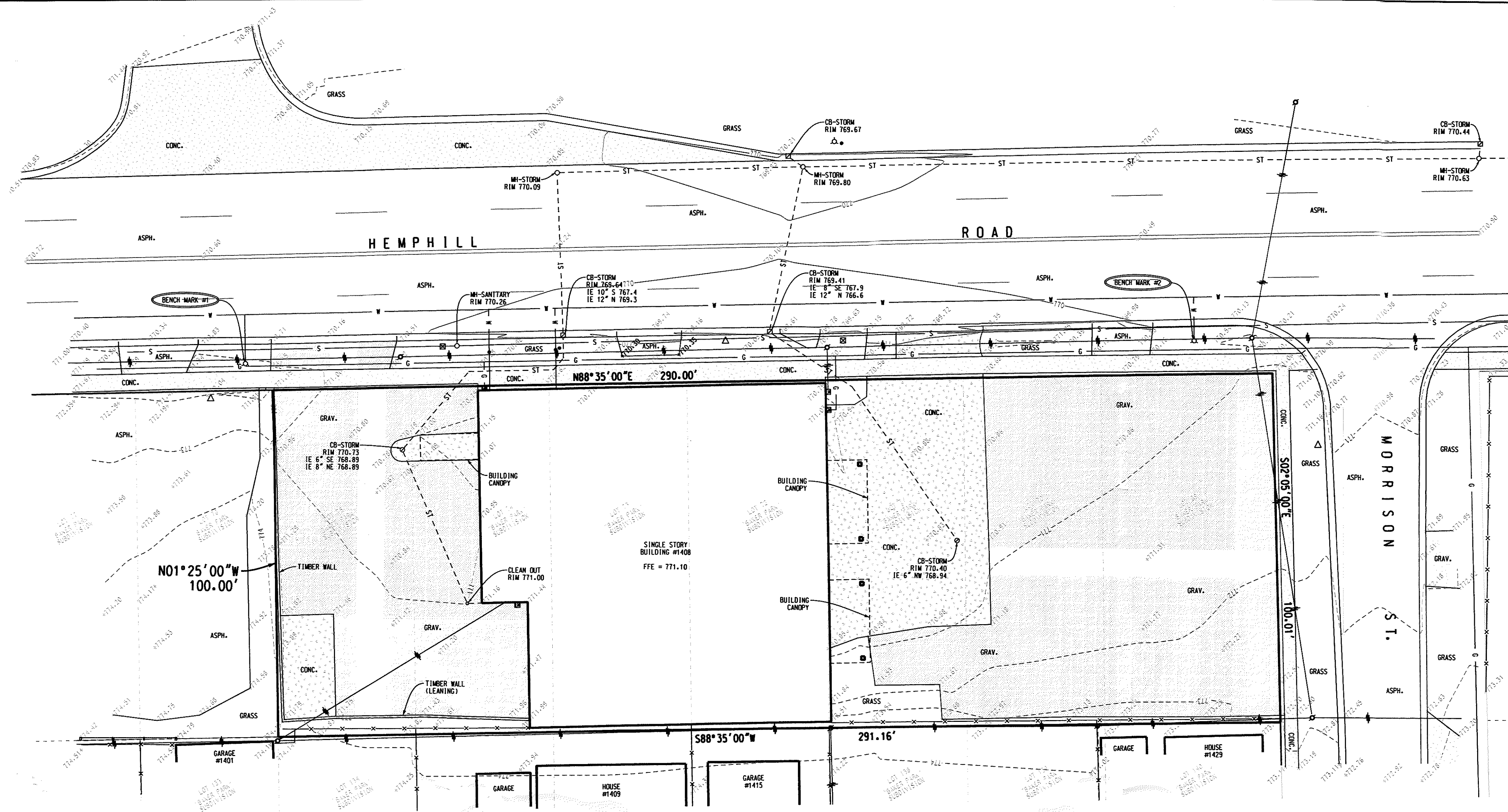
DRAWN	MCILROY
DESIGNED	BRZEZINSKI
CHECKED	QUADERER
FIELD CREW	CB

SOOTHING TUMS ROOM
JAZZ CLUB
1408 HEMPHILL ROAD
BURTON, MI

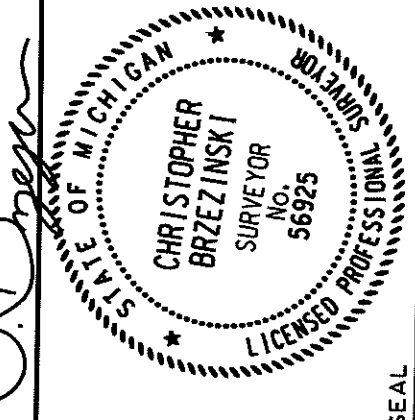
Griggs Quaderer, Inc.
WWW.GQINCORP.COM
8308 OFFICE PARK DRIVE
GRAND BLANC, MI 48439
PH: (810) 695-0154
FX: (810) 695-0158
CIVIL ENGINEERING - LAND SURVEYING
SITE PLANNING



JOB NO.: 210901	PHASE: SPA	C000
-----------------	------------	------



STANDARD LEGEND	
DESCRIPTION	EXISTING
BUILDING	—
STORM SEWER	— ST —
SANITARY SEWER	— S —
WATER	— W —
GAS LINE	— G —
ELECTRIC LINE	— E —
TELEPHONE LINE	— T —
MANHOLE	⊙
CATCH BASIN	⊕
FIRE HYDRANT	⊕
VALVE	⊕
UTILITY POLE W/GUY WIRE	⊕
UTILITY RISER	⊕
LIGHT POLE	⊕
SIGN	⊕
CURB & GUTTER	—
FENCE	—
GUARD RAIL	—
INVERT ELEVATION	IE 6" 750.00
CONTOUR	— 750 —
SPOT ELEVATION	750.00
ASPHALT SURFACE	ASPH.
CONCRETE SURFACE	CONC.
GRAVEL SURFACE	GRAV.
TREE LINE	—
TREE	—



																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			</
--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	----

DRAWN	McHURD
DESIGNED	BRZEZINSKI
CHECKED	QUADERER
FIELD CREW	CB

SOOTHING TUMS ROOM
JAZZ CLUB
1408 HEMPHILL ROAD
BURTON, MI

TOPOGRAPHIC SURVEY PLAN

Griggs Quaderer, Inc.
8308 OFFICE PARK DRIVE
GRAND BLANC, MI 48439
WWW.GQINCORP.COM
PH: (810) 695-0154
FX: (810) 695-0158

CIVIL ENGINEERING · LAND SURVEYING
SITE PLANNING

JOB NO. 1
210901

SPAC
C100

PROPERTY DESCRIPTION:
A PARCEL OF LAND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 30, TOWN 7-NORTH, RANGE 7-EAST, CITY OF BURTON, COUNTY OF GENESEE, STATE OF MICHIGAN MORE PARTICULARLY DESCRIBED AS:

ALL OF LOTS 69 THROUGH 75 IN THE PLATTED SUBDIVISION "BAKER PARK" AS RECORDED IN THE GENESEE COUNTY REGISTER OF DEEDS.

GENERAL PROPERTY NOTE:
A BOUNDARY SURVEY WAS NOT PERFORMED AND ACTUAL PROPERTY CORNER ACCURACIES WERE NOT VERIFIED. THE BOUNDARY LINES SHOWN HEREON WERE TAKEN FROM RECORD DESCRIPTION(S) AND PLOTTED ACCORDINGLY.

BENCHMARKS:
BM #1 TOP ARROW ON FIRE HYDRANT LOCATED APPROXIMATELY 30' SOUTH OF HEMPHILL ROAD, 330' WEST OF MORRISON STREET AND 11' NORTHWEST OF THE CORNER OF A TIMBER WALL. ELEVATION = 773.73
BM #2 TOP ARROW ON FIRE HYDRANT LOCATED APPROXIMATELY 30' SOUTH OF HEMPHILL ROAD, 53' WEST OF MORRISON STREET AND 108' NORTHEAST OF THE NORTHEAST CORNER OF BUILDING #1408. ELEVATION = 773.25

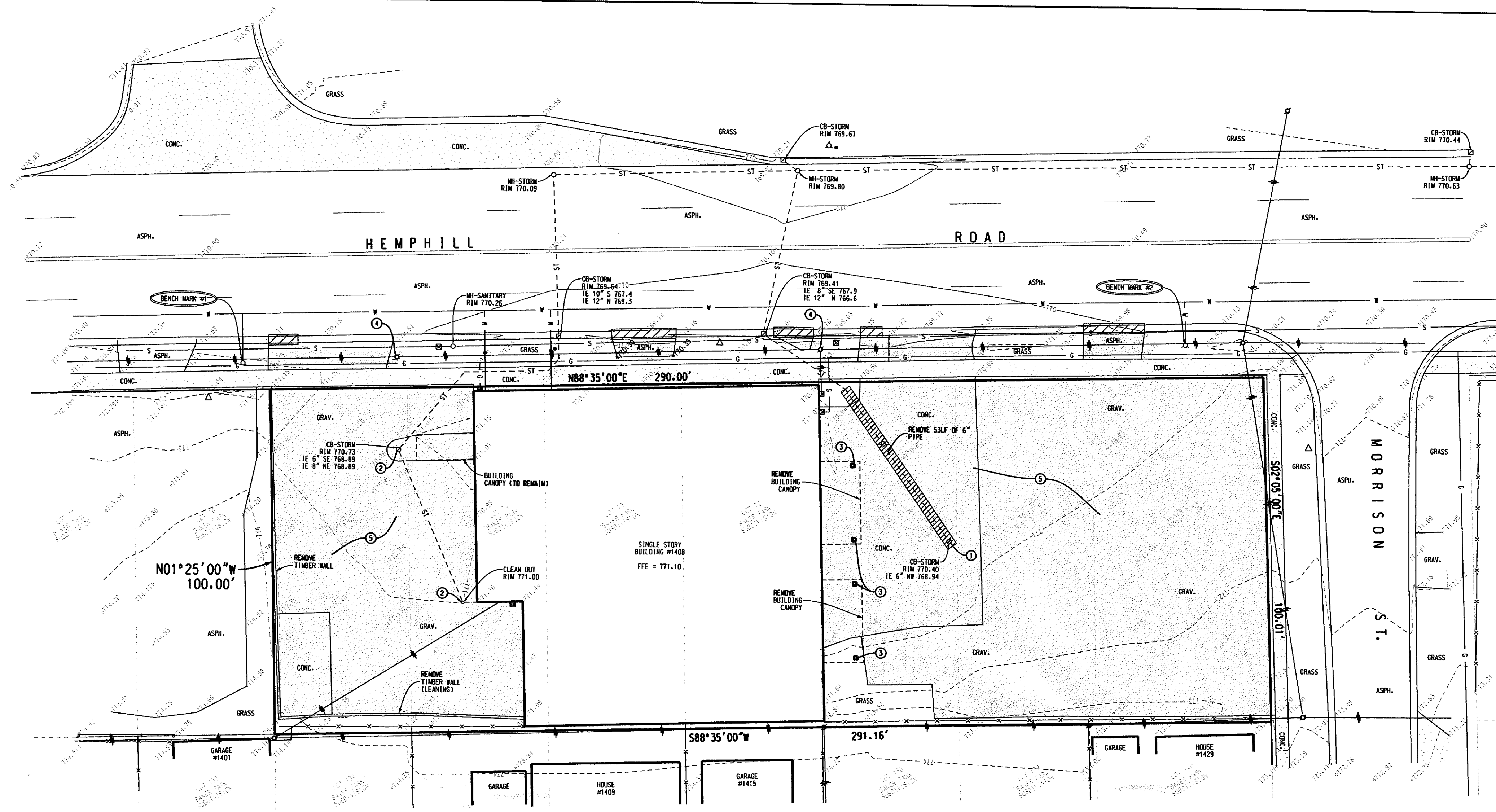
GENERAL UTILITY NOTE:
THE UTILITIES AS SHOWN ON THIS DOCUMENT WERE EITHER VERIFIED BY AN ACTUAL FIELD SURVEY OR WERE PLOTTED IN ACCORDANCE WITH THE BEST INFORMATION AVAILABLE. GRIGGS QUADERER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN INCLUDE ALL POSSIBLE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, GRIGGS QUADERER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH GRIGGS QUADERER DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE UNDERGROUND UTILITY PIPE SIZES AS SHOWN ON THIS DOCUMENT WERE OBTAINED EITHER BY RECORD PLAN INFORMATION OR BY FIELD MEASUREMENTS. GRIGGS QUADERER CAN NOT GUARANTEE THE ACCURACY OF THE PIPE SIZES OR THEIR LOCATIONS EITHER BY FIELD MEASUREMENT OR BY RECORD DATA AND SHALL NOT BE HELD RESPONSIBLE FOR ANY DISCREPANCIES REGARDING THESE UTILITIES.

811

Know what's below.
Call before you dig.

1" = 20'

0 20 40 60



DEMOLITION NOTES:

1. PRIOR TO BEGINNING OF ANY DEMOLITION WORK THE CONTRACTOR SHALL NOTIFY THE LOCAL GOVERNING AGENCY TO OBTAIN PERMIT. ALL DEMOLITION WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL GOVERNING AGENCY. ALL DEMOLITION OPERATIONS SHALL COMPLY WITH MISHA REGULATIONS.
2. THE EXISTING FEATURES SHOWN ON THIS PLAN ARE FROM AN ACTUAL TOPOGRAPHIC SURVEY PERFORMED BY GRIGGS QUADERER INC. IN SEPTEMBER OF 2021. THE UNDERGROUND UTILITIES SHOWN WERE EITHER VERIFIED BY THIS SURVEY OR WERE OBTAINED FROM THE BEST AVAILABLE DOCUMENT INFORMATION. NO GUARANTEES ARE GIVEN TO THE ACCURACY OF ALL UTILITIES SHOWN OR THAT ALL UTILITIES ARE INDICATED ON THIS DOCUMENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS BEFORE COMMENCING WORK AND TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
3. THE CONTRACTOR MUST OBTAIN A SOIL EROSION CONTROL PERMIT AND INSTALL EROSION CONTROL MEASURES AS INDICATED ON THESE DOCUMENTS PRIOR TO BEGIN OF DEMOLITION WORK. THESE CONTROL MEASURES SHALL CONFORM IN ALL RESPECT WITH THE MDO AND LOCAL GOVERNING AGENCY REQUIREMENTS.
4. CONTACT "MISS DIG" AT (811) A MINIMUM OF 3 WORKING DAYS PRIOR TO BEGIN OF DEMOLITION WORK.
5. CLEARING, GRUBBING, TOPSOIL REMOVAL AND STOCKPILING SHALL BE IN ACCORDANCE WITH THESE DOCUMENTS AND/OR THE PROJECT SPECIFICATIONS.
6. CONTRACTORS MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREA SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATIONS AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
7. PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS, FOR PUBLIC SAFETY, AND TRAFFIC CONTROL. BARRICADES SHALL BE PROVIDED IN ACCORDANCE WITH APPROPRIATE GOVERNING AGENCIES.
8. NO ATTEMPT IS MADE TO STIPULATE EVERY REQUIRED ITEM OF DEMOLITION EITHER ON THE DRAWINGS AND/OR IN SPECIFICATIONS. CONTRACTOR MUST VISIT AND STUDY PHYSICAL CONDITIONS OF SITE. REVIEW DRAWINGS AND REACH THEIR OWN CONCLUSIONS ON WORK NECESSARY TO ACCOMPLISH INTENDED RESULTS DESCRIBED BY DRAWINGS AND/OR SPECIFICATIONS.
9. PROVIDE CONSTRUCTION FENCING AROUND DRIP LINE OF TREES TO REMAIN WITHIN CONSTRUCTION AREA.
10. ALL DEMOLITION MATERIAL SHALL BE PROPERLY REMOVED FROM THE SITE AND DISPOSED OF IN A LEGALLY DESIGNATED DISPOSAL AREA. NO ON-SITE BURNING WILL BE ALLOWED. PERMITS AND FEES FOR DISPOSAL OF DEMOLITION MATERIAL SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
11. BACK FILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR IN ACCORDANCE WITH THESE DOCUMENTS AND/OR PROJECT SPECIFICATIONS.
12. COMPLETELY RESTORE ALL DISTURBED AREAS TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION AND TO THE SATISFACTION OF THE OWNER AND MUNICIPALITY. ALL COSTS FOR CLEAN-UP, RESTORATION WORK AND OTHER IMMEDIATE OPERATIONS SUCH AS, BUT NOT LIMITED TO, CONSTRUCTION SIGNAGE, STREET SWEEPING, AND MAINTAINING EXISTING UTILITIES SHALL BE THE CONTRACTORS RESPONSIBILITY.
13. AT THE CONCLUSION OF THE DEMOLITION OPERATIONS, THE ENTIRE WORK AREA SHALL BE LEFT IN A CLEAN CONDITION AND ALL PROTECTIVE DEVICES AND BARRIERS SHALL BE REMOVED OFF-SITE.

DEMOLITION KEY:

- ASPHALT, CONCRETE, AND/OR GRAVEL REMOVAL
- CURB & WALL REMOVAL
- UNDERGROUND PIPE REMOVAL OR ABANDONMENT. REFER TO PLAN.
- 1 REMOVE EXISTING DRAINAGE STRUCTURE. SALVAGE FRAME & COVER FOR REUSE.
- 2 PROTECT EXISTING STORM SEWER STRUCTURE DURING CONSTRUCTION. DO NOT DISTURB.
- 3 PROTECT EXISTING COLUMNS FOR CANOPY. DO NOT DISTURB.
- 4 PROTECT EXISTING UTILITY POLE DURING CONSTRUCTION. DO NOT DISTURB.
- 5 REMOVE EXIST. GRAVEL BASE AND SLAVAGE FOR REUSE. CUT SUBGRADE TO ALLOW FOR NEW PAVEMENT SECTION AS SHOWN ON SHEET C200. REFER TO SHEET C300 FOR PROPOSED GRADES.

10TH ANNUARY 2004 - 2013

811 Know what's below. Call before you dig.

SCALE: 1"=20'

0 20 40 60

SOOTHING TUMS ROOM JAZZ CLUB
1408 HEMPHILL ROAD
BURTON, MI

Griggs Quaderer, Inc.
8308 OFFICE PARK DRIVE
GRAND BLANC, MI 48439
WWW.GQINCORP.COM
PH: (810) 685-0154
FX: (810) 685-0158

CIVIL ENGINEERING - LAND SURVEYING SITE PLANNING

10TH ANNUARY 2004 - 2013

SEAL
RUDY J. QUADERER
ENGINEER
NO. 088770
STATE OF MICHIGAN

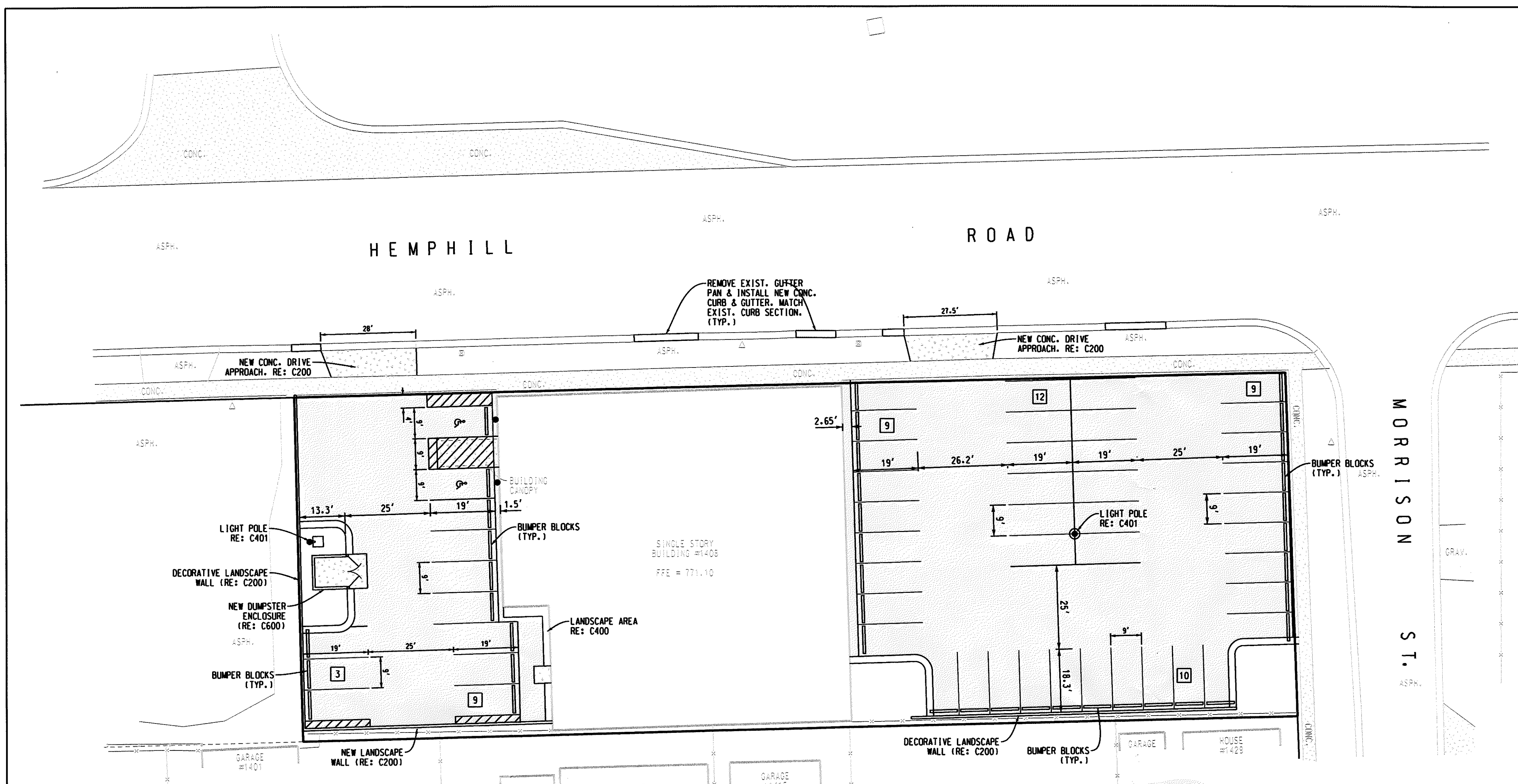
DESIGNED BY: BRZ/INSK
CHECKED BY: QUADERER
FIELD CREW: CB

DATE: 11-15-21
ISSUED TO: CITY OF BURTON
TOPOGRAPHIC SURVEY

NO. 10-05-21
DATE: 09-23-21
REVISION OR ISSUE

PHASE: SPA
JOB NO.: 210901
C101

SITE REMOVAL PLAN



- GENERAL NOTES:**
1. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM WITH THE REQUIREMENTS OF ALL GOVERNING AGENCIES HAVING JURISDICTION (LOCAL, COUNTY, STATE). UNLESS OTHERWISE NOTED, CONSTRUCTION MATERIALS SHALL COMPLY WITH THE LATEST EDITION OF THE STATE OF MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND PROJECT SPECIFICATIONS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, THE MOST STRINGENT SHALL APPLY.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR Dewatering TO ACCOMPLISH ALL WORK INDICATED ON PLANS AND TO PERFORM REQUIRED COMPACTION OPERATIONS. CONTRACTOR TO PROVIDE TESTING CONSULTANT TO VERIFY DENSITY REQUIREMENTS FOR SUBGRADE.
 3. PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS INCLUDING REQUIREMENTS SET FORTH BY OSHA SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
 4. NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED WITHIN THE ROAD RIGHT-OF-WAY.
 5. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREA SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
 6. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS AND TO THE SATISFACTION OF THOSE HAVING JURISDICTION.
 7. CONTRACTOR SHALL PULL EROSION CONTROL PERMIT FROM GOVERNING AGENCY AND SET TEMPORARY EROSION CONTROL MEASURES AS INDICATED ON THESE DOCUMENTS PRIOR TO BEGIN OF ANY DEMOLITION OR EARTHWORK.
 8. THE CONTRACTOR SHALL NOTIFY MISS DIG (811) THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WITH POWER EQUIPMENT.
 9. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL CONSTRUCTION LAYOUT AND GRADE ELEVATIONS FOR THEIR WORK IN ACCORDANCE WITH DATA SHOWN ON DOCUMENTS.
 10. VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER.
 11. ANY EXISTING UTILITIES SCHEDULED FOR ABANDONMENT ON THIS PROPERTY SHALL BE PROPERLY TERMINATED IN COMPLIANCE WITH LOCAL AND/OR COUNTY REGULATIONS AND COORDINATED WITH PRIVATE UTILITY COMPANIES (WHERE APPLICABLE).
 12. EXCAVATED AREAS WITHIN PROPOSED PAVEMENT AREAS SHALL BE BACKFILLED TO FINISHED SUBGRADE ELEVATION WITH STRUCTURAL FILL (MOOT CLASS 11 SAND). THE SAND SHALL BE COMPACTED IN CONTINUOUS LAYERS NOT EXCEEDING 8 INCH LOOSE LIFTS, COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ANSI/ASTM D 1557 MODIFIED PROCTOR.
 13. COORDINATES AND/OR DIMENSIONS SHOWN ON THIS DOCUMENT ARE TO BACK OF CURB, OUTSIDE FACE OF BUILDING FOUNDATIONS, EDGE OF PAVEMENT, CENTER OF STRUCTURE, CENTERLINE OF STRIPING UNLESS NOTED OTHERWISE.
 14. NO DIMENSIONS SHALL BE SCALED OFF THE DOCUMENTS. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.

PARKING DATA:			
USE	REQUIREMENTS	PARKING REQUIRED	PARKING PROVIDED
ESTABLISHMENT FOR SALE & CONSUMPTION OF BEVERAGES & FOOD	1 SPACE PER 100SF OF GFA = 4,078 / 100 =	41 SPACES	52 SPACES
WAREHOUSE/STORAGE	1 SPACE/2,000SF 3,652/2,000 =	2 SPACES	
BARRIER FREE	26 - 50 SPACES	2 SPACES	2 SPACES
TOTAL		43 SPACES	52 SPACES

PAVEMENT LEGEND:

ASPHALT PAVEMENT SECTION (ON-SITE) RE: C200

CONCRETE PAVEMENT SECTION RE: C200

TYPICAL PAVEMENT SECTION

WEARING COURSE - 1.5" MOOT 13A
LEVEL COURSE - 3" MOOT 3C
AGGREGATE BASE - 8" MOOT 21AA CRUSHED Limestone
CONTRACTOR TO REUSE EXIST. GRAVEL & SUPPLEMENT WITH NEW TO OBTAIN 8" AGGREGATE BASE COURSE.

NOTE: AS AN ALTERNATE, CONTRACTOR IS ALLOWED TO SUBSTITUTE MOOT 21AA CRUSHED CONCRETE FOR THE AGGREGATE BASE.

CONCRETE PAVEMENT SECTION

DESIGN:
DRIVE APPROACH 9" 8" YES
DUMPSTER ENCLOSURE 9" 6" YES
SIDEWALK 4" 4" YES

PAVEMENT (1)
BASE (B)
WIRE MESH

NO SCALE

DECORATIVE LANDSCAPE WALL DETAIL

NO SCALE

CURB & GUTTER DETAIL

PROVIDE CONTROL JOINTS AT 10 FEET MAXIMUM SPACING AND DOWELED EXPANSION JOINTS AT 100 FEET MAXIMUM INTERVALS AND AT RADIUS POINTS

NO SCALE ON-SITE ONLY

PRECAST CONCRETE BUMPER BLOCK

NO SCALE

811 Know what's below. Call before you dig.

Scale: 1"=20'

North Arrow

Griggs Quaderer, Inc.
8308 OFFICE PARK DRIVE
GRAND BLANC, MI 48439
WWW.GQINCORP.COM
PH: (810) 695-0154
FX: (810) 695-0158

CIVIL ENGINEERING · LAND SURVEYING
SITE PLANNING

SOOTHING TUMS ROOM
JAZZ CLUB
1408 HEMPHILL ROAD
BURTON, MI

PHASE 1
210901 SPA

C200

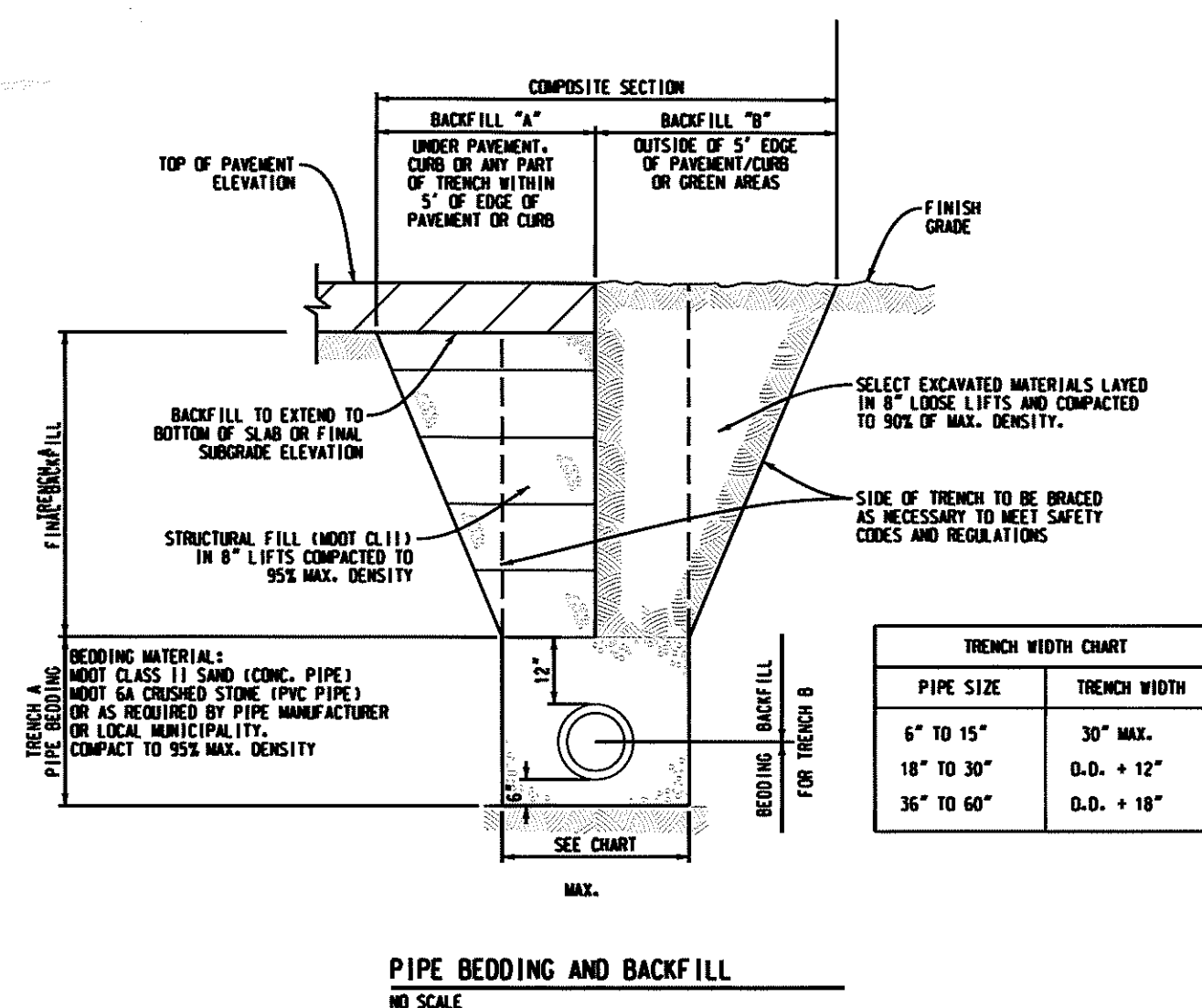
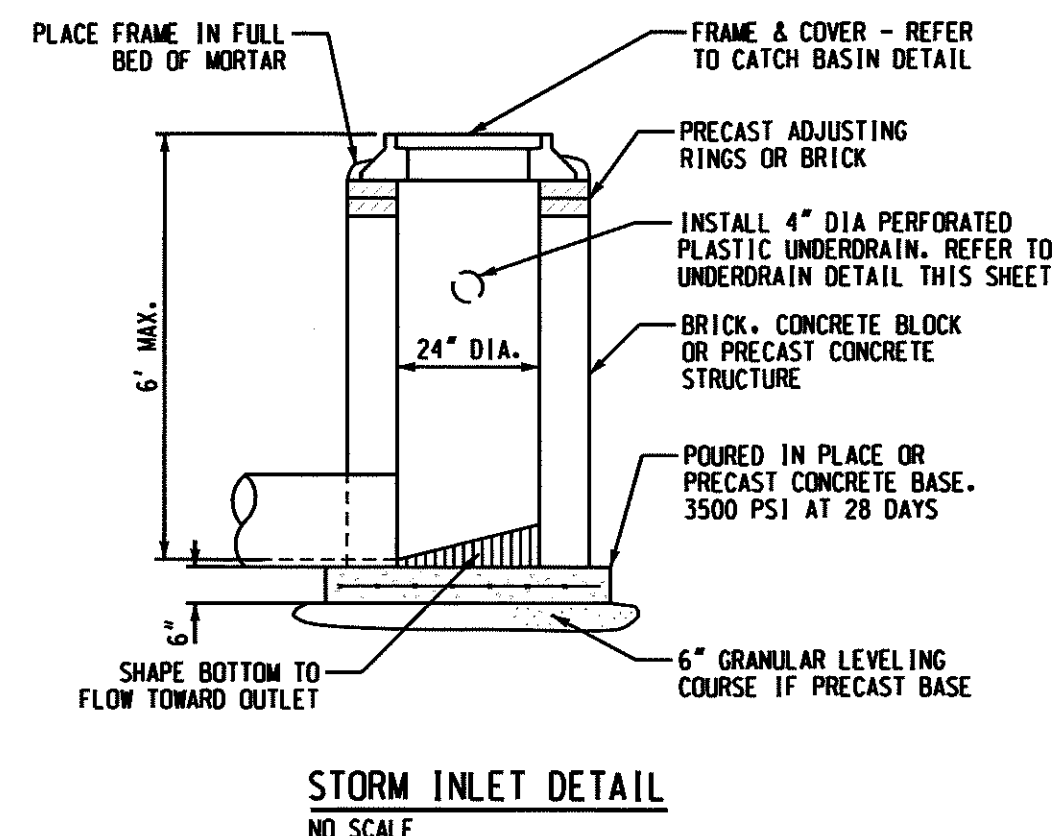
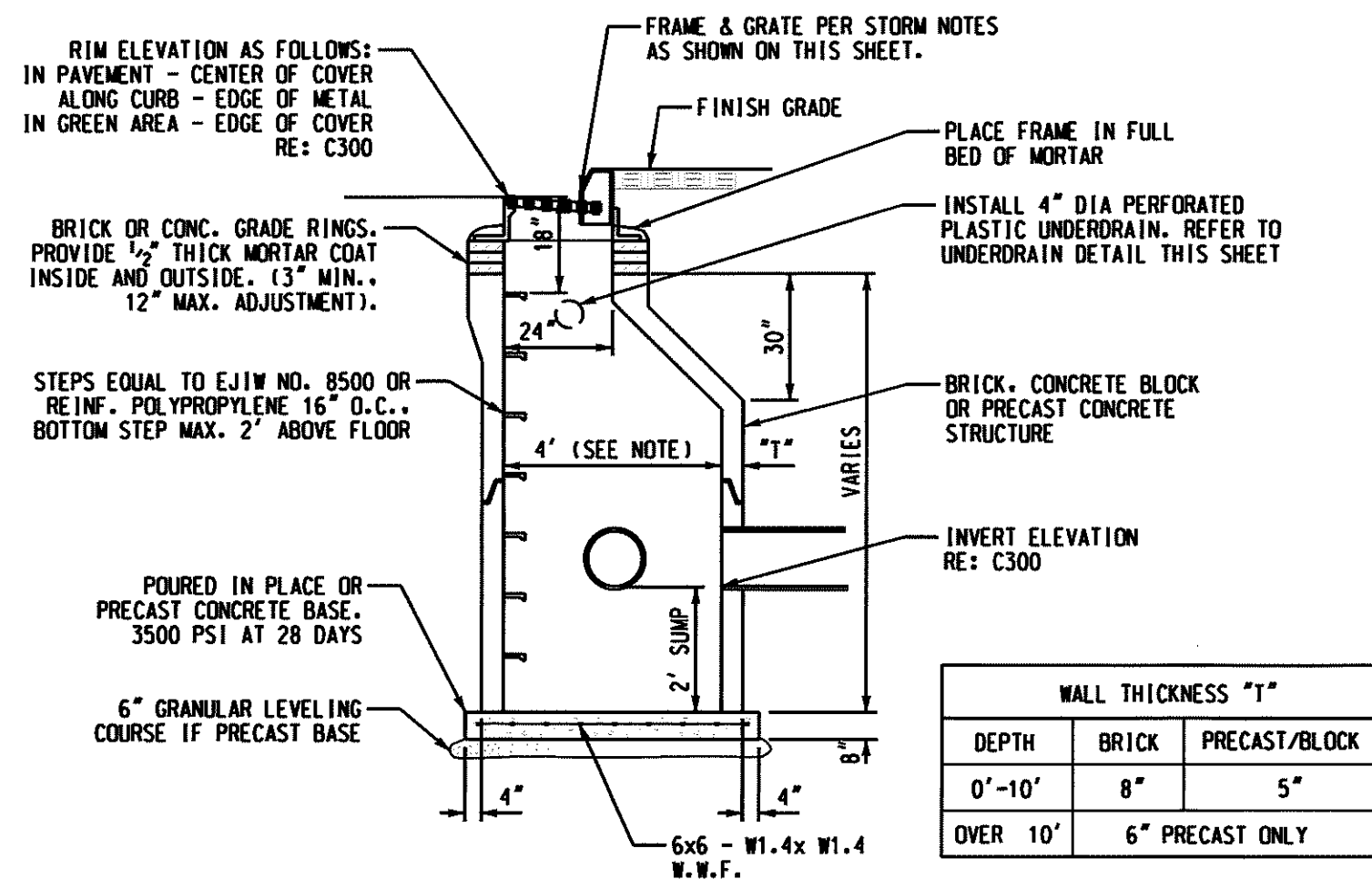
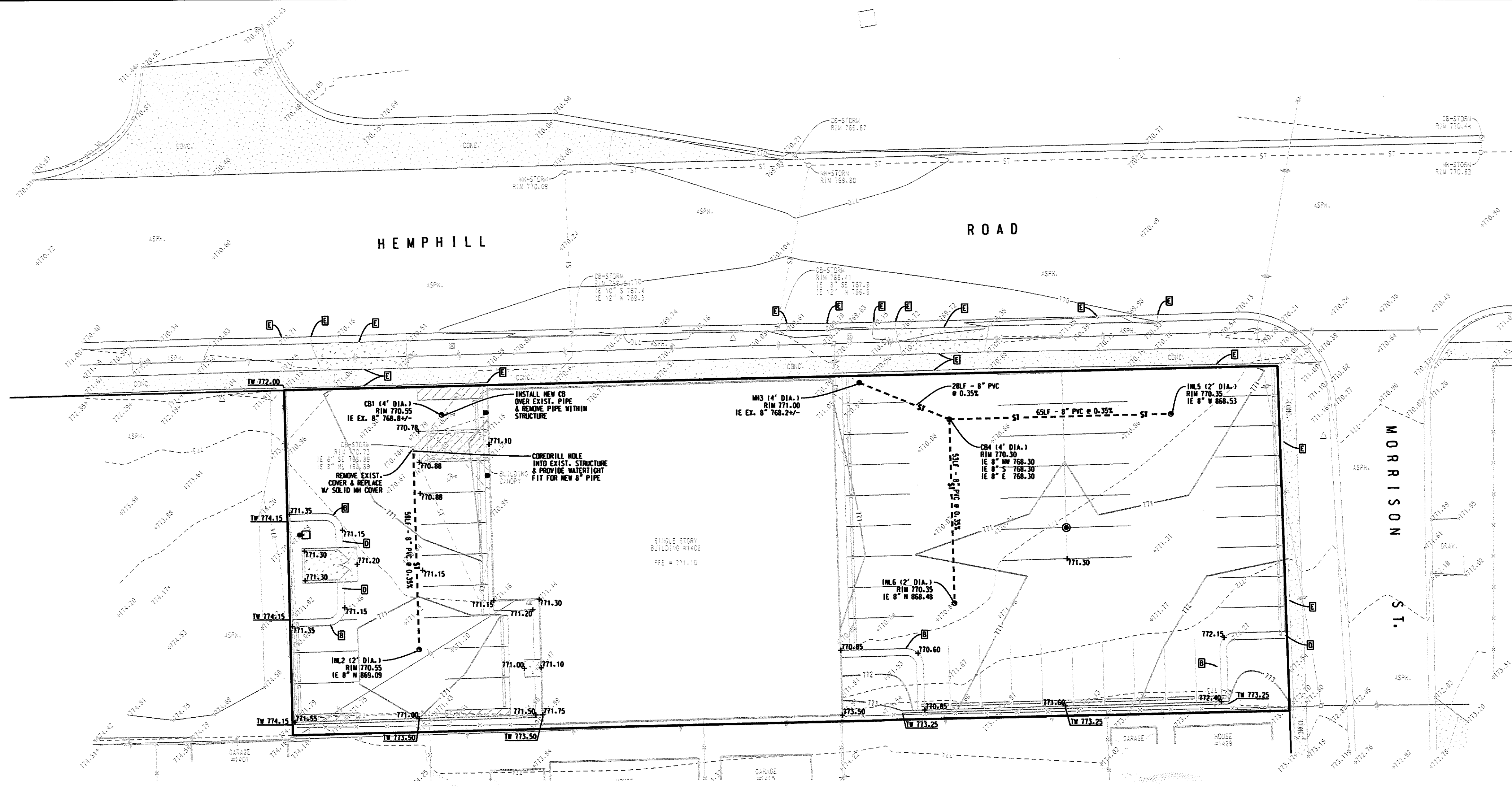
18th ANNIVERSARY
2004 - 2019

SEAL
RUDY J. QUADERER
ENGINEER
No. 0870
REGISTERED

REVISION OR ISSUE

NO.	DATE	SUBJECT
11-15-21	REISSUED TO CITY OF BURTON	
10-05-21	ISSUED TO CITY OF BURTON	
09-23-21	TOPOGRAPHIC SURVEY	

DRAWN MCHURD
DESIGNED BRZEZINSKI
CHECKED QUADERER
FIELD CREW CB



GRADING NOTES:

1. ALL PROPOSED SPOT ELEVATIONS IN PAVED AREAS ARE TO TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
TW - TOP OF WALL
2. CONTOURS SHOWN ARE FOR REFERENCE ONLY. BASE CONSTRUCTION EFFORTS ON PROPOSED SPOT ELEVATIONS ONLY.
3. "BARRIER FREE" PARKING AND SIDEWALK RAMP SHALL CONFORM IN ALL RESPECTS TO THE MICHIGAN ADA (AMERICANS WITH DISABILITIES ACT) REQUIREMENTS.
4. CONTRACTOR SHALL ADJUST ANY UTILITY ELEMENT/STRUCTURE MEANT TO BE FLUSH WITH GRADE (CLEAN OUT, VALVE BOXES, MANHOLES, CATCH BASINS, INLETS, ETC.) WHICH ARE AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT. NO ADDITIONAL COSTS FOR THIS WORK WILL BE ACCEPTED. THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FOR ADJUSTMENT AT THE CONTRACTOR'S EXPENSE.
5. CONTRACTOR IS RESPONSIBLE FOR CUT AND FILL QUANTITIES. ADDITIONAL COMPENSATION WILL NOT BE ACCEPTED FOR HAULING OF EXCESS AND BORROW MATERIAL TO AND FROM SITE AS WELL AS LABOR COSTS FOR PLACEMENT AND/OR REMOVAL. OFF-SITE BORROW MATERIAL MUST BE CLEAN COMPACTIBLE STRUCTURAL FILL MATERIAL (NO ORGANIC MATERIAL) WHICH WILL BE INSPECTED PRIOR TO USE FOR ON-SITE FILL MATERIAL.
6. SITE CONTRACTOR IS RESPONSIBLE TO PROVIDE A STABLE SUBGRADE AT DESIGN ELEVATIONS. ALL PAVED AREAS INCLUDING BUILDING PAD SHALL BE PROOFROLLED & COMPACTED TO MEET 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ANSI/ASTM D1557.
7. CONTRACTOR SHALL STORE SUFFICIENT TOPSOIL MATERIAL ON-SITE FOR RE-USE IN ALL DISTURBED GREEN AREAS AND NEW LANDSCAPE AREAS.
8. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER. MAINTAIN A MINIMUM SLOPE OF 1.00% IN ALL NEW BITUMINOUS AREAS.

STORM SEWER NOTES:

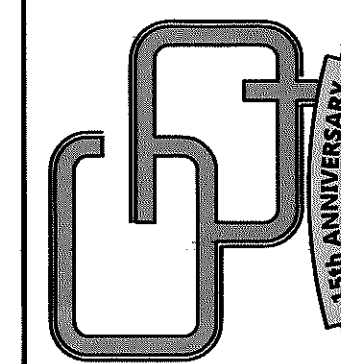
1. ALL MATERIALS SHALL COMPLY WITH MDOT STANDARD SPECIFICATIONS AND/OR LOCAL GOVERNING AGENCIES.
2. STORM SEWER CONVEYANCE:
STORM SEWER PIPE 10" AND SMALLER SHALL BE PVC SDR 26 OR AS REQUIRED BY LOCAL GOVERNING AGENCY.
3. STORM SEWER STRUCTURES:
REINFORCED CONCRETE IN CONFORMANCE WITH ASTM C478. DEPTH AS INDICATED ON DOCUMENTS. IF MASONRY STRUCTURES ARE ALLOWED, CONCRETE BLOCKS SHALL BE STANDARD 6"x 8"x 12" CURVED UNITS FOLLOWING ASTM C139. CONCRETE BRICK UNITS SHALL BE 2"x 4"x 8" AND FOLLOW ANSI/ASTM C55. GRADE N, TYPE 1.
4. FRAME & COVERS:
ALL CATCH BASINS & MANHOLES SHALL BE MANUFACTURED BY EAST JORDAN IRON WORKS (UNLESS ALTERNATE IS APPROVED BY ENGINEER)
-CATCH BASIN - PAVEMENT AREA - EJIW #1040 TYPE M1 GRATE
-MANHOLE - ALL AREAS - EJIW #1040 TYPE A SOLID COVER

CURB, GRADING & SIDEWALK RAMP NOTATIONS:

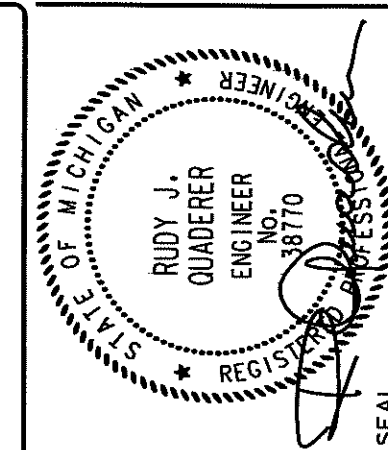
- A STANDARD CURB AND GUTTER
- B STANDARD CURB AND GUTTER WITH REVERSE SLOPE
- C 10 FOOT TRANSITION BETWEEN TYPE A AND TYPE B
- D 5 FOOT CURB END TRANSITION.
- E MATCH EXISTING PAVEMENT OR CURB ELEVATION.

SOOTHING TUMS ROOM
JAZZ CLUB
1408 HEMPHILL ROAD
BURTON, MI

Griggs Quaderer, Inc.
8308 OFFICE PARK DRIVE
GRAND BLANC, MI 48459
WWW.GQINCORP.COM
TEL: (810) 695-0158
FAX: (810) 695-0158



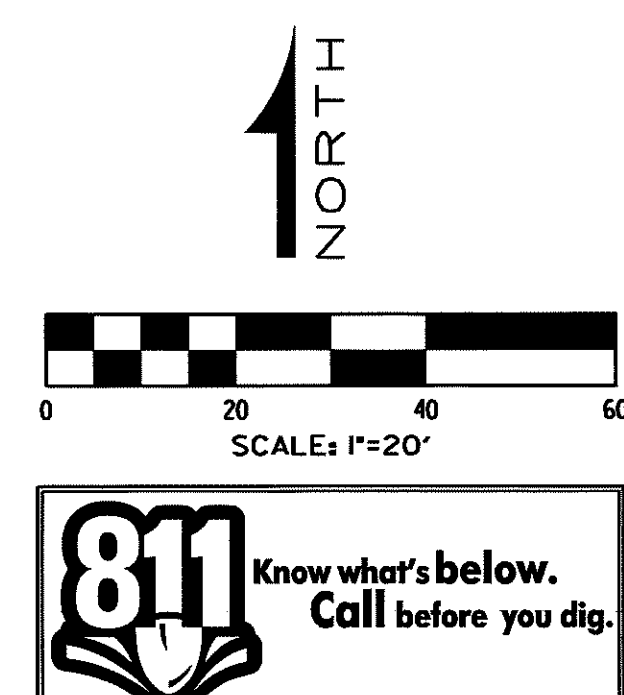
PHASE: SPA
JOB NO.: 210901
C300

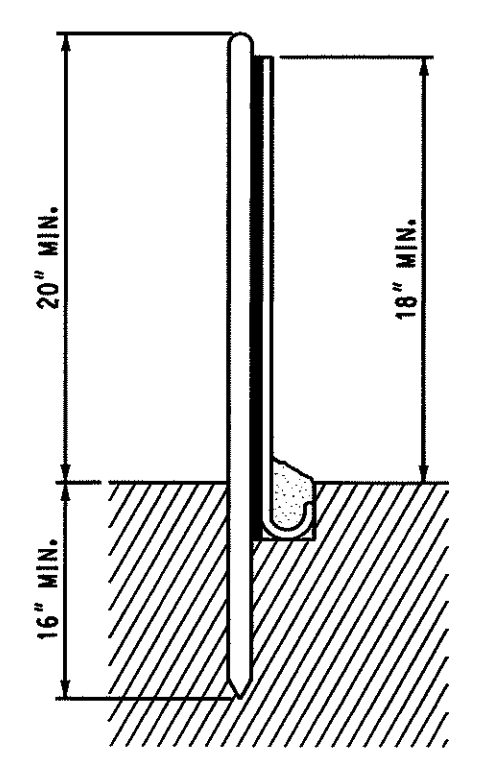
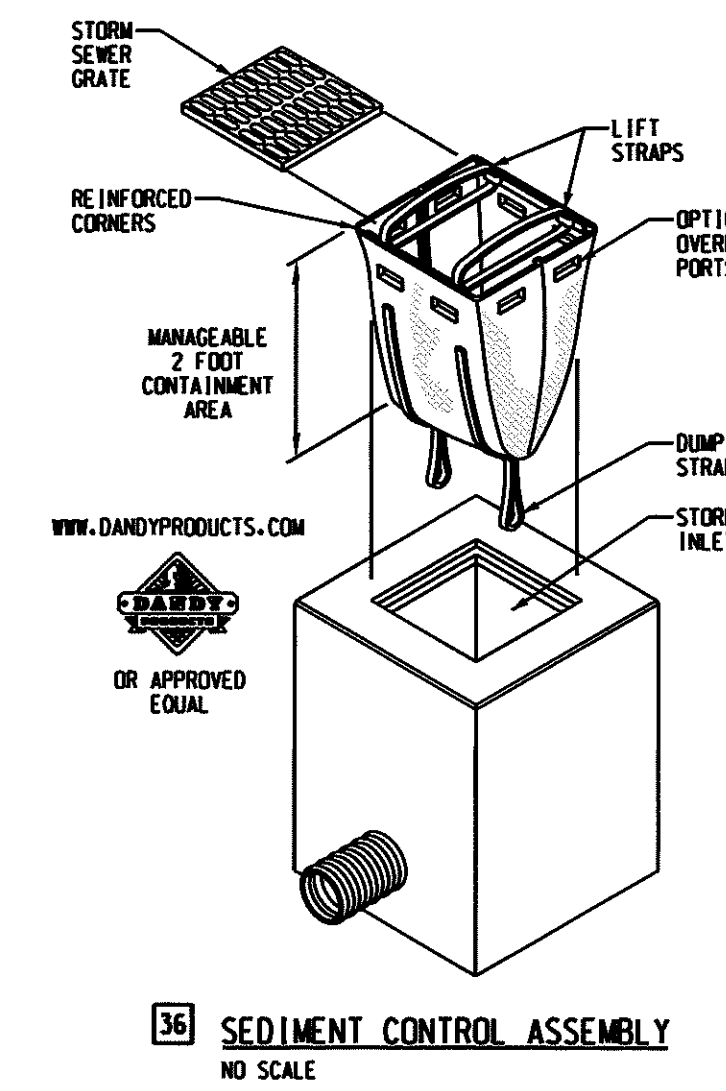
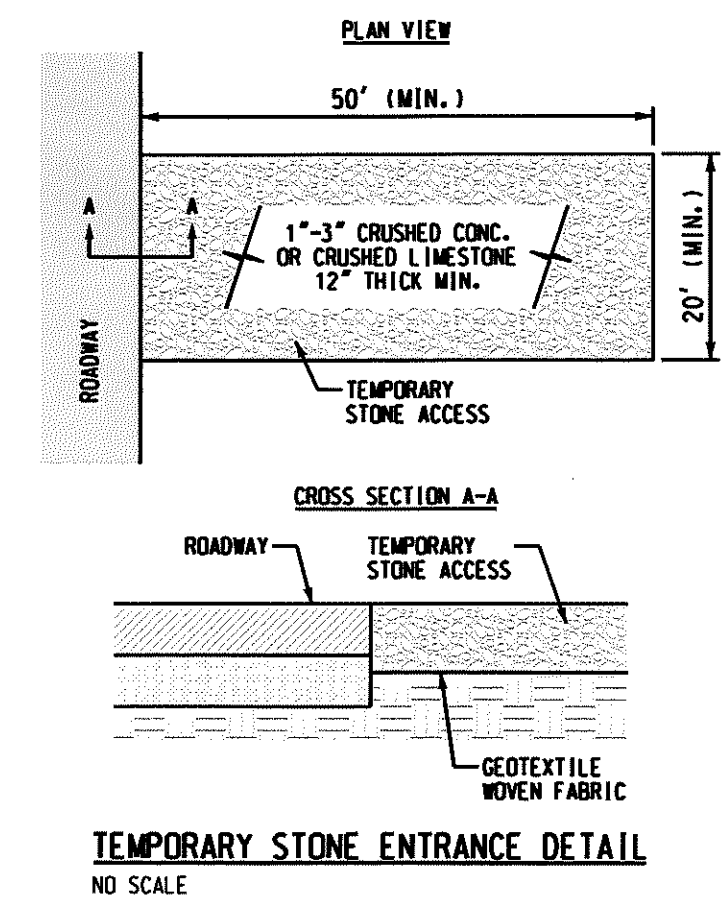
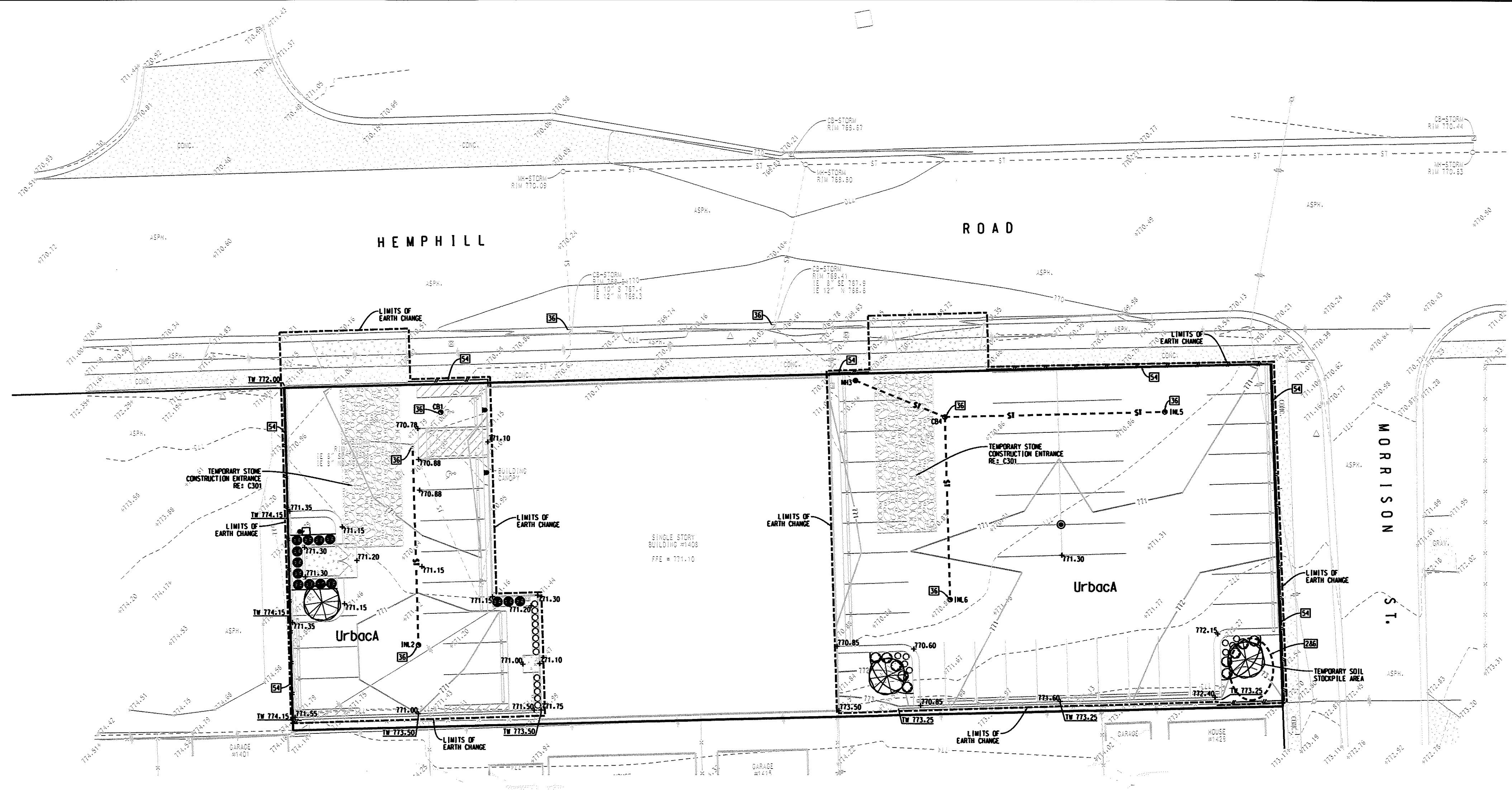


NO.	DATE	REVISION OR ISSUE
11-15-21	REISSUED TO CITY OF BURTON	
10-05-21	ISSUED TO CITY OF BURTON	
09-23-21	TOPOGRAPHIC SURVEY	

DRAWN	MCHURD
DESIGNED	BRZEZINSKI
CHECKED	QUADERER
FIELD CREW	CB

SITE GRADING & STORM SEWER PLAN





INSTALLATION:
DIG MINIMUM 6x6 INCH TRENCH WHERE FENCE IS TO BE INSTALLED.
DRIVE POST INTO UNDISTURBED SOIL UNTIL SUPPORT NETTING IS IN THE TRENCH.
PLACE FILL MATERIAL IN TRENCH ON FABRIC FLAP AND TAMP BY FOOT.
PERFORM MAINTENANCE AS NEEDED. REMOVE ACCUMULATED MATERIAL WHEN BULGES DEVELOP IN THE SILT FENCE.

LOCATION:
LOCATE SILTATION CONTROL FENCE TO INTERCEPT ALL SILT/WATER RUN-OFF FROM THE SITE.
SUFFICIENT EXTENSION OF EACH FENCE SECTION SHOULD BE INSTALLED (PREFERABLY UPHILL) TO ENSURE RUN-OFF WILL NOT GO AROUND THE ENDS.
A SERIES OF SILT FENCES MAY BE REQUIRED IF THERE IS A POSSIBILITY THAT THE VOLUME OF RUNOFF COULD FILL THE RETENTION AREA AND FLOW OVER THE FENCE.
CONSTRUCT A STONE FILTER BERM AT LOW POINTS OR OTHER LOCATIONS WHERE WATER WILL LEAVE THE SITE.

54 SILTATION CONTROL FENCE
NO SCALE

SOILS DATA

Urbaca URBAN LAND CROSIER COMPLEX.
0 TO 2 PERCENT SLOPES

EARTHWORK CUT & FILL QUANTITY

TOTAL CUT & FILL QUANTITY IS ESTIMATED AT 500 CY (TO BE VERIFIED BY CONTRACTOR). FILL MATERIAL WILL BE SUITABLE ON-SITE MATERIAL AND/OR MDOT 21AA AGGREGATE.

SOIL EROSION CONTROL NOTES:

1. THE DEVELOPER IS NOT REQUIRED TO OBTAIN A NPDES STORM WATER DISCHARGE PERMIT PRIOR TO ANY CONSTRUCTION ACTIVITIES.
2. THE DEVELOPER SHALL SUBMIT A DETAILED EROSION CONTROL PLAN AND OBTAIN AND ACT 451 PERMIT INCLUDING PAYMENT OF FEES AND PROVIDING THE NECESSARY BONDS FROM THE CITY OF BURTON. PRIOR TO ANY EARTH CHANGES.
3. CONSTRUCTION OPERATIONS SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING AND/OR GRADING OPERATIONS.
4. THE CONTRACTOR SHALL USE SPECIAL PRECAUTIONS WHEN USING CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
5. SITE CLEANUP WILL BE ACCOMPLISHED IN A MANNER TO INSURE THAT TEMPORARY EROSION CONTROL MEASURES ARE NOT DISTURBED.
6. THE PROJECT WILL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENT CONTROL COMPLIANCE. DEFICIENCIES SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS OF NOTIFICATION.
7. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE THROUGH SWALES OR OVERLAND SHEET FLOW OF THE ENTIRE SITE. SOIL SEDIMENT SHALL BE INTERCEPTED AND REMOVED PRIOR TO STORM WATER DISCHARGING FROM LIMITS OF CONSTRUCTION. NO STANDING WATER SHALL BE PERMITTED ON-SITE.
8. ALL GREEN AREAS DISTURBED SHALL BE PERMANENTLY STABILIZED (TOPSOIL, SEED & MULCH) IMMEDIATELY AFTER COMPLETION OF CONSTRUCTION TO MINIMIZE SOIL EROSION AND THE POTENTIAL OF SEDIMENT LEAVING SITE.

SESC MAINTENANCE SCHEDULE NOTES:

1. A CONTRACTOR/INSPECTOR SHALL INSPECT THE SOIL EROSION AND SEDIMENT CONTROL DEVICES ONCE A WEEK AND WITHIN TWENTY-FOUR (24) HOURS OF A PRECIPITATION EVENT WHICH RESULTS IN A STORM WATER DISCHARGE FROM THE SITE. A LOG OF INSPECTION REPORTS SHALL BE MAINTAINED AND ACCESSIBLE IN ACCORDANCE WITH NPDES REQUIREMENTS. IMPLEMENT THE FOLLOWING STEPS IF ANY DAMAGE HAS RESULTED FROM CONSTRUCTION OR PRECIPITATION.
2. CONSTRUCTION ACCESS ROADS (CLEAN STONE EXITS) MUST BE MAINTAINED AS NECESSARY. ADD ADDITIONAL STONE WHEN ACCESS ROAD BECOMES INEFFECTIVE DUE TO LOSS OF STONE OR WHEN COVERED WITH MUD.
3. SILTATION CONTROL FENCE SHOULD BE TRENCHED IN, BACKFILLED, STAPLED AND STAKED IN ACCORDANCE WITH DETAIL SHOWN ON DOCUMENT AND PER MANUFACTURER'S RECOMMENDATIONS. MAINTENANCE INCLUDES THE REMOVAL OF BUILT-UP SEDIMENT WHEN THE SEDIMENT ACCUMULATES TO 1/3 OF THE HEIGHT OF THE FENCE. CONTRACTOR MAY HAVE TO REMOVE, REPLACE, RETRENCH, OR RE-BACKFILL THE FENCE. IF IT FAILS, THE SILT FENCE SHALL ALSO BE REPLACED WITH NEW IF ANY PORTION OF THE FENCING WAS DAMAGED BY CONSTRUCTION MACHINERY.
4. INSPECT INLET FILTERS FOR BUILD-UP OF SILT AND OTHER DEBRIS. EXCESSIVE BUILD-UP IS EVIDENT IF GEOTEXTILE/STONE FILTER SYSTEM IS CAUSING FLOODING. MAINTENANCE CONSISTS OF REMOVING ALL SEDIMENT WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. IF INLET FILTER IS BEYOND THIS LEVEL OF REPAIR, IT MAY BE NECESSARY TO REPLACE BOTH THE STONE AND GEOTEXTILE FILTER FABRIC.
5. PREPARE EROSION CONTROL SEEDING ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR/INSPECTOR SHALL INSPECT THE AREA AFTER SEEDING IS COMPLETED. REPAIR AREAS THAT ARE BARE OR NOT MULCHED PROPERLY BY SPOT SEEDING AND/OR RE-MULCHING.
6. MAINTAIN DUST CONTROL AT ALL TIMES DURING CONSTRUCTION. SPRINKLING TANK TRUCKS SHALL BE AVAILABLE AT ALL TIMES AND USED ON HAUL ROADS, ON-SITE DISTURBED AREAS, OR OTHER PLACES WHERE DUST BECOMES A PROBLEM AS A RESULT OF CONSTRUCTION ACTIVITIES.
7. CONTRACTOR SHALL PROMPTLY REMOVE ALL MUD, DIRT AND DEBRIS TRACKED ONTO EXISTING ROADS FROM TRUCK TRAFFIC LEAVING THIS SITE.
8. REMOVE SILT DEPOSITS FROM TEMPORARY SEDIMENT TRAPS WHEN TRAP IS HALF FULL. CHECKDAMS (IF APPLICABLE) SHALL BE INSPECTED AFTER EVERY PRECIPITATION EVENT AND CLEANED IF STANDING WATER BEHIND DAMS IS EVIDENT.

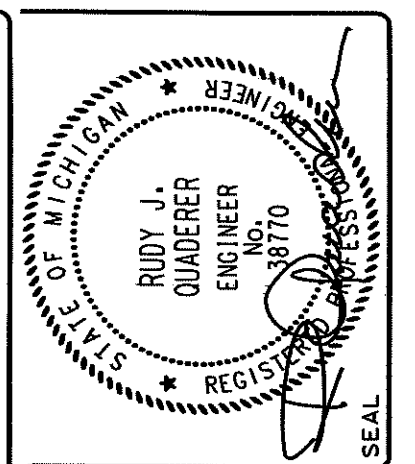
SOIL EROSION CONTROL MEASURES:

2	SELECTIVE GRADING & SHAPING	WATER CAN BE DIVERTED TO MINIMIZE EROSION. FLATTER SLOPES EASE EROSION PROBLEMS.
6	SEEDING WITH MULCH AND/OR MULCHING	FACILITATES ESTABLISHMENT OF VEGETATIVE COVER. EFFECTIVE FOR DRAINAGEWAYS WITH LOW VELOCITY. EASILY PLACED IN SMALL QUANTITIES BY INEXPERIENCED PERSONNEL. SHOULD INCLUDE PREPARED TOPSOIL BED.
36	CATCH BASIN/DRAIN INLET	COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF. USE FILTER SACK IN INLET.
54	SILT FENCE	USES GEOTEXTILE FABRIC AND POSTS OR POLES. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.

1 NORTH

0 20 40 60
SCALE: 1"=20'

811 Know what's below.
Call before you dig.



NO.	DATE	REVISION OR ISSUE
11-15-21	REISSUED TO CITY OF BURTON	
10-05-21	ISSUED TO CITY OF BURTON	
09-23-21	TOPOGRAPHIC SURVEY	
	SUBJECT	

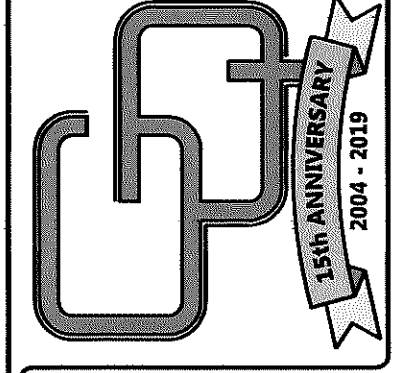
DRAWN	MCJURD
DESIGNED	BRZEZINSKI
CHECKED	QUADERER
FIELD CREW	CB

SOOTHING TUMS ROOM
JAZZ CLUB
1408 HEMPHILL ROAD
BURTON, MI

SOIL EROSION CONTROL PLAN

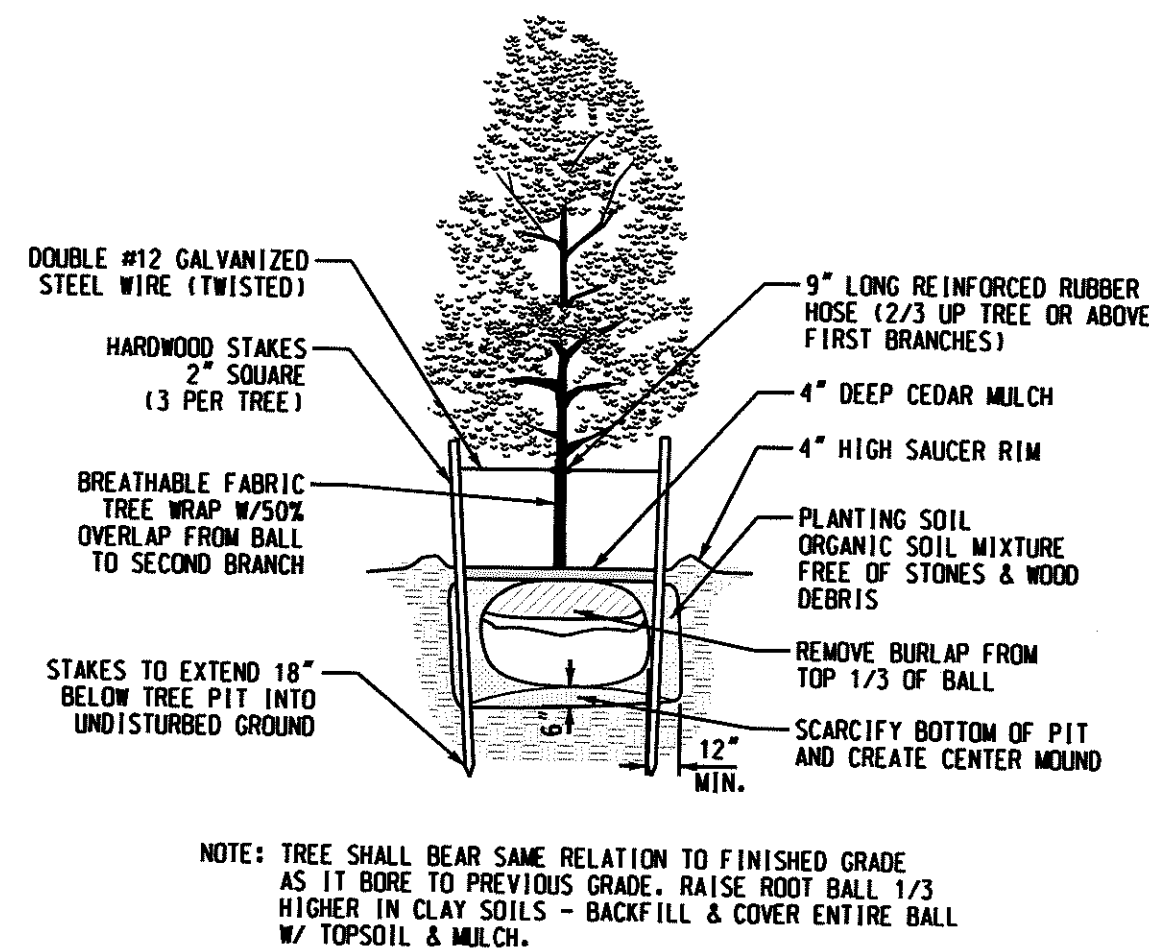
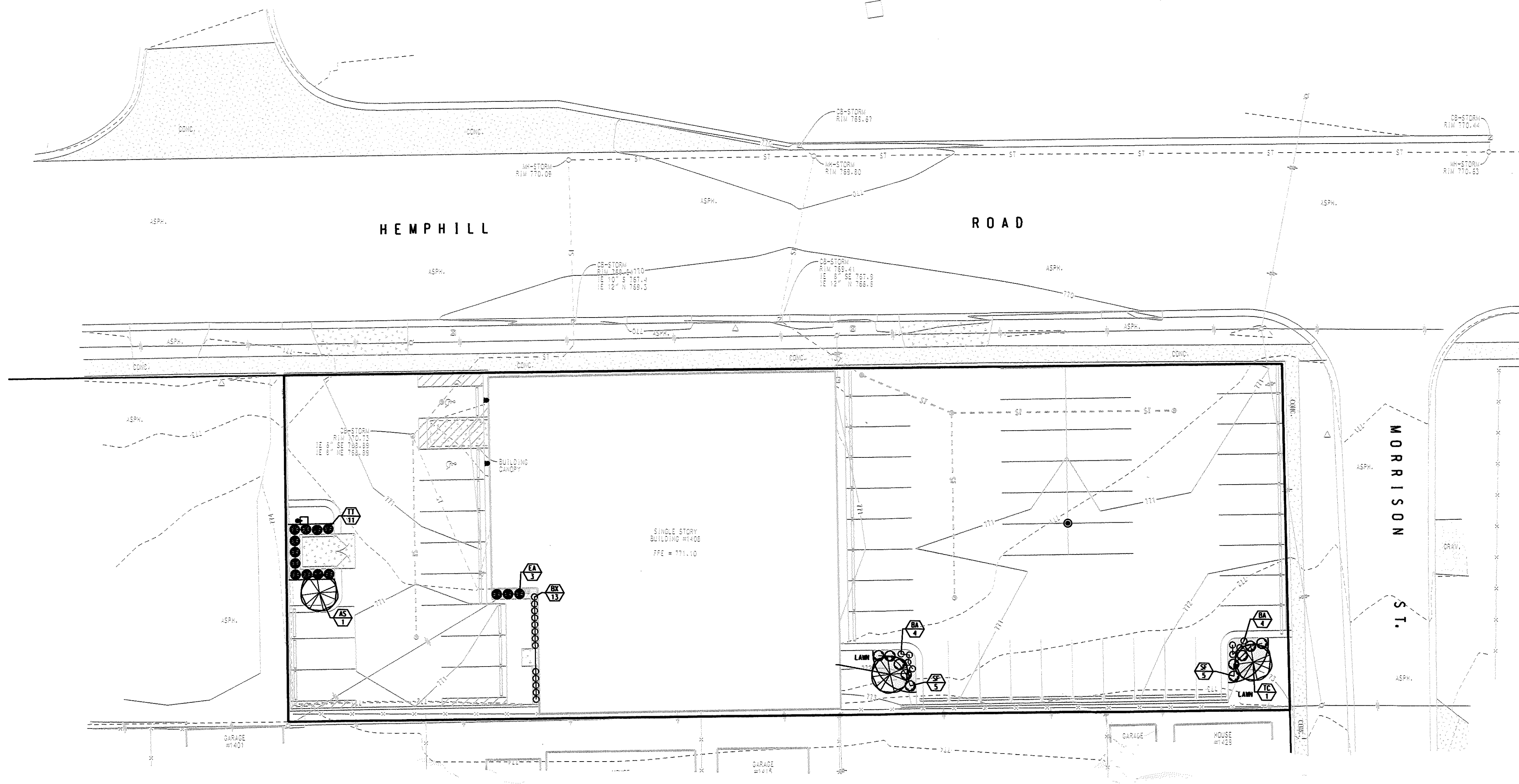
Griggs Quaderer, Inc.
WWW.GQINCORP.COM
8308 OFFICE PARK DRIVE
GRAND BLANC, MI 48439
PH: (810) 695-0154
FX: (810) 695-0158

CIVIL ENGINEERING - LAND SURVEYING
SITE PLANNING

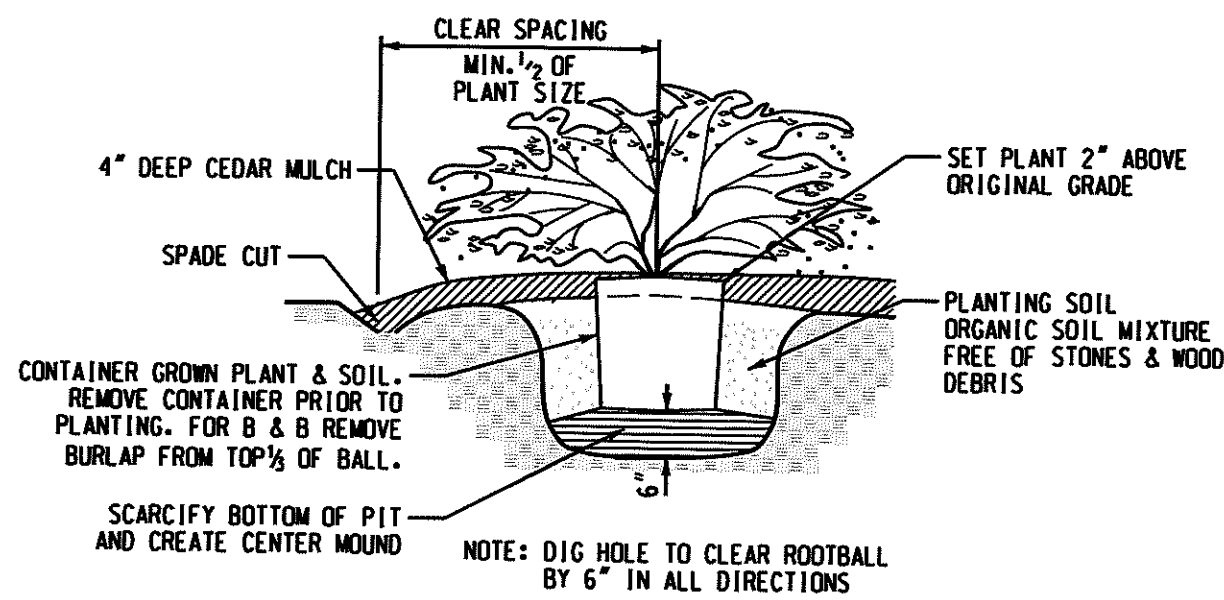


PHASE: 210901 SPA

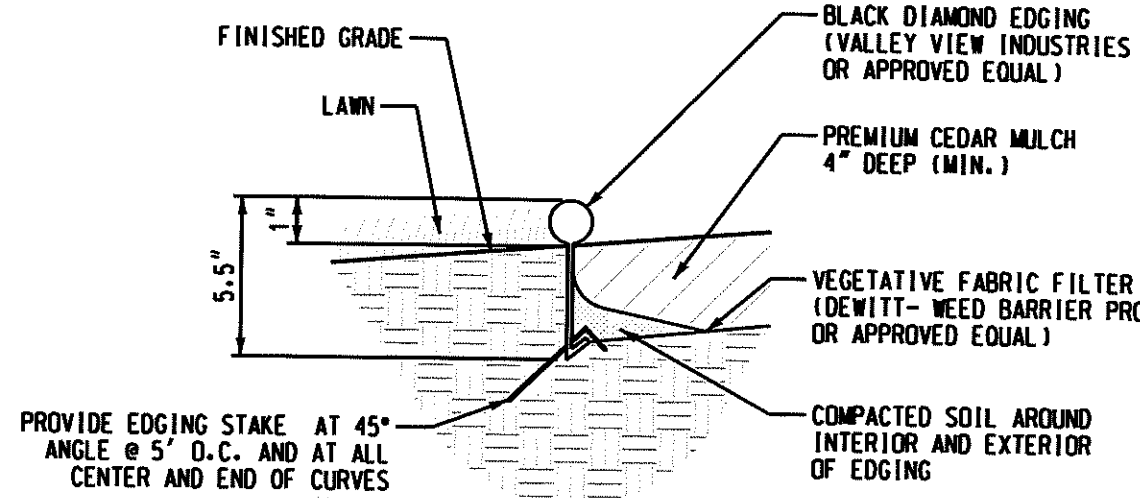
C301



TREE PLANTING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE



CEDAR MULCH AND EDGING DETAIL
NO SCALE

LANDSCAPING NOTES:

1. INSTALLATION OF PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS LATEST EDITION.
2. PRIOR TO BEGIN OF LANDSCAPE WORK, CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES. CONTRACTOR SHALL CONTACT MISS DIG (811) FOR LOCATIONS OF ALL PRIVATE UTILITIES. ANY DAMAGE OR INTERRUPTIONS OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE WORK CONDITIONS TO OWNER PRIOR TO COMMENCING WORK.
3. NUMERICAL VALUE OF PLANT MATERIAL SHOWN SHALL TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. VERIFY AND REPORT ANY DISCREPANCIES WITH LANDSCAPE ARCHITECT.
4. SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY THE MUNICIPALITY AND/OR GOVERNING AGENCY PRIOR TO COMMENCING.
5. NEW LANDSCAPE BEDS WITHIN PREVIOUS BUILDING AND PAVEMENT AREAS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR SOILS TO A MINIMUM DEPTH OF 24" AND BACKFILLED WITH GOOD MEDIUM TEXTURED ORGANIC PLANTING SOIL FREE OF ROCKS LARGER THAN 1".
6. PROTECT EXISTING TREES TO REMAIN WITH TEMPORARY FENCING PLACED AT THE DRIP LINE. NO GROUND DISTURBANCE OR STORAGE OF MATERIAL SHALL OCCUR WITHIN THE DRIP LINE LIMITS.
7. COORDINATE PLACEMENT OF PLANTS WITH UNDERGROUND UTILITY LOCATIONS. MAKE ADJUSTMENTS AS REQUIRED TO AVOID PLANTING OVER THE UTILITIES. DO NOT PLANT SHADE OR EVERGREEN TREES BELOW OVERHEAD WIRES. IF CONFLICT OCCURS, CONTACT LANDSCAPE ARCHITECT TO ADJUST LOCATION OF TREES.
8. BACKFILL ISLANDS FROM SUBGRADE TO THE TOP OF CURB WITH ON-SITE TOPSOIL UNLESS OTHERWISE NOTED ON PLAN. FINISHED GRADE IN CENTER OF ISLAND SHALL BE 4" TO 6" HIGHER THAN TOP OF CURB TO PROVIDE POSITIVE DRAINAGE TO PERIMETER OF CURB ISLAND.
9. PLACE 4" THICK BY 4' DIAMETER SHREDDED CEDAR OR CYPRESS BARK MULCH RING AT THE BASE OF ALL NEW TREES IN LAWN AREA. CUT LAWN AREA IN A SMOOTH UNIFORM CIRCULAR LINE.
10. ALL GREEN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE GRADED AND TOPPED WITH MINIMUM 4" DEEP TOPSOIL AND SEEDED & MULCHED. REFER TO PLAN FOR SEED MIXTURE AND APPLICATION RATE.
11. ALL EXISTING TREES AND SHRUBS NOTED TO REMAIN SHALL BE PROPERLY PRUNED, TRIMMED, THINNED AND SHAPED BY A QUALIFIED NURSERYMAN OR ARBORIST. ALL DEAD LIMBS AND BRANCHES SHALL BE REMOVED FROM SITE.
12. UNLESS NOTED OTHERWISE, LANDSCAPE BEDS ADJACENT TO LAWN AREAS SHALL RECEIVE LANDSCAPE EDGING AS DETAILED ON PLAN.
13. ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF COMPLETION OF BUILDING.
14. ALL STAKING MATERIALS AND WRAPPING SHALL BE REMOVED OFF SITE WITHIN ONE YEAR AFTER INSTALLATION.
15. LANDSCAPING ITEMS SHALL NOT INTERFERE WITH THE CLEAR VISION AREAS. TREES WITHIN PARKING LOT ISLANDS SHALL HAVE A CLEAR VIEW OF 4'-6" MINIMUM TO THE FIRST BRANCH AT MATURITY.
16. ALL PLANT MATERIALS INCLUDING LAWN AREAS SHALL BE WATERED, FERTILIZED, TRIMMED, MOVED AND GENERALLY MAINTAINED BY THE CONTRACTOR IN A HEALTHY GROWING CONDITION FOR A PERIOD OF 30 DAYS AFTER FINAL COMPLETION AND AFTER LAWN IS CUT FOR FIRST TIME. CONTRACTOR SHALL SUBMIT A ONE (1) YEAR WARRANTY FROM COMPLETION DATE AND BE RESPONSIBLE TO REPLACE ANY DISEASED OR DEAD PLANT MATERIAL WITHIN THAT PERIOD OF TIME WITHOUT ANY COST TO THE OWNER.

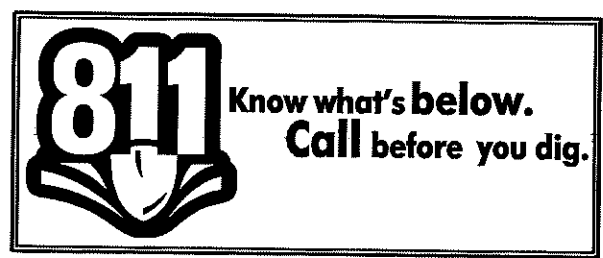
TREE SCHEDULE				
KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
AS	ACER SACCHARUM 'COMMEMORATION'	COMMEMORATION SUGAR MAPLE	2.5" CAL	2
TC	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2.5" CAL	1

SHRUB SCHEDULE				
KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
BA	BERBERIS ATROPURPUREA 'CRIRUZAM'	CRIMSON RUBY BARBERRY	18" HT	8
BX	BUXUS X 'GREEN GEM'	GREEN GEM BOXWOOD	ND, 3 CONT	13
EA	EUONYMUS ALATUS 'COMPACTUS'	COMPACT BURNING BUSH	24" HT	3
SF	SPIREA JAPONICA 'GOLDMOUND'	GOLD MOUND SPIREA	ND, 3 CONT	10
TT	THUJA OCCIDENTALIS 'MISSION'	TECHNY ARBOVITAE	5' HT	11

SEED MIXTURE #1 LAWN AREA			
COMMON NAME	PROPT BY WGT.	PERCENT OF PURITY	PERCENT GERMINATION
KENTUCKY BLUE GRASS	20%	97%	80%
RED FESCUE	60%	97%	80%
PERENNIAL RYE GRASS	20%	97%	80%
TOTAL SEEDING RATE:	100%	8 LBS./1000 SQ. FT.	

LEGEND:

- AREA TO BE MULCHED
- PLANT DESIGNATION & QUANTITY OF SPECIE



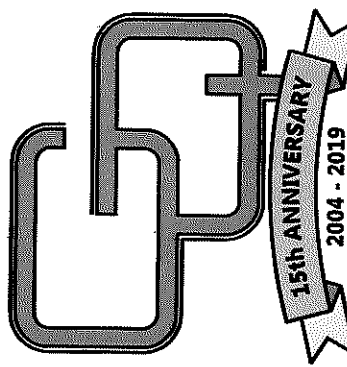
SOOTHING TUMS ROOM
JAZZ CLUB

1408 HEMPHILL ROAD
BURTON, MI

Griggs Quaderer, Inc.

8308 OFFICE PARK DRIVE
GRAND BLANC, MI 48439
PH: (810) 695-0154
FX: (810) 695-0156

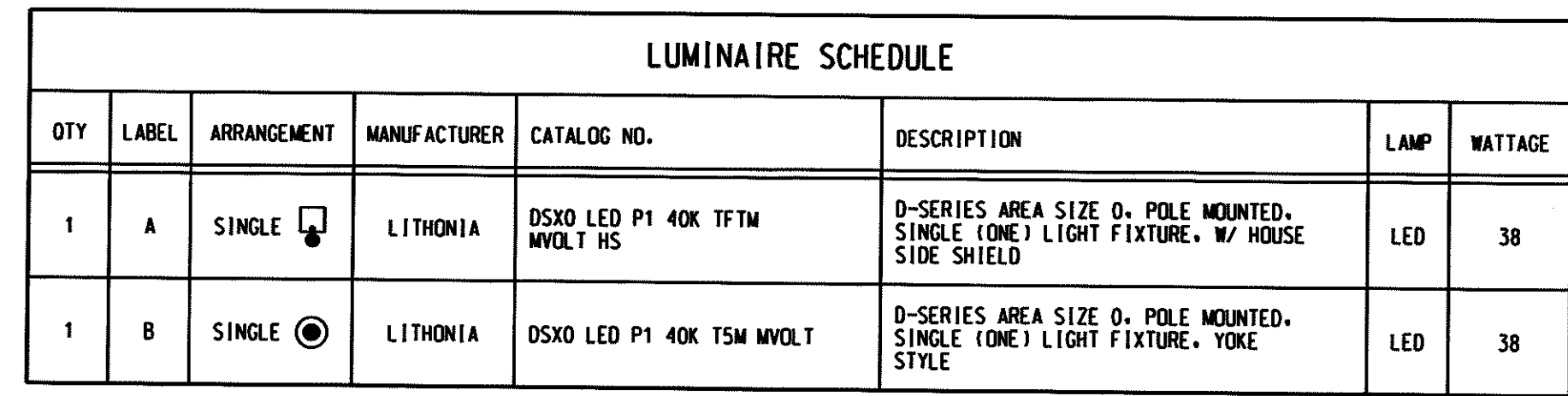
CIVIL ENGINEERING - LAND SURVEYING
SITE PLANNING



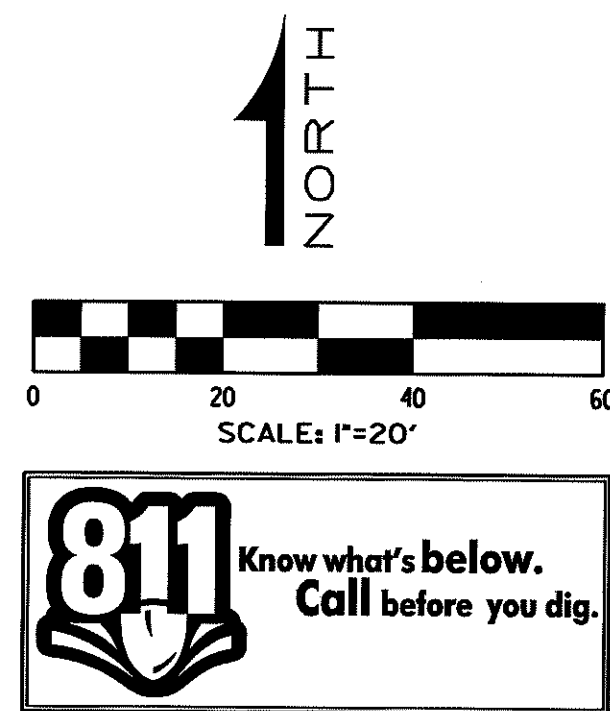
JOB NO. 1
210901

SPA

C400



A diagram of a fixture, which is a rounded rectangle. An arrow points from the top-left corner of the fixture to the label "B-20'". Two arrows point from the bottom-left corner of the fixture to the labels "FIXTURE TYPE" and "FIXTURE HEIGHT".



LITHONIA LIGHTING
One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8041 • www.lithonia.com
© 2011-2012 Anasty Brands Lighting, Inc. All rights reserved.

Packet Pg. 64



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5330)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.13

DOC ID: 5330

SPR #21-54

By: Duane Damon
1356 Connell St., Burton, MI

Re: 4178 S. Saginaw St., Burton, MI
Parcel ID 59-31-527-031

For: Change of Ownership – Office for Finish Line Seamless Gutters LLC

ATTACHMENTS:

- Backup SPR 21-54 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 10.20.2021

SPR #: 21-54

FEE: 75

PLEASE PRINT

DATE: 10.19.2021

APPLICANTS NAME: Duane Damon

APPLICANTS ADDRESS: 1356 Connell St.

APPLICANTS PHONE NO: 810-~~880~~ 836-3136

APPLICANTS EMAIL: FinishLineSeamlessGuttersLLC@gmail.com

PROPOSED NAME OF BUSINESS: Finish Line Seamless Gutters LLC

SITE ADDRESS: 4178 S. Saginaw street Burton MI

PARCEL NUMBER: 59-31-527-031

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: Office

SQ FOOTAGE OF PROPERTY: ~~10000~~

SQ FOOTAGE OF STRUCTURE: 1,200

NUMBER OF EMPLOYEES/SEATS: 1

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: *Duane Damon*

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 21-54 (5330 : SPR #21-54)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5331)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.14

DOC ID: 5331

SPR #21-55

By: Becky Vanevery
G3490 S. Saginaw St., Burton, MI

Re: G3499 S. Saginaw St., Burton, MI
Parcel ID 59-29-555-104, 59-29-555-105, 59-29-555-106

For: New Business, Wins Electric Supply

ATTACHMENTS:

- Backup SPR 21-55 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 10/21/2021

FEE: 75

SPR #: 21-55

PLEASE PRINT

DATE: October 21, 2021

APPLICANTS NAME: Becky Vanover

APPLICANTS ADDRESS: 4349 S. Saginaw St Burton, MI 48529

APPLICANTS PHONE NO: 810-744-2889

APPLICANTS EMAIL: Wins.becky@gmail.com

PROPOSED NAME OF BUSINESS: Wins Electric Supply

SITE ADDRESS: 4349 S. Saginaw St

PARCEL NUMBER: 59-29-555-105, 59-29-555-104, 59-29-555-106

TYPE: ☐ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: Electrical Supplies

SQ FOOTAGE OF PROPERTY: #104 = 14637 #105 = 6318 #106 = 4600

SQ FOOTAGE OF STRUCTURE: 19,000

NUMBER OF EMPLOYEES/SEATS: 5

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: Becky Vanover

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 21-55 (5331 : SPR #21-55)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5332)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.15

DOC ID: 5332

SPR #21-56

By: Robert Spangler
P.O. Box 90257 Burton, MI

Re: 2268 Center Rd., Burton, MI
Parcel ID 59-21-529-081

For: New Business, Office for Georgie Mac LLC

ATTACHMENTS:

- Backup SPR 21-56 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 10-27-2021

FEE: 75

SPR #: 21-56

PLEASE PRINT

DATE: 10/27/21

APPLICANTS NAME: Robert Spangler

APPLICANTS ADDRESS: P.O. Box 90257 Burton 48509

APPLICANTS PHONE NO: 810 - 348 - 5826

APPLICANTS EMAIL: RSPANG1007@AOL.COM

PROPOSED NAME OF BUSINESS: Georgie Mac LLC

SITE ADDRESS: 2268 Center Rd Burton

PARCEL NUMBER: _____

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: office

SQ FOOTAGE OF PROPERTY: 15,000 ft.

SQ FOOTAGE OF STRUCTURE: 5,000 ft.

NUMBER OF EMPLOYEES/SEATS: 4

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: Robert Spangler

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 21-56 (5332 : SPR #21-56)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5333)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.16

DOC ID: 5333

SPR #21-57

By: Amanda Snider
11429 Dixie Hwy., Holly, MI

Re: 5515 Davison Rd., Ste. 1, Burton, MI
Parcel ID 59-02-577-081

For: New business, shake and tea shop- Rooted Nutrition

ATTACHMENTS:

- Backup SPR 21-57 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ZONING REVIEW

DATE FILED: 11-2-2021

FEE: 75

SPR #: 21-57

PLEASE PRINT

DATE: 11-2-2021

APPLICANTS NAME: Amanela Snider

APPLICANTS ADDRESS: 11429 Dixie Hwy Holly Mi 48442

APPLICANTS PHONE NO: (907)-280-9201

APPLICANTS EMAIL: Amanela Snider 1995@yahoo.com

PROPOSED NAME OF BUSINESS: Rooted Nutrition

SITE ADDRESS: 5515 Dawson Rd. Burton Mi 48509
Suite #11

USE OF STRUCTURE: Shake and Tea Shop

SQ FOOTAGE OF PROPERTY: 1500

SQ FOOTAGE OF STRUCTURE: 20,000

NUMBER OF EMPLOYEES/SEATS: 2

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: Amanela Snider

*** ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

Attachment: Backup SPR 21-57 (5333 : SPR #21-57)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5334)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.17

DOC ID: 5334

SPR #21-58

By: Tasha Shelton
3825 Kent St.

Re: G4449 S. Saginaw Ste.C , Burton, MI
Parcel ID 59-32-552-012

For: New business, Tbella Boutique

ATTACHMENTS:

- Backup SPR 21-58 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR ZONING REVIEW

DATE FILED: 11-3-21

FEE: 75 40.00

SPR #: 21-58

PLEASE PRINT

DATE: 11/3/21

APPLICANTS NAME: Tasha Shelton

APPLICANTS ADDRESS: 3823 Kent St.

APPLICANTS PHONE NO: (810) 624-9577

APPLICANTS EMAIL: tasha.shelton263@gmail.com

PROPOSED NAME OF BUSINESS: Tella

SITE ADDRESS: G-4449 S. Saginaw St.

USE OF STRUCTURE: _____

SQ FOOTAGE OF PROPERTY: _____

SQ FOOTAGE OF STRUCTURE: _____

NUMBER OF EMPLOYEES/SEATS: 0

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: Tasha Shelton

*** ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

Attachment: Backup SPR 21-58 (5334 : SPR #21-58)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5335)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.18

DOC ID: 5335

SPR #21-59

By: Lance Redlich
5199 Wyndemere Sq., Swartz Creek, MI

Re: 4277 S. Saginaw St., Burton, MI
Parcel ID 59-32-552-001

For: New Business, retail – Cash USA

ATTACHMENTS:

- Backup SPR 21-59 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 11-8-21

FEE: 75

SPR #: 21-59

PLEASE PRINT

DATE: 11-1-21

APPLICANTS NAME: LANCE REDLICH

APPLICANTS ADDRESS: 5199 WYNDEMERE SQ S.C. MI 48473

APPLICANTS PHONE NO: 810-955-1510

APPLICANTS EMAIL: LREDLICH33@AOL

PROPOSED NAME OF BUSINESS: CASH USA

SITE ADDRESS: 4277 SAGINAW ST.

PARCEL NUMBER: 59-32-552-001

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: RETAIL

SQ FOOTAGE OF PROPERTY: 193 x 100 (.443 ACRES)

SQ FOOTAGE OF STRUCTURE: 3.600

NUMBER OF EMPLOYEES/SEATS: 3

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: Lance Redlich

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 21-59 (5335 : SPR #21-59)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5336)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.19

DOC ID: 5336

SPR #21-60

By: Kerry L. Horton
7530 Paradise Dr., Grand Blanc, MI

Re: 3300 S. Center Rd., Burton, MI
Parcel ID 59-28-576-042

For: New Business, Bri'elle's Learning Palace Child Care Center

ATTACHMENTS:

- Backup SPR 21-60 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 11-11-2021

SPR #: 21-60

FEE: 75.00

PLEASE PRINT

DATE: 11/9/2021

APPLICANTS NAME: Kerry L. Horton

APPLICANTS ADDRESS: 7530 Paradise Dr. Grand Blanc 48439

APPLICANTS PHONE NO: (810) 875-8285

APPLICANTS EMAIL: kerryhorton@yahoo.com

PROPOSED NAME OF BUSINESS: Bri'elle's Learning Palace Child Care Center

SITE ADDRESS: 3300 S. Center Rd.

PARCEL NUMBER: _____

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: Child Care Center

SQ FOOTAGE OF PROPERTY: 103,934 sq. ft.

SQ FOOTAGE OF STRUCTURE: 3700 sq. ft.

NUMBER OF EMPLOYEES/SEATS: Approx. 10

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: [Signature]

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 21-60 (5336 : SPR #21-60)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5337)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.20

DOC ID: 5337

SPR #21-61

By: Vishal Nayak
6272 Opal Ln., Grand Blanc, MI

Re: 3020 E. Atherton Rd., Burton, MI
Parcel ID 59-28-501-185

For: New Business, Pharmacy – Burton Pharmacy

ATTACHMENTS:

- Backup SPR 21-61 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ZONING REVIEW

DATE FILED: 11.15.21

SPR #: 21-661

FEE: 75

PLEASE PRINT

DATE: 11-15-2021

APPLICANTS NAME: Vishal Nayak

APPLICANTS ADDRESS: 6272 Opel In. Grand Blanc MI-48439

APPLICANTS PHONE NO: 810-429-0198

APPLICANTS EMAIL: Burtonpharmacy2021@gmail.com

PROPOSED NAME OF BUSINESS: Burton Pharmacy

SITE ADDRESS: 3020 East Atherton Road, Burton MI-48529

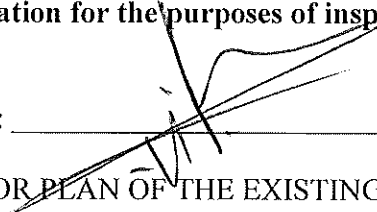
USE OF STRUCTURE: Pharmacy

SQ FOOTAGE OF PROPERTY: 10000 + Sq. Ft

SQ FOOTAGE OF STRUCTURE: 2000 Sq. Ft

NUMBER OF EMPLOYEES/SEATS: 2

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: 

*** ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

Attachment: Backup SPR 21-61 (5337 : SPR #21-61)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5338)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.21

DOC ID: 5338

SPR #21-62

By: Shrader Tire and Oil Inc.
2045 W. Sylvania Ave., Toledo, OH

Re: 4145.5 Davison Rd., Burton, MI
Parcel ID 59-03-300-060

For: New Business, Shrader Tire and Oil Inc.

ATTACHMENTS:

- Backup SPR 21-62 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 11-19-21

FEE: \$ 75.00

SPR #: 21-62

PLEASE PRINT

DATE: November 15, 2021

APPLICANTS NAME: Shrader Tire & Oil, Inc.

APPLICANTS ADDRESS: 2045 W. Sylvania Avenue, Toledo, OH 43613

APPLICANTS PHONE NO: 419-472-2128

APPLICANTS EMAIL: tony.romano@shrader.biz

PROPOSED NAME OF BUSINESS: Shrader Tire & Oil, Inc.

SITE ADDRESS: 4145.5 Davison Road, Burton, MI

PARCEL NUMBER: 59-03-300-060

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: Tire sales and servicing, and light trailer repair

SQ FOOTAGE OF PROPERTY: Parcel 59-03-300-060

SQ FOOTAGE OF STRUCTURE: 8,005

NUMBER OF EMPLOYEES/SEATS: 6

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: Anthony Romano

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 21-62 (5338 : SPR #21-62)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5339)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.22

DOC ID: 5339

SPR #21-63

By: Jennings Harper
607 E. Second Ave., Apt. 706, Flint, MI

Re: 24274 E. Judd Rd., Burton, MI
Parcel ID 59-32-527-004

For: New Business, Indoor Skateboard Park – Brush Alley Skate Park & Shop

ATTACHMENTS:

- Backup SPR 21-63 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 11-30-2021

SPR #: 21-63

FEE: 75

#5339

PLEASE PRINT

DATE: _____

APPLICANTS NAME: Jennings Harper

APPLICANTS ADDRESS: 607 E. Second Ave. Apt. 706 Flint, Mi 48502

APPLICANTS PHONE NO: (810) - 309 - 7641

APPLICANTS EMAIL: jennings.harper@brushalley.skateshop.com

PROPOSED NAME OF BUSINESS: Brush Alley Skatepark & Shop

SITE ADDRESS: 2427 E. Judd rd Burton, Mi 48529

PARCEL NUMBER: _____

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: SKateboard Park/Indoor

SQ FOOTAGE OF PROPERTY: _____

SQ FOOTAGE OF STRUCTURE: 13,020

NUMBER OF EMPLOYEES/SEATS: 5 employees

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: *Jennings Harper*

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 21-63 (5339 : SPR #21-63)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5340)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.23

DOC ID: 5340

SPR #21-64

By: Luis Ledesma
6695 River Rd.

Re: 3416 S. Saginaw St, Burton, MI
Parcel ID 59-14-526-012

For: New Business, office for L & L interior Glass Designer

ATTACHMENTS:

- Backup SPR 21-64 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR ZONING REVIEW

DATE FILED: 12-2-2021

FEE: 75

SPR #: 21-64

PLEASE PRINT

DATE: 12-2-21

APPLICANTS NAME: LUIS LEDESMA

APPLICANTS ADDRESS: 6695 RIVER RD

APPLICANTS PHONE NO: 810 484 7018

APPLICANTS EMAIL: SIS2682@HotMail.com

PROPOSED NAME OF BUSINESS: LPL INTERIOR GLASS DESIGNER

SITE ADDRESS: 3416

USE OF STRUCTURE: OFFICE

SQ FOOTAGE OF PROPERTY: 2000

SQ FOOTAGE OF STRUCTURE: 2500

NUMBER OF EMPLOYEES/SEATS: 1

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: [Signature]

*** ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

Attachment: Backup SPR 21-64 (5340 : SPR #21-64)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5341)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.24

DOC ID: 5341

SPR #21-65

By: Richard Blain
3530 Arlene Ave., Flint, MI

Re: 5501 Lapeer Rd., Burton, MI
Parcel 59-14-526-012

For: New Business, Retail – King Cycle

ATTACHMENTS:

- Backup SPR 21-65 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR ZONING REVIEW

DATE FILED: 12-3-2021

FEE: 75

SPR #: 21-45

PLEASE PRINT

DATE: 12/2/2021

APPLICANTS NAME: Richard Blain

APPLICANTS ADDRESS: 3530 Arlene Av Flint Mi 48503

APPLICANTS PHONE NO: (810) 874-8681

APPLICANTS EMAIL: Rich.Blain@yahoo.com

PROPOSED NAME OF BUSINESS: King Cycle

SITE ADDRESS: 5501 LAPEER RD Burton MI 48502

USE OF STRUCTURE: Retail

SQ FOOTAGE OF PROPERTY: 561

SQ FOOTAGE OF STRUCTURE: 2627

NUMBER OF EMPLOYEES/SEATS: 1

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: Richard Blain

*** ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

Attachment: Backup SPR 21-65 (5341 : SPR #21-65)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5342)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.25

DOC ID: 5342

SPR #21-66

By: Deshra Vines-Leak
9508 Woodmont Dr., Grand Blanc, MI

Re: 5210 Lapeer Rd., Burton, MI
Parcel ID 59-14-553-026

For: New Business, Adult residential care facility – Precious Places LLC DBA D&D Senior Living

ATTACHMENTS:

- Backup SPR 21-66 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 12-9-21

FEE: 75

SPR #: 21-66

PLEASE PRINT

DATE: 12/08/21

APPLICANTS NAME: Deshra Vines-Leak

APPLICANTS ADDRESS: 9508 Woodmont DR Grand Blanc, MI 484

APPLICANTS PHONE NO: 419-410-9438

APPLICANTS EMAIL: juines2003@yahoo.com

PROPOSED NAME OF BUSINESS: Precious Places, LLC d/b/a D+D Senior Living

SITE ADDRESS: 5210 Lapeer RD Burton MI 48519

PARCEL NUMBER: _____

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: Adult Residential care facility for seniors

SQ FOOTAGE OF PROPERTY: Unknown at this time under construction

SQ FOOTAGE OF STRUCTURE: Unknown at this time under construction

NUMBER OF EMPLOYEES/SEATS: 8-16 (5-awake shifts at capacity)
(2-sleeping shifts at capacity)

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: Deshra Vines-Leak 12/08/21

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 21-66 (5342 : SPR #21-66)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5343)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.26

DOC ID: 5343

SPR #21-67

By: Carrie Kittle
4309 Pebble Creek Blvd., Grand Blanc, MI

Re: 4309 Pebble Creek Blvd., Grand Blanc, MI
Parcel 59-35-578-049

For: Home Occupation, Salon/Barbershop

ATTACHMENTS:

- Backup SPR 21-67 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 12-10-21

FEE: 75.00

SPR #: 21-67

PLEASE PRINT

DATE: 12-10-2021

APPLICANTS NAME: Carrie Kittle

APPLICANTS ADDRESS: 4309 Pebble Creek Blvd Grand Blanc 48439

APPLICANTS PHONE NO: 810-287-6056

APPLICANTS EMAIL: CarrieKittle@comcast.net

PROPOSED NAME OF BUSINESS: Indulgence Salon

SITE ADDRESS: 4309 Pebble Creek Blvd Grand Blanc 48439

PARCEL NUMBER: 59-35-578-049

TYPE: ☐ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: Salon (barbershop)

SQ FOOTAGE OF PROPERTY: _____

SQ FOOTAGE OF STRUCTURE: 2060

NUMBER OF EMPLOYEES/SEATS: 1

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: Carrie Kittle

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 21-67 (5343 : SPR #21-67)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5344)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.27

DOC ID: 5344

SPR #21-68

By: Brandy Balsbough
1810 Ramsay Blvd.

Re: G-4243 S. Saginaw St., Burton, MI
Parcel ID 59-32-503-006

For: New Ownership, Classics Bar

ATTACHMENTS:

- Backup SPR 21-68 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 12-14-2021

FEE: 75

SPR #: 21-68

PLEASE PRINT

DATE: 12-2-21

APPLICANTS NAME: Brandy Balsbaugh

APPLICANTS ADDRESS: 1810 Ramsay Blvd

APPLICANTS PHONE NO: 810 525 5070

APPLICANTS EMAIL: bz.classicsbar@gmail.com

PROPOSED NAME OF BUSINESS: Classics Bar

SITE ADDRESS: 6-4243 S. Saginaw St Burton

PARCEL NUMBER: _____

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: Bar

SQ FOOTAGE OF PROPERTY: _____

SQ FOOTAGE OF STRUCTURE: 2,664

NUMBER OF EMPLOYEES/SEATS: Employees/6 Seats/111

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: Brandy Balsbaugh

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Backup SPR 21-68 (5344 : SPR #21-68)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5345)

Meeting: 04/12/22 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Leandra Swayne

Department Head: Charles Abbey

H.28

DOC ID: 5345

SPR #21-69

By: Holly Dubis
4199 Davison Rd., Ste. A, Burton, MI

Re: 4199 Davison Rd., Ste. E, Burton, MI
Parcel ID 59-03-300-062

For: New Certification for used and wholesale auto sales

ATTACHMENTS:

- Backup SPR 21-69 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ZONING REVIEW

DATE FILED: 12-16-2021

FEE: 40

SPR #: 21-69

PLEASE PRINT

DATE: 12-16-21

APPLICANTS NAME: Hollydubois Bestcar Company Importing

APPLICANTS ADDRESS: 4199 Davison Rd Ste A Burton, MI 48504

APPLICANTS PHONE NO: 810-241-1162 (cell) 810-713-3892 (office)

APPLICANTS EMAIL: Hollydubois16@gmail.com

PROPOSED NAME OF BUSINESS: Certified Auto House LTD

SITE ADDRESS: 4199 Davison Rd Ste E Burton, MI 48509

USE OF STRUCTURE: Used and Wholesale Auto Sales

SQ FOOTAGE OF PROPERTY: 235 x 900

SQ FOOTAGE OF STRUCTURE: 50 x 80

NUMBER OF EMPLOYEES/SEATS: 15

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: Holly Dubois

*** ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

Attachment: Backup SPR 21-69 (5345 : SPR #21-69)



Burton Planning Commission
4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 5346)

Meeting: 04/12/22 05:00 PM
Department: Department of Public Works
Category: Administrative Site Plan Review
Prepared By: Leandra Swayne
Department Head: Charles Abbey

H.29

DOC ID: 5346

SPR #21-70

By: Kwang Chun Yu
4306 Pinehurst Ln., Grand Blanc, MI

Re: 3009 S. Dort Hwy., Burton, MI
Parcel ID 59-28-501-185

For: New Business, Retail – Great Beauty Inc.

ATTACHMENTS:

- Backup SPR 21-70 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR ZONING REVIEW

DATE FILED: 12-20-21

FEE: \$1 40.00

SPR #: 21-70

PLEASE PRINT

DATE: 12-20-2021

APPLICANTS NAME: KWANG CHUN YU

APPLICANTS ADDRESS: 4306 PINEHURST LN GRAND BLANC, MI 48137

APPLICANTS PHONE NO: 810-223-7238

APPLICANTS EMAIL: ICC4U2003@gmail.com

PROPOSED NAME OF BUSINESS: GREAT BEAUTY INC

SITE ADDRESS: 3009 S. DOW HIGHLAND

USE OF STRUCTURE: RETAIL BEAUTY SUPPLY

SQ FOOTAGE OF PROPERTY: 4800 SQ FT BEAUTY SUPPLY

SQ FOOTAGE OF STRUCTURE: _____

NUMBER OF EMPLOYEES/SEATS: 2

I hereby certify that the proposed application is authorized by the owner of record and that I have been authorized by the owner to make this application as his agent. I agree the statements made on the attached application are true, and if found not to be true, any permit that may be issued may be void. Further, I agree to give permission to officials of the City of Burton to enter the property subject to this permit application for the purposes of inspections.

APPLICANTS SIGNATURE: Kc Yu

*** ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

Attachment: Backup SPR 21-70 (5346 : SPR #21-70)