



CITY OF BURTON
BURTON PLANNING COMMISSION MEETING
DECEMBER 11, 2018
AGENDA

Council Chambers

Regular Meeting

5:00 PM

4303 S. CENTER ROAD
BURTON, MI 48519

A. PLEDGE OF ALLEGIANCE

B. ROLL CALL

C. STAFF PRESENT

D. APPROVAL OF MINUTES

1. Planning Commission - Regular Meeting - Nov 13, 2018 5:00 PM

E. SPECIAL USE

1. SPR #18-53

By: AEY Capital, LLC.
34841 Mound Road Ste 297
Sterling Heights, MI 48310

Re: 1076 S. Belsay Rd. Burton, MI 48509
59-14-526-035 (pending split) C-2 Zone

For: Special use to conduct a medical marijuana provisioning facility

F. ADMINISTRATIVE SITE PLAN REVIEW

1. SPR #18-52

By: Gregory Fenner
4071 S. Saginaw St.
Burton, MI 48529

Re: 4071 S. Saginaw St. Burton, MI 48529
59-32-501-005 / C-2 Zone

For: Flower shop

2. SPR #18-54

By: AEY Capital, LLC.
34841 Mound Road Ste 297
Sterling Heights, MI 48310

Re: 1076 S. Belsay Rd. Burton, MI 48509

59-14-526-035 (pending split)

For: Medical Marijuana Provisioning Facility

3. SPR #18-55

By: Cornelius Hollis
7360 Crystal Lake Apt# 8
Swartz Creek, MI 48473

Re: 1394 E. Bristol Rd. Burton, MI 48529

For: Salon

4. SPR #18-56

By: City of Burton
4303 S. Center Rd.
Burton, MI 48519

Re: 4024 Atherton Rd. Burton, MI 48519
59-27-100-008

For: Construction less than 2% - Detached garage for storage only

G. AUDIENCE PARTICIPATION

Now is the time set-aside for members of the audience to address the Burton Planning Commission. I would ask each individual to give their name and address for the record and to limit their comments to three (3) minutes and to speak on the topics germane to City business.

H. BOARD DISCUSSION

1. Master Plan Update

**THE NEXT REGULARLY SCHEDULED MEETING WILL BE HELD ON TUESDAY,
JANUARY 8, 2019 AT 5:00 PM.**

I. AGENDA ITEMS



CITY OF BURTON

BURTON PLANNING COMMISSION MEETING

NOVEMBER 13, 2018

MINUTES

Council Chambers
Regular Meeting
5:00 PM

**4303 S. CENTER ROAD
BURTON, MI 48519**

This meeting was opened by Commissioner Robert Johnson at 5:00 PM.

A. PLEDGE OF ALLEGIANCE

Mr. Johnson stated he would like to take a moment of reflection for those who have been in danger throughout the last couple of weeks in California. Please take your own personal moment of silence for them.

B. ROLL CALL

Attendee Name	Title	Status	Arrived
Vaughn Smith	Councilman	Present	
Kevin Burge	Vice Chair	Excused	
Mary Ann White	Commissioner	Excused	
Tom Gorang	Commissioner	Present	
Deb Walton	Chairperson	Excused	
John Benthall	Commissioner	Present	
Kris Johns	Commissioner	Present	
Robert Johnson	Commissioner	Present	

C. STAFF PRESENT

Amber Abbey, Planning/Zoning
Racheal Boggs, Deputy Clerk

D. APPROVAL OF MINUTES

1. Planning Commission - Regular Meeting - Oct 9, 2018 5:00 PM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Vaughn Smith, Councilman
SECONDER:	Tom Gorang, Commissioner
AYES:	Smith, Gorang, Benthall, Johns, Johnson
EXCUSED:	Burge, White, Walton

E. SITE PLAN REVIEW

1. SPR #18-50

By: First Response Restoration, LLC. (Amber Taylor, PM
4268 N. Linden Rd.
Flint, MI 48504

Re: 1270 S. Belsay Rd. Burton, MI 48509
59-14-526-015 / C-2 General Business

For: Addition to the building

Kurt Neiswender with Sedgewick & Ferweda Architects is here on behalf of the applicant, Amber Taylor of First Response Restoration. He stated this is for Bentley Florist on Belsay Road. They want to put an addition on to enclose the new walk-in cooler on the north east corner of the building. We will be matching the existing conditions of the building. This should not affect the parking count. There is an existing greenhouse that will be demolished and replaced with this new permanent addition to the building. The client has a seasonal business and they have had to park temporary cooler trucks in the parking lot at times when it is busy. This addition would minimize the impact to the parking lot and public circulation.

Mrs. Abbey stated the administration recommends approval.

RESULT:	CARRIED [UNANIMOUS]
MOVER:	John Benthall, Commissioner
SECONDER:	Vaughn Smith, Councilman
AYES:	Smith, Gorang, Benthall, Johns, Johnson
EXCUSED:	Burge, White, Walton

2. SPR #18-51

By: Titan Properties, LLC.
9572 Shelby Dr.
White Lake, MI 48386

Re: 4086 S. Dort Hwy. Burton, MI 48529
59-32-530-057 / M-1 Zoned

For: Expansion of existing facility with two new buildings

Steven Goff of White Lake stated with the expansion of this we are looking to continue the development of the vacant land between Diamond Jim's and Krauss Fire. We have an existing building there that is 1200 square feet where we operate an escape room. We are looking to add two manufacturing buildings one of roughly 15,000 square feet and the second of 3,000 square feet. This property has sat vacant for around 20 years prior to our purchase of it four years ago.

Mrs. Abbey stated the County Land Bank used to own this property. They removed the modular that was there and brought in this business with the intention of a medical marijuana provisioning center. It was approved at the time. The state law has changed and now they want to expand upon the existing facility. The large building in the back will be for grow and the other building will be for processing. We have had several meetings with Kirk Wilkinson from the Fire Department where we sat down with different sketches trying to make this as safe as possible. Kirk has

seen this for fire separation between the buildings. As a facility, safety wise it meets all the Fire Department requirements. As far as zoning, there are a few minor tweaks. They cannot meet the rear set-back with this size of building. However, the parcel behind them will be their detention pond. The administration recommends approval contingent upon the Zoning Board of appeals decision in December. Also, these are two separate parcels and they will be required to combine them and they are aware of that. They are also requesting a variance for the height of the fence.

Mr. Smith asked if the Police Department is on board with this.

Mrs. Abbey stated the property meets the ordinance. The police enforce the law. There hasn't been any security plans submitted yet but the police will sign off on anything concerned with that.

RESULT:	CARRIED [UNANIMOUS]
MOVER:	Tom Gorang, Commissioner
SECONDER:	Vaughn Smith, Councilman
AYES:	Smith, Gorang, Benthall, Johns, Johnson
EXCUSED:	Burge, White, Walton

F. ADMINISTRATIVE SITE PLAN REVIEW

1. SPR #18-48

By: Chester Harvey
5186 Fern Ave.
Grand Blanc, MI 48439

Re: 3048 E. Hemphill Rd. Burton, MI 48529
59-28-300-009 M-1 Zone

For: Air Compressor Sales

No discussion.

2. SPR #18-49

By: Prestige Promotions, LLC.
4288 S. Saginaw St.
Burton, MI 48529

Re: 4288 S. Saginaw St. Burton, MI 48529

For: Business Office

No discussion.

G. AUDIENCE PARTICIPATION

None.

H. BOARD DISCUSSION

Mr. Smith stated the Burton City Council approved the Central Business District Overlay by a vote of 4-3. It was a close vote because there were still some reservations by people who were concerned about what it would do. Madam Chair was concerned that what Mrs. Abbey said in the Planning meeting in terms of restrictions was different than what Mr. Abbey said at the City Council Meeting.

Mrs. Abbey stated she was told the Planning Commission still had questions that had gone unanswered at that meeting. When the Planning Commission passed it with a vote of 7-0, the assumption was that everyone was comfortable with it. I was confused by that. Moving forward with ordinances, we need to make sure the board members get their questions answered and are comfortable before we send them to City Council for approval.

Mr. Johnson stated when we make decisions, they should be well thought out and we should be locked into that decision.

Mrs. Abbey stated at the last meeting AJ Imports came before the board and did a site plan for a 40x80 two story building. After going to bid to have the work done, he would like to make a change to reduce the height of the building and add ten feet to the side. So, basically it becomes a 50x80 building without a second story. He brought me a sketch. Does the board want to see a full site plan again or is the change insignificant to the actual project that it doesn't make a difference.

Mr. Smith asked what Mrs. Abbey's thoughts are on this.

Mrs. Abbey stated he is well within the set-backs so adding the ten feet in my opinion isn't a significant change to the site plan. There is plenty of drainage there. To make him pay to do a whole new site plan is very expensive.

The board had agreed to allow the change without an additional site plan.

Mr. Johns thanked Ms. Abbey for the common sense approach on this. This is a sensible solution and a minor adjustment. It really shows how flexible the City of Burton is in accommodating businesses.

Mr. Smith stated regarding the discussion about the Central Business District Overlay, he doesn't mean to downgrade anyone by his previous statement. Each individual has their own beliefs and thoughts and they should be respected. We do need to all be on board with the decisions we make.

Mrs. Abbey stated once the Planning Commission approves something, it should move forward. She is unsure of what type of misunderstanding took place and she didn't see the City Council Meeting. It sounded like some of the council members still had questions but she isn't sure what those were because it wasn't very specific.

Mr. Smith stated there was a feeling with a portion of the council that this ordinance would take the power away from the Planning Commission, Zoning Board of Appeals and City Council regarding their approval for new development in the city. Mr. Abbey assured them that there would not be any changes in the way the city operates with the approval of the ordinance.

Mrs. Abbey stated if there was a certain section that made them feel that way, it would have been helpful to know what the section was so we could modify the wording. We don't

want to adopt ordinances that our own people can't understand. If we understand it, the general public will be able to understand it. They will be the ones reading it and making decisions based on it.

Mr. Smith stated he was concerned that if we tabled this ordinance, it would be difficult to get it back.

Mrs. Abbey stated that is true but we want ordinances to read friendly to someone outside of us. We don't want to approve something for the sake of not having to table it. We could have easily modified something to make it easier to understand. In the future, if an individual has an issue with something that is in writing, I would ask that we address it before we go to council or even at the council level. The ultimate goal is for the public to be able to understand it.

1. Master Plan Update

No discussion.

**THE NEXT REGULARLY SCHEDULED MEETING WILL BE HELD ON TUESDAY,
DECEMBER 11, 2018 AT 5:00 PM.**

Meeting was adjourned at 5:28 PM.

Minutes Acceptance: Minutes of Nov 13, 2018 5:00 PM (Approval of Minutes)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 4126)

Meeting: 12/11/18 05:00 PM
Department: Department of Public Works
Category: Special Use
Prepared By: Amber Abbey
Department Head: Bette Bigsby

E.1

DOC ID: 4126

SPR #18-53

By: AEY Capital, LLC.
34841 Mound Road Ste 297
Sterling Heights, MI 48310

Re: 1076 S. Belsay Rd. Burton, MI 48509
59-14-526-035 (pending split) C-2 Zone

For: Special use to conduct a medical marijuana provisioning facility

ATTACHMENTS:

- Back up 18-53 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230

Date Filed: 11-6-18
 Fee Paid: \$ 600.00
 Receipt #: _____
 Check #: 1010
 Received by: [Signature]
 Date Mailed: 11-19-18

APPLICATION FOR PLANNING COMMISSION SPECIAL USE:

BCPC Case #: 18-53

PLEASE PRINT

DATE OF PLANNING COMMISSION HEARING: 12/11/2018 AT 5 P.M.

APPLICANTS NAME: AEY Capital LLC

APPLICANTS ADDRESS: 34841 Mound Road Suite 297

CITY: Sterling Heights, MI 48310

APPLICANTS PHONE: 586-630-8338

ADDRESS AND PARCEL OR LOT NUMBER: 1076 Belsay Road, Burton, MI, 48509

59-14-526-035 (Parcel A, Split approved 11/1/2018)

NATURE OF REQUEST (PERMITTED USE AFTER SPECIAL APPROVAL): _____

Medical Marihuana Provisioning Center under the MMFLA

APPLICANTS SIGNATURE: [Signature]

MANDATORY ATTENDANCE AT THE ABOVE MEETING IS ACKNOWLEDGED BY THE APPLICANTS SIGNATURE.

Attachment: Back up 18-53 (4126 : SPR #18-53)

Section of the Zoning Ordinance pertaining to Special Use Approvals

#

157.177 SPECIAL APPROVALS; PLANNING COMMISSION POWERS AND DUTIES.

The Planning Commission, as herein created, shall have the following specific powers and duties concerning special approvals.

(A) Purpose. In hearing and deciding upon special approvals, the Planning Commission shall base its actions on the theory that the development and execution of a comprehensive zoning ordinance is founded upon the division of the city into districts within which districts the use of land and buildings and the bulk and location of buildings and structures in relation to the land are substantially uniform. It is recognized, however, that there are variations in the nature of special uses which, because of their unique characteristics, cannot be properly classified in any particular district or districts without consideration in each case of the impact of those uses upon neighboring land and of the public need for the particular use at the particular location. These special uses fall into 2 categories:

(1) Uses either municipally operated or operated by publicly regulated utilities or uses traditionally affected with a public interest; and

(2) Uses entirely private in character but of such an unusual nature that their operation may give rise to unique problems with respect to their impact upon neighboring property or public facilities.

(B) Authorization. The special approval of specific land uses and activities, as required under §§ 157.035(C), 157.036(C), 157.043(C), 157.044(C), 157.046(C), and 157.047(C), may be authorized by the Planning Commission pursuant to the requirements of this section.

(C) Application. An application for special approval for a land use shall be filed and processed in the manner prescribed for application for site plan review in § 157.092 and shall be in that form and accompanied by that information as shall be established from time to time by the Planning Commission. Any application for special land use approval shall be filed simultaneously with an application for site plan review for the subject use.

(D) Notice of request for special approval. Notice of a request for special approval of a land use shall be in the form of 1 notice published in a newspaper of general circulation in the city, plus a notice sent by mail or by personal delivery to the owners of property for which approval is being considered, to all persons to whom real property is assessed within 300 feet of the boundary of the use in question, and to the occupants of all structures within 300 feet, except that the notice shall be given not less than 5 and not more than 15 days before the application will be considered.

Notification. Notification need not be given to more than 1 occupant of a structure, except that if a structure contains more than 1 dwelling unit or spatial area owned or leased by different

individuals, partnerships, businesses, or organizations, 1 occupant of each unit or spatial area shall receive notice.

(2) In the case of a single structure containing more than 4 dwelling units or other distinct spatial areas owned or leased by different individuals, partnerships, businesses, or organizations, notice may be given to the manager or owner of the structure, who shall be requested to post the notice at the primary entrance to the structure. The notice shall:

- (a) Describe the nature of the special land use request;
 - (b) Indicate the property which is the subject of the special land use request;
 - (c) State when and where the special land use request will be considered;
 - (d) Indicate when and where written comments will be received concerning the request;
- and

(e) Indicate that a public hearing on the special land use request may be requested by a property owner or the occupant of a structure located within 300 feet of the boundary of the use being considered for a special use.

(E) Hearing. At the initiative of the Planning Commission, or upon the request of the applicant for special approval of a land use, or a property owner or the occupant of a structure located within 300 feet of the boundary of the use being considered, a public hearing shall be held with notice as provided in subsection (D), before a decision on the special approval request is made. If the applicant or the Planning Commission requests a public hearing, only notification of the public hearing need be made and no notice of request for special approval, as provided in subsection (D), is required. A decision on a special approval request which is based on discretionary grounds shall not be made unless notification of the request for special approval, or notification of a public hearing on a special approval request is given as required by this section.

(F) Standards. No special approval shall be granted by the Planning Commission unless the special use:

(1) Will reasonably promote the use of land in a socially and economically desirable manner for those persons who will use the proposed land use or activity, for those landowners and residents who are adjacent, and for the city as a whole;

(2) Is compatible with adjacent uses of land;

(3) Is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected;

(4) Can be adequately served by public services and facilities without diminishing or adversely affecting public services and facilities to existing land uses in the area;

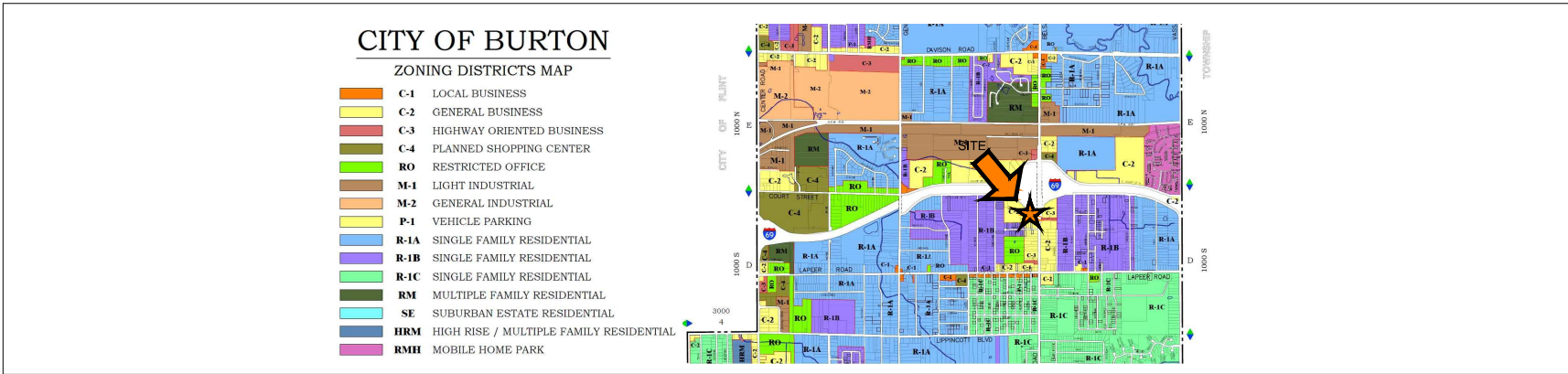
(5) Will reasonably protect the natural environment and help conserve natural resources and energy;

(6) Is within the provisions of uses requiring special approval as set forth in the various zoning districts herein, is in harmony with the purposes and conforms to the applicable regulations of the zoning district in which it is to be located, and meets applicable site design standards for the particular use; and

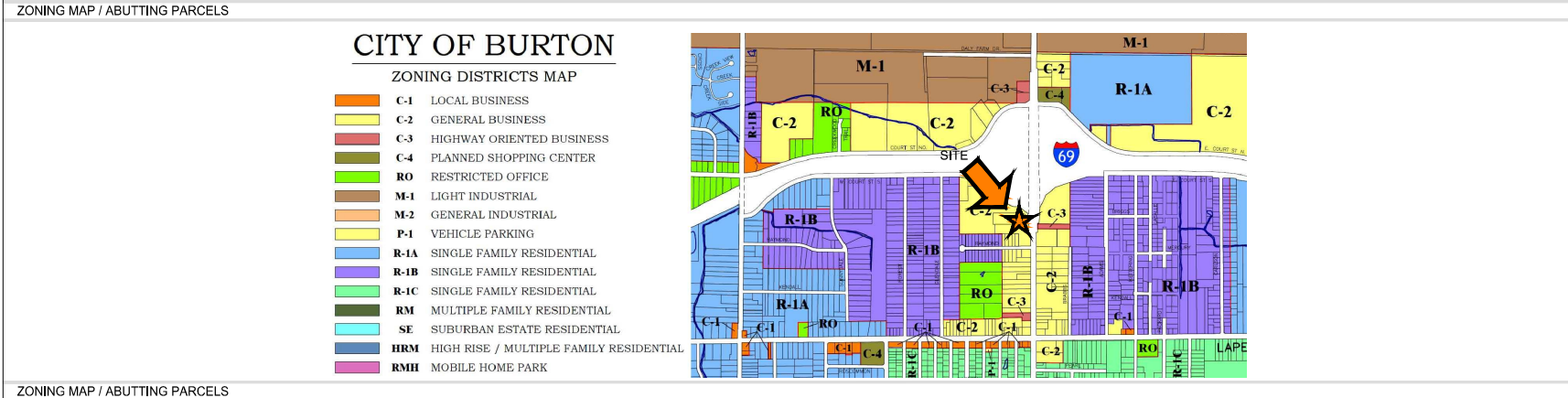
(7) IZ YLSH[LK [V [OL]HSPK L_LYJPZL VM [OL JP[`eZ WVSPJL WV^LY HUK W\YWVZLZ ^OPJO HYL HMMLJ[LK by the proposed use or activity.

(G) Approval. Planning Commission may deny, approve, or approve with conditions, requests for special approval of a land use. The decision on a special approval shall be incorporated in a statement of conclusions relative to the specific land use under consideration. The decision shall specify the basis for the decision, and any conditions imposed. If, within 15 days of the decision of the Planning Commission, there is an objection by the applicant or by a property owner or occupant of a structure within 300 feet of the special use being considered, then the matter shall be referred to the City Council for review and action.

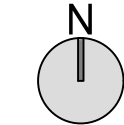
(H) Record. The conditions imposed with respect to the special approval of a land use or activity shall be recorded in the record of the special approval action and shall remain unchanged except upon the mutual consent of the Planning Commission and the landowner. The Planning Commission shall maintain a record of changes granted in conditions.

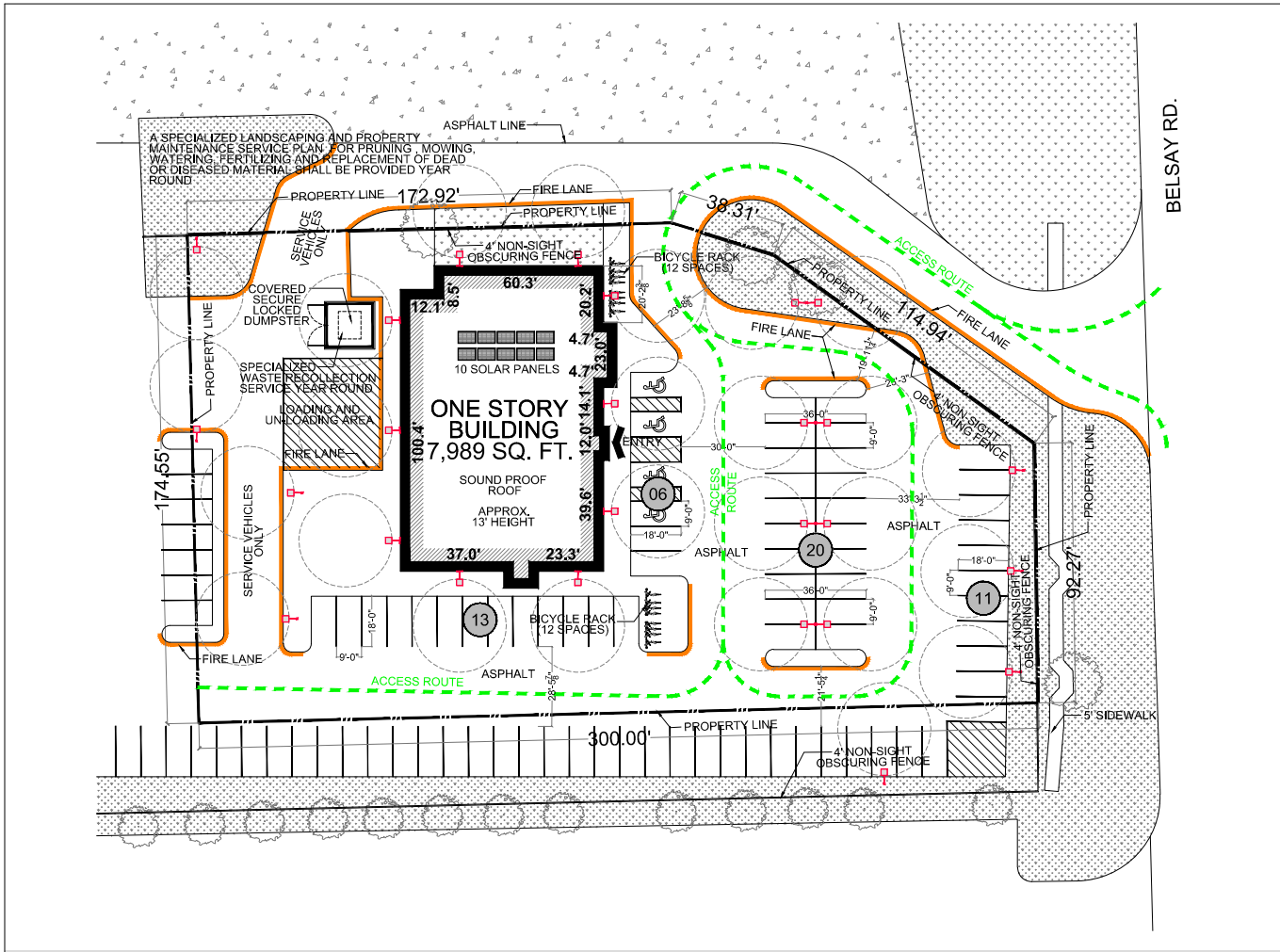


AMENDMENTS		
No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT
APPLICANT INFORMATION		
NAME: REY CAPITAL LLC		
ADDRESS: 38841 BOUND ROAD SUITE 207		
STERLING HEIGHTS MI 48310		
PHONE: 584-630-6338		
EMAIL: dmantus16@gmail.com		



Attachment: Back up 18-53 (4126 : SPR #18-53)





- A. NEW CONCRETE PAVEMENT TO HAVE A MINIMUM 4\"/>
- B. CURB RAMP SHALL BE MINIMUM 4\"/>
- C. THE FINISHING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20.
- D. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48.
- E. SURFACE SLOPE OF ACCESSIBLE PARKING SPACES AND ACCESSIBLE DRIVEWAYS SHALL NOT BE STEEPER THAN 1:48.
- F. THE FINISHING SLOPE OF ACCESSIBLE PARKING SPACES SHALL NOT BE STEEPER THAN 1:48.
- G. THE FINISHING SLOPE OF ACCESSIBLE DRIVEWAYS SHALL NOT BE STEEPER THAN 1:48.
- H. THE FINISHING SLOPE OF ACCESSIBLE DRIVEWAYS SHALL NOT BE STEEPER THAN 1:48.
- I. EXISTING WALKS AND ROADS SHALL BE MAINTAINED AND REPAIRED AS REQUIRED BY THE CITY.

SITE PLAN NOTES

MEDICAL MARIJUANA PROVISIONING CENTER FOR REGISTERED PATIENTS

NO INCREASE IN DUST, ODOUR, SMOKE, NOISE, LIGHTS, OR OTHER OBJECTIONABLE FEATURES.

LANDSCAPING, RESURFACING AND CLEAN UP PARKING LOT, NEW SIGNAGE, ADDITIONAL LIGHTING

PROJECT DESCRIPTION

LOT AREA: 1.10 ACRES

APR: 59-14-02-035 PARCEL A, (SPLIT APPROVED 11/61/2018)

SUBDIVISION: CARDINAL GARDENS

COUNTY: DENVER COUNTY

ZONING DISTRICT: GENERAL BUSINESS DISTRICT, C-2

FLOOD ZONE: PART OF LOT IS NOT IN A FLOOD ZONE

LEGAL DESCRIPTION: PART OF LOT IS NOT IN A FLOOD ZONE

GENERAL BUILDING AREAS:	
AREAS	GROSS AREA
SITE	47,946 SQ. FT.
BUILDING	7,989 SQ. FT.

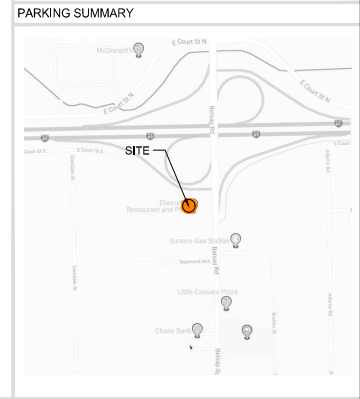
PROJECT DATA

REQUIRED PARKING: 1 PARKING FOR EACH 150 SQ. FT. 7,989 SQ. FT. = 53.26 = 53 SPACES

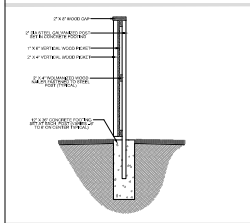
PARKING PROVIDED:

- STANDARD STALL ADA ACCESSIBLE PARKING SPACE: 48 SPACES
- STANDARD STALL: 4 SPACES
- BICYCLE PARKING: 24 SPACES

TOTAL: 50 SPACES

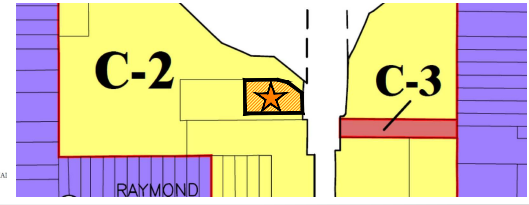
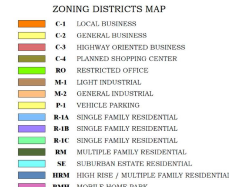


PROPOSED SITE PLAN



4\"/>

LIGHTING FIXTURE NOMENCLATURE WITH INCLUDED SHIELD FOR ANTI GLARE AND SHIELD POLE HEIGHT = 20'		
ONE LIGHT POLE	8	
WALL LIGHT	10	
TWO LIGHT POLE	4	



ZONING MAP / ABUTTING PARCELS

AMENDMENTS		
No.	Date	Comment
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION

NAME: KEY CAPITAL LLC

ADDRESS: 36841 BOUND ROAD SUITE 297

STERLING HEIGHTS MI 48310

PHONE: 588-843038

EMAIL: dmorture16@gmail.com

GENERAL BUILDING AREAS:	
AREAS	GROSS AREA
SITE	47,946 SQ. FT.
BUILDING	7,989 SQ. FT.

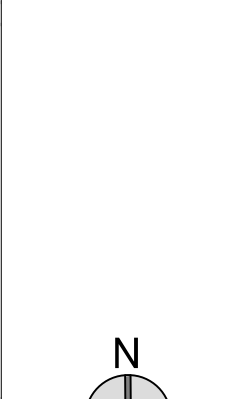
PROJECT DATA

REQUIRED PARKING: 1 PARKING FOR EACH 150 SQ. FT. 7,989 SQ. FT. = 53.26 = 53 SPACES

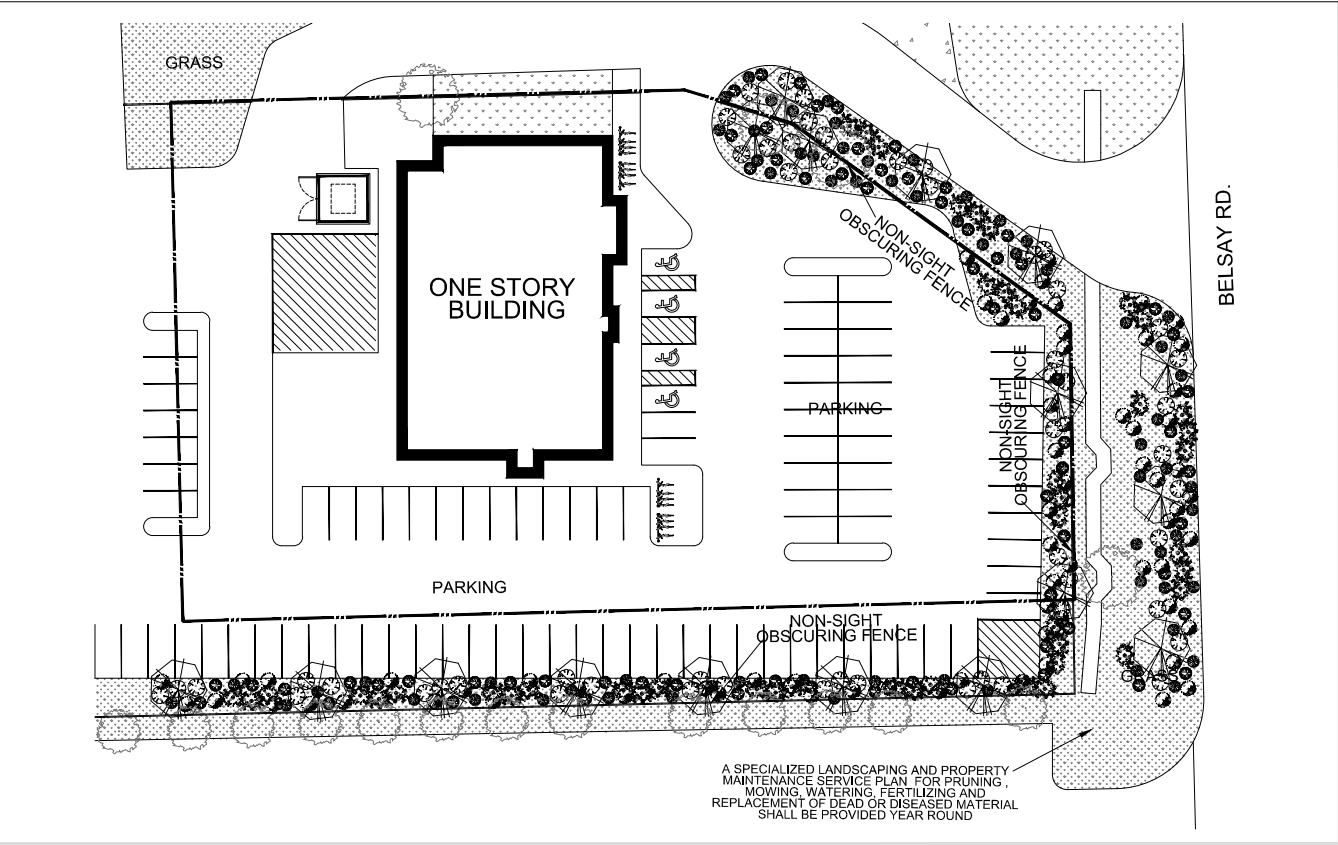
PARKING PROVIDED:

- STANDARD STALL ADA ACCESSIBLE PARKING SPACE: 48 SPACES
- STANDARD STALL: 4 SPACES
- BICYCLE PARKING: 24 SPACES

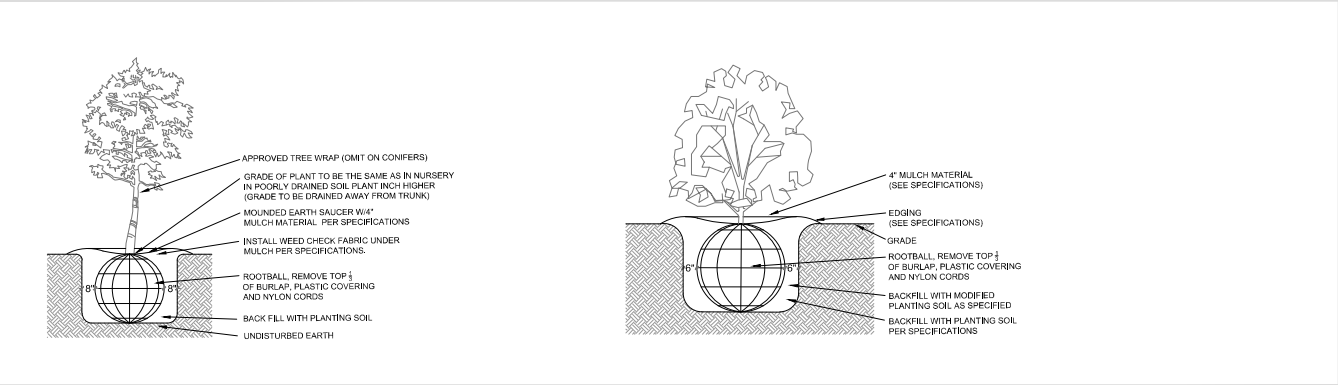
TOTAL: 50 SPACES



CONTENT	
SITE PLAN	
SCALE	
1" = 40'	
Draftsman	AKS
Revised	AKS
Approved	AKS
Review	AKS
Date	11/25/2018
No. Pages	03/18
Rev.	1

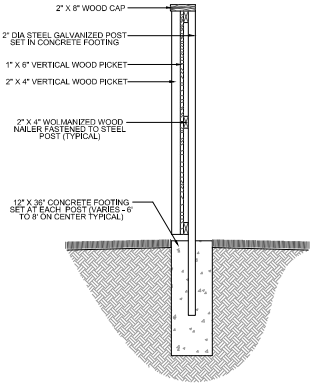


LANDSCAPE PLAN



PLANTING DETAILS

LANDSCAPE LEGEND	SIZE	BIOME	QUANTITY
	WEeping TREE ON SITE	VARIABLE	1
	JUNIPERUS COMMUNIS	10'	17
	MULTICAULIS CORYMBOSUS CORYMBOSUS	7'	53
	EUONYMUS ALATUS	18"	43
	LONICERA CAERULEA	18"	57
	LONICERA CAERULEA	24"	50
	LONICERA CAERULEA	36"	70
	NATIVE GRASS AREA	-	10,000 SQ FT



4' NON-SIGHT OBSCURING FENCE DETAIL

AMENDMENTS		
No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT
APPLICANT INFORMATION		
NAME: AET CAPITAL LLC		
ADDRESS: 38841 BOUND ROAD SUITE 207		
STERLING HEIGHTS MI 48310		
PHONE: 584-634-0338		
EMAIL: dmattus16@gmail.com		

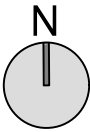
CONTENT

LANDSCAPE PLAN

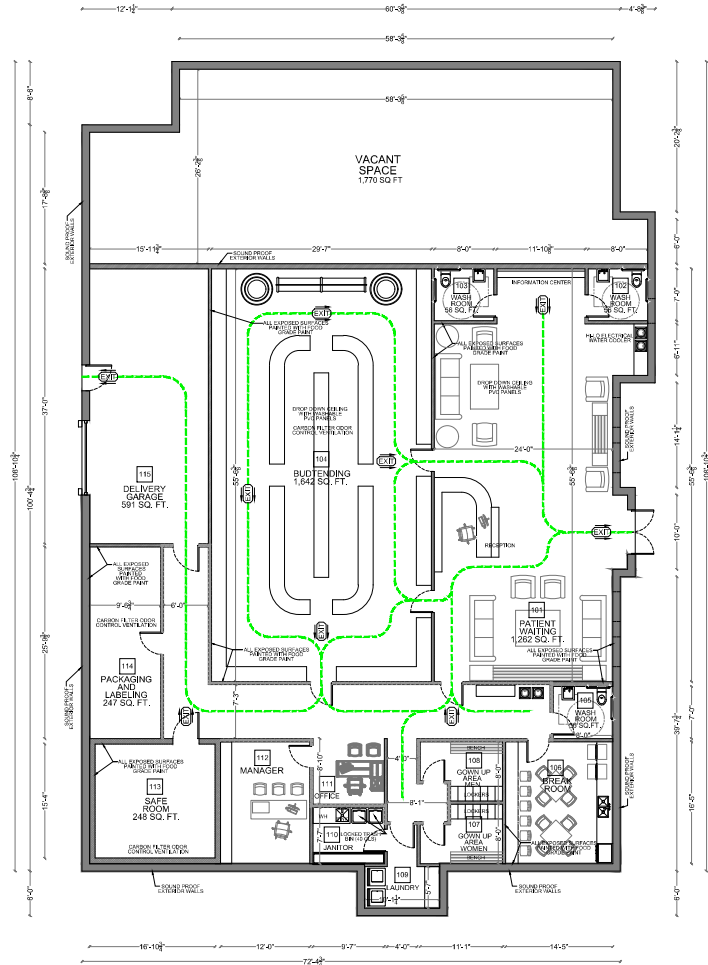
SCALE

1" = 40'

Draftman	AJC	Drawn by	
Reviewed		By	AET CAPITAL LLC
Approved		Drawn	L.T.1
Review	000	No. Pages	04/18
Date	11/05/2018	Rev.	01



- A. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.
- B. EXIT SIGNS ILLUMINATED BY EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (60 LUX).
- C. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- D. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.
- E. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AND MAINTAIN OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS.
- F. EGRESS DOORS SHALL BE EASILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- G. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT MIN. 36" AND A MAX. 48" ABOVE THE FINISHED FLOOR.
- H. DOORS TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.
- I. ALL EGRESS DOOR OPERATOR SHALL ALSO COMPLY WITH SECTION.
- J. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
- K. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE OF THE WALKING SURFACE.
- L. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS:
- L.1. ABSESS AND UNLOCKED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.
- L.2. CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
- L.3. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
- L.4. INTERIOR EXIT RECHARGED ELEMENTS, AS PERMITTED IN SECTION 1023.1, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
- L.5. EXIT DISCHARGE (LANDINGS, AS REQUIRED BY SECTION 1010.1.6, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS).
- M. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL COVERED OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH LOCAL ORDINANCE.
- N. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL PERMITTED TO DEGRADE TO 0.05 FOOT-CANDLE (0.5 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.05 FOOT-CANDLE (0.5 LUX) AT THE END OF THE EMERGENCY EGRESS PATH. DURING A MINIMUM-ILLUMINATION UNIFORMITY RATIO OF 30 TO 1 SHALL NOT BE.
- O. THE MEANS OF EGRESS SYSTEM MUST HAVE A CLEAR CEILING HEIGHT OF 7'-0" (2132).



EGRESS FLOOR PLAN

PLAN NOTES

- A) DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- B) ALL DOOR AND OPENING LOCATIONS SHALL BE SHOWN ON FLOOR PLAN IN CASE OF CONFLICT, NOTIFY THE OWNER IMMEDIATELY PRIOR TO COMMENCEMENT OF FRAMING.
- C) DIMENSION NOTED AS "FIELD" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, PAD, VINYL, ETC.
- D) DIMENSION NOTED AS "FIELD" ARE CRITICAL. IF LAYOUT IS OFF, CONTACT ARCHITECT PRIOR TO FRAMING.
- E) ALL DIMENSION ARE TO THE FACE OF METAL STUD, U.N.O.
- F) COLUMN CENTER LINE (OR GRID LINES) ARE SHOWN FOR DIMENSIONING. VERIFY EXACT LOCATIONS IN FIELD.
- G) REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES AND INFO.
- H) ALL METAL STUDS ARE 3-5/8" U.N.O., SEE METAL STUD SCHEDULE.
- I) ALL GYPSUM WALLBOARD SHALL BE 5/8" TYPE "X" U.N.O.
- J) G.C. TO NOTIFY TO OWNER IMMEDIATELY AS TO SIZE AND LOCATION OF ANY EXISTING EXPANSION JOINT LOCATED IN GENSING WALL, FLOOR, OR CEILING CONSTRUCTION.
- K) G.C. TO CONFIRM SUITABILITY OF ALL WALLS TO RECEIVE PAINT AND/OR WALL COVERING IN A FIRST CLASS MANNER. G.C. TO CONTACT OWNER IF WALL(S) ARE NOT ACCEPTABLE TO RECEIVE FINISHES SPECIFIED. POOR INSTALLATION OVER UNSUITABLE SURFACES ARE THE CONTRACTORS RESPONSIBILITY.

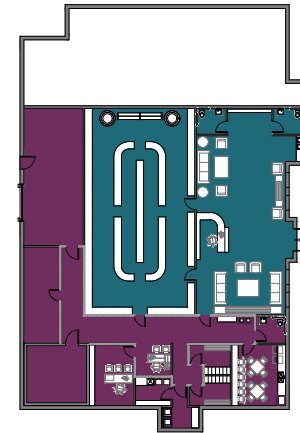
SYMBOL LEGEND

- [F] DENOTES PLAN / STOREFRONT NOTE
- [S] DENOTES SIGNAGE NUMBER - REFER TO DETAILS S1.0
- [W] DENOTES WINDOW NUMBER
- [D] DENOTES DOOR NUMBER
- [E] EXISTING PERIMETER WALL, SEE DETAIL IN SHEET A5.1
- [N] NEW VAULT FIRE PROOF WALL, SEE DETAIL IN SHEET A5.1
- [P] NEW 1-HOUR WALL/PARTITION WALL, SEE DETAIL IN SHEET A5.1
- [M] NEW WALL/PARTITION, SEE DETAIL IN SHEET A5.1
- [EXIT] LED EXIT SIGN W/ BATTERY BACK-UP, SUPPLIED AND INSTALLED BY G.C.

AMENDMENTS

No.	Date	Concept
01	11/03/18	PARTIAL SPLIT DOCUMENT

APPLICANT INFORMATION
NAME: REY CAPITAL LLC
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FLOOR PLAN DIAGRAM LEGEND

[Color]	EMPLOYEE AREA
[Color]	REGISTERED PATIENT ACCESS AREA

GENERAL AREAS LEGEND

[Color]	PATIENT WAITING	1,295 SQ.FT.
[Color]	JANITORS	73 SQ.FT.
[Color]	WASHROOM	188 SQ.FT.
[Color]	OFFICE	262 SQ.FT.
[Color]	SAFE ROOM	248 SQ.FT.
[Color]	PACKAGING	247 SQ.FT.
[Color]	RECEPTION	1,645 SQ.FT.
[Color]	BREAKROOM	237 SQ.FT.
[Color]	DELIVERY GARAGE	991 SQ.FT.
[Color]	DOWN UP AREA	154 SQ.FT.
[Color]	LAUNDRY	79 SQ.FT.
[Color]	TOTAL	5,918 SQ.FT.

FLOOR PLAN DIAGRAM / GENERAL AREAS KEY PLAN NOT TO SCALE

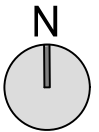
CONTENT

EGRESS FLOOR PLAN
FLOOR PLAN DIAGRAM / GEN. AREA

SCALE

1/16

Draftsman: A.C. (Signed: A.C.)
Reviewer: H.R. (Signed: H.R.)
Approved: REY CAPITAL LLC
Drawing: A1.1
No. Pages: 05/18
Date: 11/03/2018



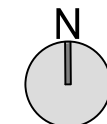
VAC PLAN SCALE 1/16

EXHAUST FAN												
TAG	SERVICE	TYPE	DRIVE	CFM	SP	RPM	VOLTS	PHASE	WATTS	AMPS	STARTERS	GREENCHECK MODEL
EF-1,2,3	TOILET	CEILING EXHAUST FAN	DIRECT	75	0.25"	950	120/60	1	49	0.58	MAN	SP-A110
NOTES: 1. INTEGRAL BACKRAFT DAMPER. 2. INTEGRAL DISCONNECT SWITCH 3. SPEED CONTROLLER LOCATED ABOVE CEILING NEAR FAN 4. WC-6 HOODED WALL CAP WITH BUILT IN BIRD SCREEN AND BACKRAFT DAMPER. SEAL AND CAULK. PAINT TO MATCH BRICK 5. CEILING WITH CRACKS TO BE REPAIRED.												

<u>AMENDMENTS</u>		
No.	Date	Concept
01	11/03/16	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION

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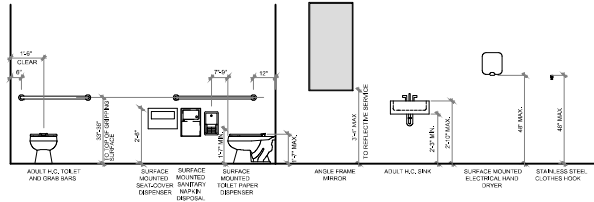


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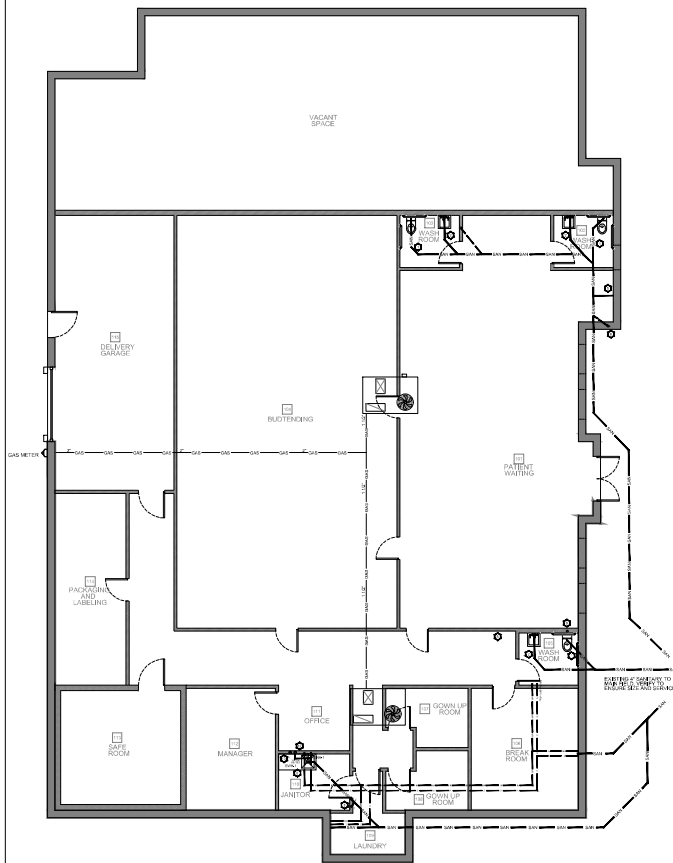
HVAC FLOOR PLAN

SCALE 1/16

Draftsman	A.C.	Project no.	31
Reviewed		File	AEY CAPITAL LLC
Approved		Drawing	M1.1
Review date	11.05.2018	No. Pages	07/18



WASHROOMS TYPICAL ELEVATIONS SCALE 3/16



PLUMBING PLAN SCALE 1/16

PLUMBING FIXTURE SCHEDULE

FIXTURE:	TYPE:	MANUFACTURER	MODEL NO.	MATERIAL:	STYLE:	FAUCET / VALVE:			DRAIN:		SUPPLIES AND STOPS		PIPE SIZE:				MOUNTING:
						MANUFACTURER MODEL NO.	SPOUT	HANDLES	CENTERS	TYPE:	SIZE:	SIZE:	WASTE	VENT	CW	HW	
WATER CLOSET	FLUSH TANK PRESSURE ASSIST	ZURN	Z5861	VITREOUS CHINA	ADA ELONGATED (FLUSH)	-	-	-	-	-	ZURN Z8808-IL OR-PC	-	3"	2"	3"	-	FLOOR
LAVATORY	WALL HUNG	ZURN	Z5344	VITREOUS CHINA	ADA COMPLACATED	Z8800-IL	CENTERSET	RAC PUSH BUTTONS	4"	GRID	1 1/2"	ZURN Z8804-IL OR-PC	2"	1 1/2"	1 1/2"	1/2"	WALL HUNG
MOP SINK	FLOOR MOUNTED	ZURN	Z1088-36	MOLDED HIGH DENSITY COMPOSITE	36"x24"x10" HIGH	FAT 530-AA	THREADED	TWO HANDLES	8"	-	-	-	3"	1 1/2"	1 1/2"	1/2"	FLOOR
FLOOR DRAIN	ROUND TOP	ZURN	Z4120-1M-F	CAST IRON	NICKALOY TOP	-	-	-	-	-	-	-	-	-	-	-	FLOOR
WALL CLEAN OUT	ROUND COVER	ZURN	Z-1448	CAST IRON	S.S. COVER	-	-	-	-	-	-	-	-	-	-	-	WALL
GRADE CLEAN OUT	ROUND TOP	J.K. SMITH	4240	CAST IRON	CAST IRON TOP	-	-	-	-	-	-	-	-	-	-	-	GRADE
WATER HEATER	ELECTRIC	BRAIDFORD WHITE	RE1104R	GLASS LINED	LOW BOY	-	-	-	-	-	-	-	-	-	-	-	SEE PLAN

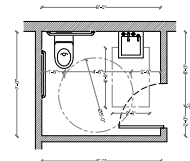
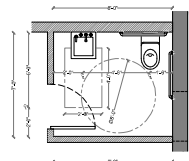
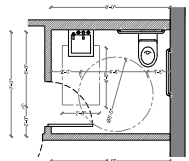
SHOCK ARRESTOR SCHEDULE

PDI SIZE	FIXTURE UNITS	MANUFACTURER OR EQUAL
SA "A"	1-11	ZURN, SMITH PP1 SIOUX- CHIEF
SA "B"	12-32	ZURN, SMITH PP1 SIOUX- CHIEF

LOCATE SHOCK ARRESTORS IN AN ACCESSIBLE LOCATION / OR PROVIDE SIOUX-CHIEF SHOCK ARRESTORS ONLY PROVIDE SHOCK ARRESTORS AS INDICATED PER SCHEDULE SHOCK ARRESTORS SHALL BE SAME SIZE AS PIPE INSTALLED ON , MINIMUM

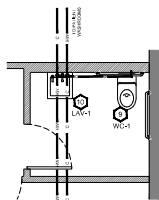
PLAN NOTES:

- ① 3" SANITARY TO WC-1
- ② 2" SANITARY TO LAV-1, SINK-1
- ③ 2" HEADER VENT
- ④ 4" SANITARY SEE FLOOR PLAN FOR EXTENSION.
- ⑤ 1 1/2" VENT, 1 1/2" WASTE FOR DRINKING FOUNTAIN
- ⑥ WALL CLEAN OUT
- ⑦ FLOOR CLEAN OUT
- ⑧ 3" VENT THRU ROOF.
- ⑨ 3/4" CW TO WC FLUSH TANK
- ⑩ 3/4" CW, 3/4" HW TO LAV/ SINK
- ⑪ NOT USED
- ⑫ 1" CW AND HW HEADER
- ⑬ ELECTRIC WATER HEATER SEE DIAGRAM W/ 3/4" CW AND HW.
- ⑭ INSTALL SERVICE SINK CONNECT TO EXISTING SANITARY AND DOMESTIC.

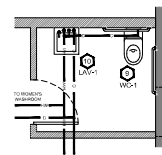


WASHROOMS ENLARGED

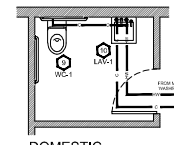
SCALE 1/8



DOMESTIC



DOMESTIC



DOMESTIC

ENLARGED PLUMBING PLAN

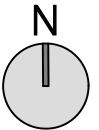
SCALE 1/8

AMENDMENTS

No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION

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CONTENT

PLUMBING PLAN
 PLUMBING SCHEDULES

SCALE

AS NOTED

Draftsman	AJC	Project No.	
Reviewed		By	REY CAPITAL LLC
Approved		Drawing	P1.1
Review Date	11/03/2018	No. Pages	08/18
Rev.		Rev.	



FLOOR CLEAN OUT DETAIL



NOTES:

1. NO SUBSTITUTIONS ALLOWED
2. PROVIDE CASKS AROUND HOP SINK, WATER CLOSETS, AND LAVATOIRES
3. PLUMBING FIXTURES: P-101-5, P-3, P-101-1 ASSOCIATED ACCESSORIES
4. ARE FURNISHED BY GC AS PART OF THE "BATH IN A BOX" FIXTURES SHALL BE INSTALLED BY P.C.
5. PLUMBING FIXTURES: WOOD, GDS, FID, AND PFB SHALL BE FURNISHED AND INSTALLED BY PC
6. ALL PLUMBING SHALL BE CONFORMING TO THE 1997 U.S. AND 1975 U.S. DEIG. TO ALL LAVATOIRES.
7. ALL SANITARY PAPES TO BE SLOPED 1/8" PER FOOT
8. INSTALL TRAP SEAL PRIMER FOR THE COMMON AREAS FLOOR DRAINS.
9. CALL ALL PERIMETERS OF PLUMBING FIXTURES TO BE REQUIRED.
10. PROVIDE TREUDOIR #102 HAND- LAY-CUARD CASK ACONFIRMING INSULATION KIT.

- NOTES:
1. NO SUBSTITUTIONS ALLOWED.
 2. PROVIDE CALKY AROUND SINK, WATER CLOSETS, AND LAVATOIRES.
 3. PLUMBING FIXTURES P-1-P-2, P-3, P-4, "BATH" AND ASSOCIATED ACCESSORIES ARE FURNISHED BY GC-2. THE SWITH IN A BOX FIXTURES SHALL BE INSTALLED BY P.C.
 4. PLUMBING FIXTURES SINK, G.C.G. FLOOR, SINK, SHALL BE INSTALLED AND INSTALLED BY P.C.
 5. PROVIDE TUBING AND CONFORMING VALVES TO BE INSTALLED BY P.C. TO ALL LAVATOIRES.
 6. ALL SANTIARY PAPES TO BE SLOPED 1/8" PER FT.
 7. INSTALL TRAILER PRIMER FOR THE COMMON AREAS FLOOR DRAINS.
 8. PROVIDE ALL PARAMETERS OF PLUMBING FIXTURES AS REQUIRED.
 9. PROVIDE TRUBERO #102 HAND-1-LAY-CLARD AREA CONFORMING INSULATION KIT.

1. FURNISH ALL LABOR, MATERIAL, AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF THE PROJECT.
2. ALL PLUMBING FIXTURES AND PLUMBING SYSTEM EQUIPMENT SHALL BE PROVIDED COMPLETE WITH ALL ACCESSORIES, HANGERS, VALVES, STOPS, TAILPIECES, TRAPS, FAUCETS, STRAINERS, ETC. SEE VENT FUTURE SCHEDULE.
3. FURNISH AND INSTALL COMPLETE SYSTEMS OF SOIL, WASTE, VENT, HOT AND COLD WATER PIPING FROM ALL PLUMBING FIXTURES, AND/OR OTHER EQUIPMENT.
4. CLEANOUTS PLUS/US SHALL BE INSTALLED IN ACCORDANCE WITH PLUMBING CODE REQUIREMENTS. PROVIDE CLEANOUTS AT THE BASE OF ALL WASTE STACKS, AT EVERY FOUR (4) DEGREE TURNS, AND AT EVERY 50 FEET. CLEANOUTS SHALL BE PLACED IN READILY ACCESSIBLE LOCATIONS.
5. ALL SOIL, WASTE, AND VENT LINES SHALL BE CONCEALED IN THE BUILDING CONSTRUCTION.
6. COPPER PIPING SHALL BE PROTECTED AGAINST CONTACT WITH MASONRY OR PROTECTIVE METALS, ALL HANGERS, SUPPORTS, ANCHORS, AND CLIPS SHALL BE MADE OF COPPER OR COPPER ALLOY. WHERE COPPER PIPING IS CARRIED ON IRON TRAPEZOID HANGERS WITH OTHER PIPING, SATISFACTORY AND PERMANENT ELECTROLYTIC ISOLATION MATERIAL SHALL DISSECT THE COPPER AGAINST CONTACT WITH OTHER METALS.
7. WHERE COPPER PIPING IS SLEWED THROUGH MASONRY, SLEEVES SHALL BE COPPER OR RED BRASS. WHERE COPPER MUST BE SUBSTITUTED BY STEEL, STEEL PIPING PENETRATES CONCRETE SLAB OR IS SUBJECT TO ABRASION AND IS RECOMMENDED BY MANUFACTURER. INSULATION IS REQUIRED ON ALL WATER SUPPLY ABOVE FINISHED FLOOR IN ACCORDANCE WITH THE STATE PLUMBING CODE OF JARVIS.
8. THE PLUMBING CONTRACTOR SHALL COORDINATE CLOSELY WITH THE MECHANICAL AND ELECTRICAL CONTRACTORS TO AVOID CONFLICT WITH OTHER TRADES.
9. CEILING AREA HAS LIMITED SPACE. CONTRACTOR MUST COORDINATE WITH OTHER TRADES FOR ALL STRUCTURES, PIPING, CONDUIT, ELECTRIC, LIGHTING, ETC. TO PROPERLY BE INSTALLED.
10. ALL PIPE INSULATION SHALL RUN CONTINUOUSLY THROUGH FLOORS, WALLS, AND PARTITIONS.
11. PROVIDE DRAIN VALVES IN THE HOT AND COLD WATER SYSTEM AT ALL LOW POINTS TO ALLOW FOR COMPLETE DRAINAGE.
12. VACUUM BREAKERS SHALL BE PROVIDED FOR ALL FIXTURES TO WHICH HOSES MUST BE ATTACHED. VACUUM BREAKERS SHALL BE PERMANENTLY ATTACHED.
13. WASTE AND VENT PIPING SHALL BE AS FOLLOWS:
ABOVE SLAB: PVC PIPE, PVC SOCKET FITTINGS, AND SOLVENT-CEMENTED FITTINGS.
ABOVE SLAB: PVC PIPE, PVC SOCKET FITTINGS, AND SOLVENT-CEMENTED FITTINGS.
14. STORM PIPING SHALL BE AS FOLLOWS: N/A
15. DOMESTIC WATER PIPING ABOVE SLAB SHALL BE PEX PIPING UNLESS LOCAL JURISDICTION REQUIRES OTHER MATERIAL. DOMESTIC WATER PIPING BELOW SLAB SHALL BE TYPE "X" COPPER. IF ALLOWED BY LOCAL JURISDICTION, PEX PIPING MAY BE RUN BELOW SLAB. PROVIDE SLEEVES FOR PEX PIPING PENETRATES CONCRETE SLAB OR IS SUBJECT TO ABRASION AND IS RECOMMENDED BY MANUFACTURER. INSULATION IS REQUIRED ON ALL WATER SUPPLY ABOVE FINISHED FLOOR IN ACCORDANCE WITH THE STATE PLUMBING CODE OF JARVIS.
16. INVERT ELEVATIONS SHALL BE ESTABLISHED AND VERIFIED BEFORE PIPING. PIPING ABOVE FINISHED FLOOR IS INSTALLED SO THAT PROPER SLOPES WILL BE MAINTAINED.
17. THE PLUMBING CONTRACTOR SHALL PROVIDE WATER HAMMER PROTECTION ON ALL WATER DISTRIBUTION PIPING WHERE QUICK-CLOSING VALVES ARE USED. INSTALLATION OF AIR CHAMBERS OR SHOCK ARRESTORS SHALL BE IN ACCORDANCE WITH 34-100.02, SEE LARGER SHOCK ARRESTOR SCHEDULE (IF PROVIDED).
18. PROVIDE FUL PORT VALVES IN ALL BRANCH LINES OF THE HOT AND COLD WATER DISTRIBUTION SYSTEM ON 3/4" AND SHOCK C w f 1/2" AND AS SHOWN ON PLANS, RISERS, AND SCHEMATIC DETAILS.
19. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS OF PLUMBING FIXTURES.
20. PROVIDE ACCESS DOORS FOR ALL VALVES AND DEVICES REQUIRING ACCESS WHEN LOCATED IN WALLS OR ABOVE INACCESSIBLE CEILING CONSTRUCTION.
21. PROVIDE DEEP SEAL TRAPS FOR ALL FLOOR DRAINS.
22. WHERE EARTHQUAKE LOADS ARE APPLICABLE IN ACCORDANCE WITH THE STATE PLUMBING CODE, PIPING AND EQUIPMENT SUPPORTS SHALL BE DESIGNED AND INSTALLED FOR THE SEISMIC FORCES IN ACCORDANCE WITH THE STATE BUILDING CODE.
23. PROVIDE A U.L. LISTED ASSEMBLY FOR ALL PENETRATIONS THROUGH FIRE RATED WALLS AND FLOORS.
24. NOT USED.
25. ALL SUSPENDED MATERIALS AND EQUIPMENT SHALL BE INDIVIDUALLY SUPPORTED FROM THE BUILDING STRUCTURE. DO NOT SUSPEND ITEMS FROM THE CEILING OR ITS SUPPORT SYSTEM.
26. NO INSULATION PERMITTED ON BACKFLOW PREVENTOR ASSEMBLY.

GENERAL NOTES

1. THESE PLANS ARE DIAGRAMMATIC AND MAY NOT SHOW MINOR DETAILS AND LOCATIONS. FOR DIMENSIONS, REFER TO THE ARCHITECTURAL PLANS.
2. COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION OF ANY WORK.
3. VERIFY THE LOCATION OF ALL EQUIPMENT SUPPLIED BY OTHERS.
4. PROVIDE A DEFLECTING UNION WHEN CONNECTING TO FIRE-RATED WALLS.
5. PROVIDE FIRE RATED SLEEVES IN ALL LOCATIONS WHERE PENETRATIONS OF RATED WALLS AND FLOORS ARE MADE. ALL OPENINGS WILL BE PROTECTED BY THE STATE PLUMBING CODE OF JARVIS.
6. VENT LINES SHALL SLOPE UP TO VENT THROUGH WALL. VENT THROUGH WALL SHALL BE 10"-0" MINIMUM FROM ANY FINISH AIR HANDLING DEVICE.
7. VENT WASTE STACKS SHALL BE AT CLEAN OUT AT THE BASE OF THE STACK. COORDINATE LOCATION OF CLEAN OUTS WITH CASEWORK.
8. PROVIDE SLEEVES FOR PIPING PENETRATES CONCRETE SLAB OR IS SUBJECT TO ABRASION AND IS RECOMMENDED BY MANUFACTURER.
9. SEE ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS OF PLUMBING FIXTURES.
10. ALL LAVATORY SINKS SHALL HAVE INSULATION ON ALL EXPOSED PIPING.
11. COMPLETE LINES AND FLUSH OUT ALL SANITARY PIPING PRIOR TO BUILDING IS COMPLETED.
12. PROVIDE CHROME ESCUTCHEON RINGS AT ALL EXPOSED CEILING AND WALL PENETRATIONS.
13. PROVIDE INSULATION TO BE INSULATED WITH 1" FIBERGLASS INSULATION.
14. HEAT TAPE SHALL BE PROVIDED FOR ALL DOMESTIC WATER LINES LOCATED IN EXTERIOR WALLS IN CLIMATES WHERE PIPES ARE NOT TO BE FROZEN.
15. ROUTE ALL PLUMBING WATER SUPPLY LINES 12" MINIMUM BELOW FROST LINE IN CLIMATES WHERE PIPES ARE SUBJECT TO FREEZING.
16. PROVIDE 1/2" WATER TAP AND 3/4" METER WITH 1" WATER LINE RUN FROM METER TO BUILDING. PROVIDE 1/2" WATER PRESSURE EXCEEDS 70 PSI. COORDINATE ROUTING AND BACKFLOW PREVENTOR REQUIREMENTS WITH CIVIL ENGINEER.
17. SHALL PROVIDE SEPARATE RADIANT LINE.
18. RUN PIPES S

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CONTENT

PLUMBING DETAILS
PLUMBING NOTES

SCALE

N/A

Draftsman

Reviewed

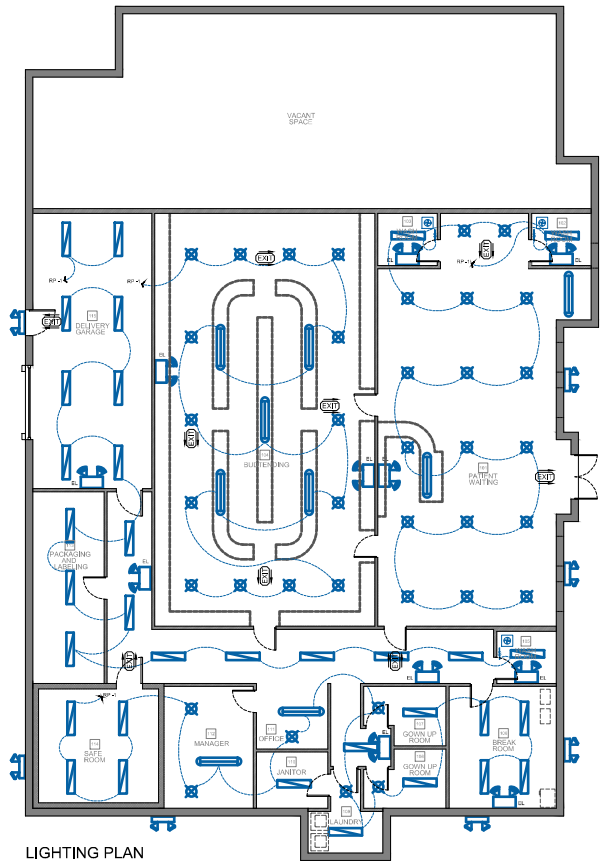
Approved

Drawing

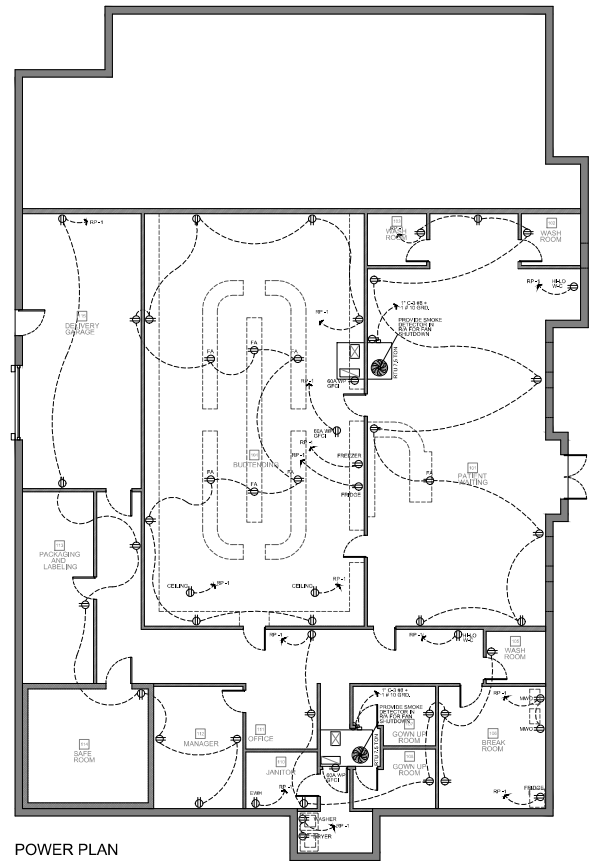
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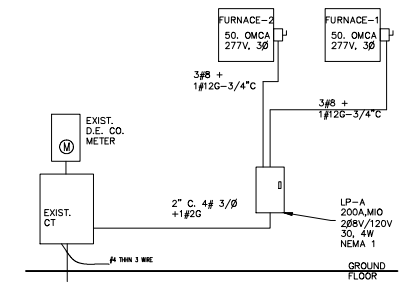


LIGHTING PLAN



POWER PLAN

- LIGHTING FIXTURES SCHEDULE NOTES:
1. PROVIDE FIXTURE WITH ENERGY SAVING BALLAST
 2. COORDINATE EXACT LOCATION OF FIXTURES WITH PLAN
 3. PROVIDE FIXTURE WITH U.L. WET LOCATION PLAN
 4. PROVIDE LOW TEMPERATURE BALLAST FOR EXTERIOR FIXTURES
 5. FIXTURES SHALL BE HUNG WITH AIRCRAFT SUSPENSION CABLE (ZACCVH M100) WITH TOP OF FIXTURE AT 11'-6"
 6. USE PSL 600 BALLASTS IF ADDITIONAL COVERAGE IS REQUIRED.
 7. IF NECESSARY TO PROVIDE MINIMUM 1 FOOT-CANDLE ALONG PATH OF EGRESS
- INSTALL AN OCCUPANT SENSOR TURNING LIGHTS OFF WITHIN 30 MINUTES OF AN OCCUPANT LEAVING A SPACE

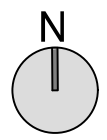


RISER DIAGRAM

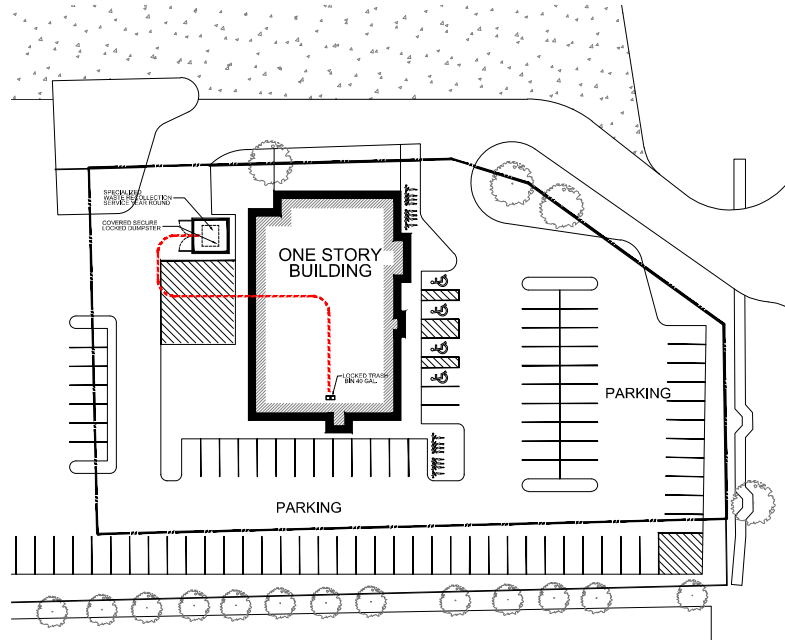
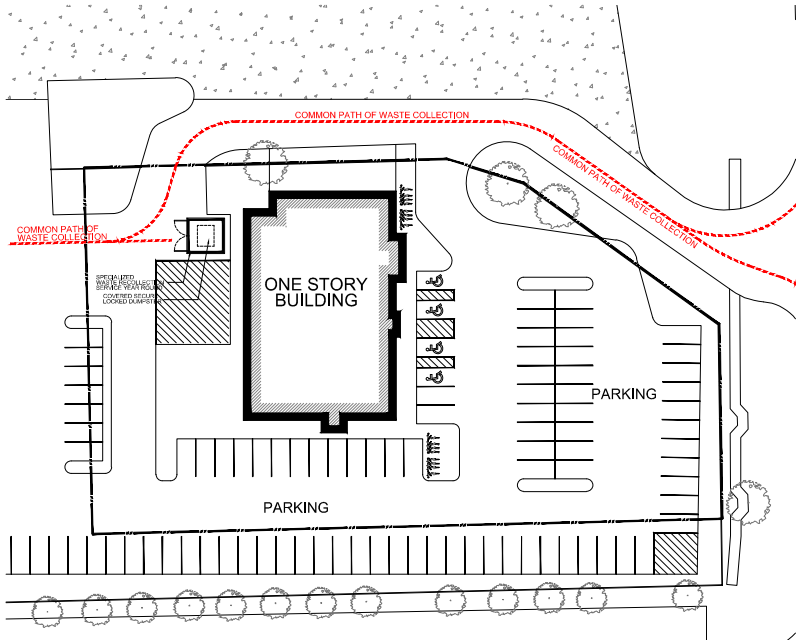
LIGHTING FIXTURE NOMENCLATURE		QUANTITY
	CEILING-MOUNTED RECESSED LIGHT FIXTURE.	37
	PENDANT-MOUNTED LIGHT FIXTURE, MOUNTING HEIGHT 8'-0" A.F.F.	8
	CEILING-MOUNTED FLUORESCENT LIGHT FIXTURE.	33
	LED EXIT SIGN W/ BATTERY BACK-UP, SUPPLIED AND INSTALLED BY G.C.	9
	REMOTE HEAD MOUNTING PLATE, CAST ALUMINUM, WEATHER PROOF, SINGLE HEAD, NEMA RATED, PAR 36 6 V 18 W TUNGSTEN.	7
	EMERGENCY LIGHT E118NT6WE1 SERIES, 6 V 18 W, 6 W, TUNGSTEN LAMPS, WHITE.	11

AMENDMENTS	
No.	Date
01	11/03/18
PARCEL SPLIT DOCUMENT	

APPLICANT INFORMATION
NAME: KEY CAPITAL LLC
ADDRESS: 38841 WOUND ROAD SUITE 207
STERLING HEIGHTS MI 48310
PHONE: 584-630-0338
EMAIL: dmuntz16@gmail.com



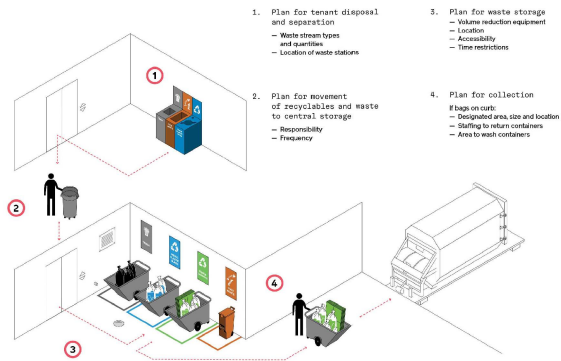
CONTENT	
POWER PLAN ELECTRICAL PLAN	
SCALE 1/16	
Draftsman	Drawn by
Reviewed	By
Approved	KEY CAPITAL LLC
	Stamp
	E1.1
Review	No. Pages
000	11/03/2018 10/18



AMENDMENTS		
No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT
APPLICANT INFORMATION		
NAME: REY CAPITAL LLC		
ADDRESS: 38841 BOUND ROAD SUITE 207		
STERLING HEIGHTS MI 48310		
PHONE: 584-634-0338		
EMAIL: dmartins16@gmail.com		

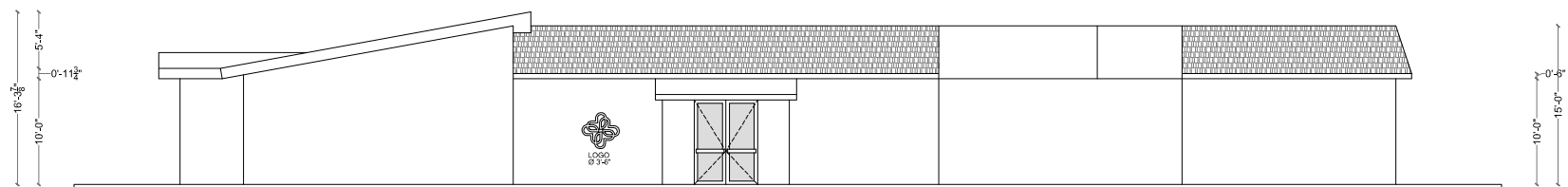
WASTE AND LITTER COLLECTION PLAN

WASTE AND LITTER DISPOSAL PLAN

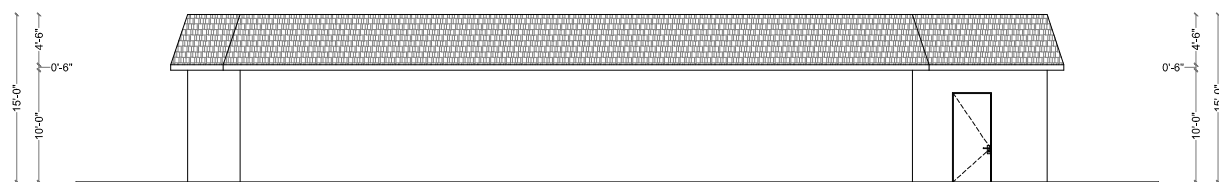


WASTE AND LITTER DIAGRAM

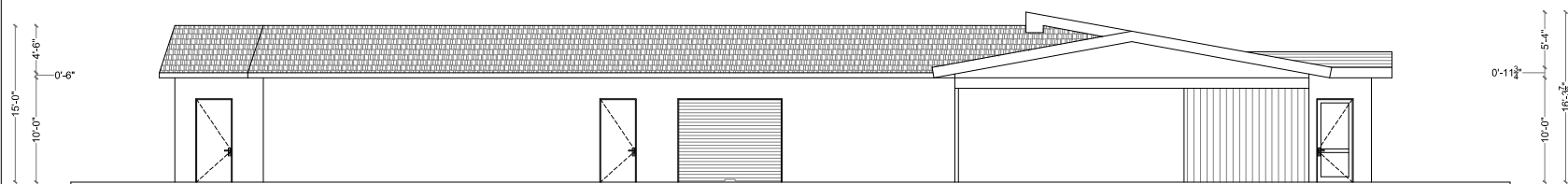
CONTENT	
WASTE AND LITTER REMOVAL PLAN	
SCALE	
N/A	
Draftsman	ALC
Reviewed	REY CAPITAL LLC
Approved	REY CAPITAL LLC
Revision	11/03/2018
Drawn	11/18



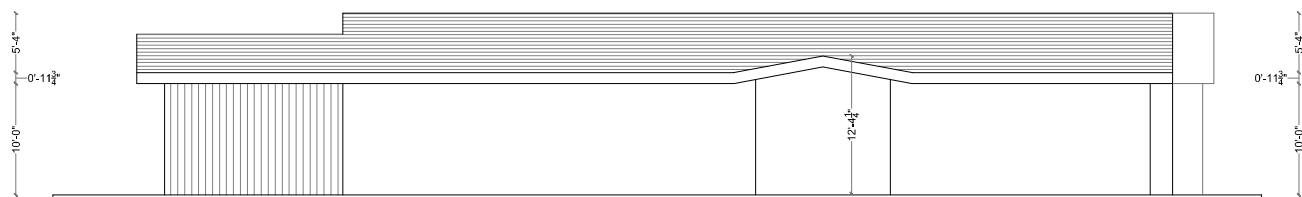
EAST SIDE ELEVATION (ENTRY)



NORTH SIDE ELEVATION



WEST SIDE ELEVATION



SOUTH SIDE ELEVATION

[illegible]

CONTENT PROPOSED ELEVATIONS	
SCALE 3/32	
Draftsman Reviewed Approved	Project no. 31 File AEY CAPITAL LLC Drawing A3.1
Review 03/26	11/05/2018 12/18
	Rev. 01



AMENDMENTS		
No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION
NAME: AET CAPITAL LLC
ADDRESS: 38841 BOUND ROAD SUITE 207
STERLING HEIGHTS MI 48310
PHONE: 584-630-6338
EMAIL: dmventus16@gmail.com

CONTENT	
AERIAL RENDER	
SCALE	
N/A	
Draftsman	Drawn by
Reviewed	By
Approved	Drawn by
	A4.1
Review	No. Page
000	11/05/2018 13/18

AERIAL RENDER

Attachment: Back up 18-53 (4126 : SPR #18-53)



EXTERIOR RENDER

AMENDMENTS		
No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT
APPLICANT INFORMATION		
NAME: AET CAPITAL LLC		
ADDRESS: 38841 WIND ROAD SUITE 207		
STERLING HEIGHTS MI 48310		
PHONE: 586-430-6338		
EMAIL: dmventura16@gmail.com		

Attachment: Back up 18-53 (4126 : SPR #18-53)

CONTENT	
EXTERIOR RENDER	
SCALE	
N/A	
Draftsman	Drawn by
Reviewed	By
	AET CAPITAL LLC
Approved	Stamp
	A4.2
Review	No. Page
000	11/05/2018 14/18



EXTERIOR RENDER

AMENDMENTS		
No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION
NAME: AET CAPITAL LLC
ADDRESS: 38841 WIND ROAD SUITE 207
STERLING HEIGHTS MI 48310
PHONE: 584-634-0338
EMAIL: dmventus16@gmail.com

CONTENT	
EXTERIOR RENDER	
SCALE	
N/A	
Draftsman	Drawn by
AD	AD
Reviewed	By
	AET CAPITAL LLC
Approved	Stamp
	A4.3
Review	No. Pages
000	11/05/2018 15/18
	Rev.
	01

Attachment: Back up 18-53 (4126 : SPR #18-53)



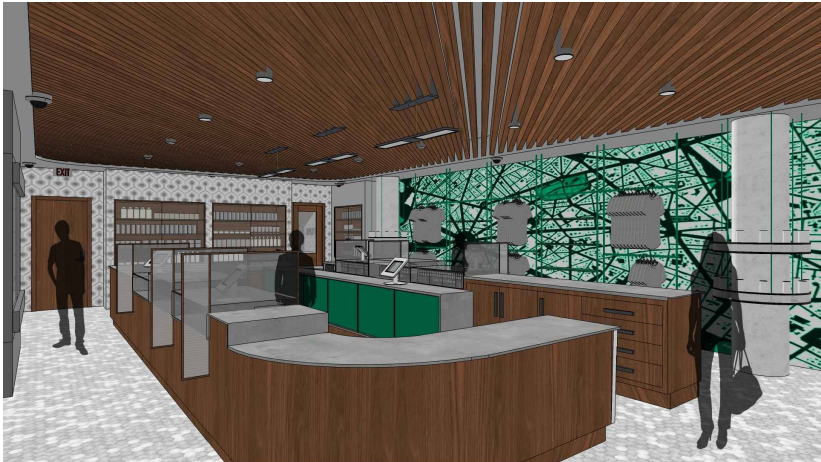
INTERIOR RENDER 01



INTERIOR RENDER 02



INTERIOR RENDER 03



INTERIOR RENDER 04

AMENDMENTS		
No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT
APPLICANT INFORMATION		
NAME: AET CAPITAL LLC		
ADDRESS: 38841 BOUND ROAD SUITE 207		
STERLING HEIGHTS MI 48310		
PHONE: 584-630-0338		
EMAIL: dmavatus16@gmail.com		

CONTENT	
INTERIOR RENDERS	
SCALE	
N/A	
Draftsman	Drawn by
Reviewed	By
Approved	Drawn by
	A4.4
Review	No. Pages
000	11/03/2018 16/18

	IT IS ILLEGAL UNDER STATE LAW TO DRIVE A MOTOR VEHICLE OR TO OPERATE MACHINERY WHEN UNDER THE INFLUENCE OF, OR IMPAIRED BY, MEDICAL MARIHUANA	NO ONE UNDER THE AGE OF EIGHTEEN (18) YEARS IS PERMITTED ON THESE PREMISES		AMENDMENTS <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Concept</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>11/03/18</td> <td>PARCEL SPLIT DOCUMENT</td> </tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table> APPLICANT INFORMATION NAME: AETI CAPITAL LLC ADDRESS: 34841 WIND ROAD SUITE 207 STERLING HEIGHTS MI 48310 PHONE: 584-834-0338 EMAIL: dmventura16@gmail.com	No.	Date	Concept	01	11/03/18	PARCEL SPLIT DOCUMENT																								
No.	Date	Concept																																
01	11/03/18	PARCEL SPLIT DOCUMENT																																
01 S1.0 UNAUTHORIZED PERSONNEL SIGN (24" x 36")	02 S1.0 MARIHUANA AND DRIVE SIGN (24" x 36")	03 S1.0 MARIHUANA AGE SIGN (24" X 36")	04 S1.0 HANDICAP PARKING SIGN (36" x 24")																															
		NO SMOKING, VAPING, OR CONSUMPTION OF ALCOHOL IS ALLOWED ON THE PREMISES	THE POSSESSION, USE, SALE, DISTRIBUTION, GROWING, CULTIVATION, AND TRANSPORTING OF MEDICAL MARIHUANA IS A VIOLATION OF FEDERAL LAW																															
05 S1.0 MONITORED BY CAMERA SIGN (24" x 36")	06 S1.0 VISITORS REPORT SIGN (24" x 36")	07 S1.0 NO SMOKING SIGN (24" X 36")	08 S1.0 MARIHUANA POSSESSION SIGN (24" X 36")																															
																																		
09 S1.0 NO FIRE ARMS OR WEAPONS SIGN (24" x 36")																																		
				CONTENT SIGNAGE SCALE N/A Draftsman A.C. Project No. Reviewed File AETI CAPITAL LLC Approved Drawing S1.0 Review Date 11/25/2018 No. Pages 18/18 Rev. 01																														

Attachment: Back up 18-53 (4126 : SPR #18-53)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 4125)

Meeting: 12/11/18 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Amber Abbey

Department Head: Bette Bigsby

F.1

DOC ID: 4125

SPR #18-52

By: Gregory Fenner
4071 S. Saginaw St.
Burton, MI 48529

Re: 4071 S. Saginaw St. Burton, MI 48529
59-32-501-005 / C-2 Zone

For: Flower shop

ATTACHMENTS:

- Back up 18-52 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 10-31-18

FEE: \$75.00

RECEIPT NO: _____

CHECK NO: Cash

SPR #: 18-52

PLEASE PRINT

DATE: _____

APPLICANTS NAME: Gregory A Fenner

APPLICANTS ADDRESS: 4071 S. Saginaw St Burton MI 48529

APPLICANTS PHONE NO: 810 922 5915

PROPOSED NAME OF BUSINESS: Fenner's Floral & Design Co.

SITE ADDRESS: 4071 S. Saginaw St Burton MI 48529

SUBDIVISION & LOT # OR PARCEL NUMBER: 1/2 Lot 17 all of Lot 18 and 19 of Bendlecrest (59-32-501-005 + 59-32-501-006)

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: Flower Shop

SQ FOOTAGE OF PROPERTY: 10,000 sq ft

SQ FOOTAGE OF STRUCTURE: 330 sq ft - commercial portion

NUMBER OF EMPLOYEES/SEATS: 1

APPLICANTS SIGNATURE: Gregory A Fenner

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Back up 18-52 (4125 : SPR #18-52)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 4127)

Meeting: 12/11/18 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Amber Abbey

Department Head: Bette Bigsby

F.2

DOC ID: 4127

SPR #18-54

By: AEY Capital, LLC.
34841 Mound Road Ste 297
Sterling Heights, MI 48310

Re: 1076 S. Belsay Rd. Burton, MI 48509
59-14-526-035 (pending split)

For: Medical Marijuana Provisioning Facility

ATTACHMENTS:

- Back up 18-54 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 11-6-18

FEE: \$75.00

RECEIPT NO: _____

CHECK NO: 1010

SPR #: 18-54

PLEASE PRINT

DATE: 11/2/2018

APPLICANTS NAME: AEY Capital, LLC

APPLICANTS ADDRESS: 34841 Mound Road Ste# 297

APPLICANTS PHONE NO: 586-630-8338

PROPOSED NAME OF BUSINESS: Nutri

SITE ADDRESS: 1076 Belsay Road, Burton, MI, 48509

SUBDIVISION & LOT # OR PARCEL NUMBER: Parcel ID 59-14-526-035 Parcel A, (Split approved 11/1/2018)

TYPE: ☒ CHANGE OF OWNERSHIP

☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: MMFLA Provisioning Center

SQ FOOTAGE OF PROPERTY: 47,946 sqft / 1.10 acres

SQ FOOTAGE OF STRUCTURE: 7,989 sqft

NUMBER OF EMPLOYEES/SEATS: Employees 16 - 24

APPLICANTS SIGNATURE: _____

*** ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

Attachment: Back up 18-54 (4127 : SPR #18-54)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 4128)

Meeting: 12/11/18 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Amber Abbey

Department Head: Bette Bigsby

F.3

DOC ID: 4128

SPR #18-55

By: Cornelius Hollis
7360 Crystal Lake Apt# 8
Swartz Creek, MI 48473

Re: 1394 E. Bristol Rd. Burton, MI 48529

For: Salon

ATTACHMENTS:

- Back up 18-55 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ZONING REVIEW

DATE FILED: 11-8-18

FEE: \$40.00

RECEIPT NO: _____

CHECK NO: Cash

SPR #: 18-55

PLEASE PRINT

DATE: 11/8/17

APPLICANTS NAME: Cornelius Hollis

APPLICANTS ADDRESS: 7360 Crystal Lake Apt #8 Swartz Creek MI 484

APPLICANTS PHONE NO: (810) 882-9210

PROPOSED NAME OF BUSINESS: Exclusive Cuts & Styles

PROPOSED TYPE OF BUSINESS: Salon

SITE ADDRESS: 1394 E. Bristol Rd. Burton MI 48529

USE OF STRUCTURE: Salon

SQ FOOTAGE OF PROPERTY: 11 square

SQ FOOTAGE OF STRUCTURE: _____

NUMBER OF EMPLOYEES/SEATS: 8 / 9 seats

APPLICANTS SIGNATURE: C. Hollis

*** ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

Attachment: Back up 18-55 (4128 : SPR #18-55)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 4129)

Meeting: 12/11/18 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Amber Abbey

Department Head: Bette Bigsby

F.4

DOC ID: 4129

SPR #18-56

By: City of Burton
4303 S. Center Rd.
Burton, MI 48519

Re: 4024 Atherton Rd. Burton, MI 48519
59-27-100-008

For: Construction less than 2% - Detached garage for storage only



Burton Planning Commission
4303 S. Center Road
Burton, MI 48519

Meeting: 12/11/18 05:00 PM
Department: Clerk's Office
Category: Events
Prepared By: Marcy Kimball
Department Head: Bette Bigsby

H.1

SCHEDULED

AGENDA ITEM (ID # 3772)

DOC ID: 3772

Master Plan Update