CITY OF BURTON

BURTON PLANNING COMMISSION MEETING

DECEMBER 11, 2018

MINUTES

Council Chambers	**Regular Meeting**	**5:00 PM**

4303 S. CENTER ROAD
BURTON, MI 48519

This meeting was opened by Chairperson Deb Walton at 5:00 PM.

A. PLEDGE OF ALLEGIANCE

B. ROLL CALL

Attendee Name	Title	Status	Arrived
Vaughn Smith	Councilman	Present	
Kevin Burge	Vice Chair	Present	
Mary Ann White	Commissioner	Present	
Tom Gorang	Commissioner	Present	
Deb Walton	Chairperson	Present	
John Benthall	Commissioner	Excused	
Kris Johns	Commissioner	Present	
Robert Johnson	Commissioner	Absent	

C. STAFF PRESENT

Amber Abbey, Planning/Zoning Superintendent
Racheal Boggs, Deputy Clerk

D. APPROVAL OF MINUTES

1. Planning Commission - Regular Meeting - Nov 13, 2018 5:00 PM

RESULT:	**ACCEPTED [5 TO 0]**
MOVER:	Tom Gorang, Commissioner
SECONDER:	Vaughn Smith, Councilman
AYES:	Smith, Burge, Gorang, Walton, Johns
ABSTAIN:	White
EXCUSED:	Benthall, Johnson

E. SPECIAL USE

1. SPR #18-53

By: AEY Capital, LLC.
34841 Mound Road Ste 297
Sterling Heights, MI 48310

Re: 1076 S. Belsay Rd. Burton, MI 48509

59-14-526-035 (pending split) C-2 Zone

For: Special use to conduct a medical marijuana provisioning facility

Mrs. Abbey said the Applicant has withdrawn. They have rescheduled for March 12, 2019. She encouraged the public present regarding this case to return in March.

RESULT:	**WITHDRAWN**

F. ADMINISTRATIVE SITE PLAN REVIEW

1. SPR #18-52

By: Gregory Fenner
4071 S. Saginaw St.
Burton, MI 48529

Re: 4071 S. Saginaw St. Burton, MI 48529
59-32-501-005 / C-2 Zone

For: Flower shop

2. SPR #18-54

By: AEY Capital, LLC.
34841 Mound Road Ste 297
Sterling Heights, MI 48310

Re: 1076 S. Belsay Rd. Burton, MI 48509
59-14-526-035 (pending split)

For: Medical Marijuana Provisioning Facility

3. SPR #18-55

By: Cornelius Hollis
7360 Crystal Lake Apt# 8
Swartz Creek, MI 48473

Re: 1394 E. Bristol Rd. Burton, MI 48529

For: Salon

4. SPR #18-56

By: City of Burton
4303 S. Center Rd.
Burton, MI 48519

Re: 4024 Atherton Rd. Burton, MI 48519
59-27-100-008

For: Construction less than 2% - Detached garage for storage only

G. AUDIENCE PARTICIPATION

Nathan Riddle of Burton would like to know if the local schools have been informed about this Special Use application. Bentley School Board is unaware this is being proposed. I assume the same is true for Genesee Christian. These schools are very close to this location. I don't know the distance requirement from schools.

Mrs. Abbey stated Bentley School is 1,400 feel away and Genesee Christian is about 1,100 feet away. The requirement is 1,000 feet. This is measured from a parcel ID map which shows the distance from property line to property line. We are only allowed to send out notification to everyone within 300 feet. We also post a legal notice in the Burton View 15 days prior to the meeting.

Mr. Riddle would like the Planning Commission to notify the schools.

Mrs. Walton stated it is not the job of the Planning Commission to notify them. It is up to the administration to do the notifications but only within 300 feet.

Mrs. Abbey asked Mr. Riddle to please encourage the School Board Members to come to the meeting on March 12, 2018 at 5:00 PM.

H. BOARD DISCUSSION

Mr. Burge asked if we have heard anything about Southmoor.

Mrs. Abbey stated they did a rezoning.

Mr. Burge asked about the 4000 block of Davison Road. The houses are gone and the business is for sale again. Has he dropped his plans?

Mrs. Abbey said no. His license was approved. I talked with him a couple weeks ago and he is still working with the state.

Mr. Burge asked about the traffic study specifically the de-acceleration lanes on Davison Road near General Motors.

Mrs. Abbey stated they are doing the finalization currently and it should be ready for the Planning Commission to see the final configuration at your next meetiing.

Mr. Burge asked if they are putting the lanes in.

Mrs. Abbey said yes. Those lanes were always intended. The de-acceleration lanes were part of the original site plan. They are required and going in right now. There are also more proposed changes that will help with the traffic congestion.

Mr. Smith asked what impact the recreational marijuana will have on the city.

Mrs. Abbey stated we have started getting some ideas together for what we as a city want to do for recreational marijuana as far as the acceptance of it. It is likely we will move forward with it. It's just a matter of what we will include in it and problems we had with the original ordinance that we may want to address. I have reviewed the law and recommend everyone look at it and see if you have ideas ahead of time before we put it in a draft form. If you see anything that is problematic for recreational that maybe wasn't problematic for medical, let us know.

Mr. Burge asked because it's recreational, can someone without a card go into these places? I would like to see the inside of one.

Mrs. Abbey said if and when we accept recreational and it is official, then yes.

Discussion regarding marijuana businesses allowing people to come in, State of Michigan laws and security measures.

Mr. Smith stated some governmental entities have chosen not to do the recreational side. Does the county determine this?

Mrs. Abbey stated not for us. In townships, the county sets the zoning in some cases; if they don't have their own Planning Commission, they can opt to use the county board. We have our own board, we set our own rules and the county doesn't override us.

Mr. Smith said he is looking for a cost-benefit analysis; why they are choosing not to participate so we can make a more informed decision as a Planning Commission.

Mrs. Abbey said that's the information we are going to find out. There aren't a lot of examples in Michigan that have opted in or out of recreational yet. This will be a process. We have one year from the date of the enactment of the law (December 6th) before the State of Michigan starts accepting licenses for the facilities. We have this year to work out the details.

Mr. Johns asked if the same protocol regarding the 300 foot requirement is used for places serving alcohol.

Mrs. Abbey stated the special use is what requires that. If it's a permitted use, there is no notification requirement. In this particular case, the reason for the Public Hearing and the notification is because this particular use requires a special use approval.

Mr. Johns stated there is no formal outrage to the effects of alcohol which to me is far more detrimental than marijuana. This is an interesting dichotomy between the two; what is real and what is perceived in terms of the public health effects.

Mrs. Abbey stated this is state law. If the state didn't do it this way then you wouldn't see municipalities doing it this way either. The comparison can't be made because these are two different uses in the state's law.

Mr. Gorang asked how many marijuana facilities we have in Burton.

Mrs. Abbey said we have eight provisioning centers.

Mr. Smith asked about the limit of marijuana facilities per population.

Mrs. Abbey stated the municipality would have to set a limit and we did not. There was no data to decide. What we did instead was set the distance requirements. By doing that, that's what sets the number. As long as the Zoning Board isn't issuing variances, it should work.

Mr. Burge asked if we have any grow facilities that are in production.

Mrs. Abbey said no. The state hasn't approved any in our jurisdiction. We have some that have applied and they are still waiting.

Mrs. Walton encouraged the Planning Commission to gather thoughts and ideas about this and bring them to the administration.

Mr. Smith asked what kind of input the City Council will have on this.

Mrs. Abbey stated they have final approval of ordinances. Council has two opportunities (first and second reading of an ordinance) to dive in and work out what they want to see and what they don't want to see in the ordinance. They are also welcome to come to any Planning Meeting and be a part of the conversation from the beginning.

Mr. Burge asked, What happened to the pay increase for the Chair people of Committees?

Mr. Smith stated he asked Mr. Hayman a couple times.

Mrs. Abbey asked if the City Council acted on it and approved it.

Mr. Smith said, yes but that was months ago and Mr. Hayman wasn't sure about the procedure and he had to check on it.

Mrs. Walton stated she was absent at the last meeting. In the minutes under board discussion regarding the Central Business District Overlay, Mr. Smith made a statement about not meaning to "downgrade" anyone. She feels as though this was a slam to her and should have been addressed with her personally. The ordinance was passed, so why bring it up again?

Mr. Smith said, I am sorry you felt that way. It was not my intent. I represent the Planning Commission to the City Council. It is my job to relay to them the information we cover in the Planning Meetings. Planning voted for the ordinance 7-0. There were side-bar discussions going on within the council that I knew nothing about and I wasn't sure it was going to pass. No one should be talking to the council without me being aware of it so I am prepared when things like this come up. It will make me more effective representing this body.

Discussion continued about the Central Business District Overlay Ordinance, having conversations with City Council that impact legislation and the role of the Planning Commission Council Representative.

1. Master Plan Update

Mrs. Abbey stated a public service announcement went out to the businesses on Saginaw Street and Center Road last Friday to remind them that they are responsible for sidewalk clearing during snow events. It talked about the City Master Plan and

pushing snow into the public right of way. Our implementation plan is on the wall in my office and as we do things, I am highlighting them. We are moving forward with the implementation of our Master Plan through these different actions.

Mr. Burge stated we don't have ordinances for moving snow into the right of way or blowing grass into the street.

Mrs. Abbey stated there is not. If there was, it would have to be a Police enforced ordinance because they would have to be caught in the act. Zoning ordinance violations are hardly ever caught in the act. The council may want to look at doing this through Legislative not the Planning Commission.

THE NEXT REGULARLY SCHEDULED MEETING WILL BE HELD ON TUESDAY, JANUARY 8, 2019 AT 5:00 PM.

Meeting was adjourned at 5:46 PM.

_____

CITY OF BURTON

BURTON PLANNING COMMISSION MEETING

NOVEMBER 13, 2018

MINUTES

Council Chambers	Regular Meeting	5:00 PM

4303 S. CENTER ROAD
BURTON, MI 48519

This meeting was opened by Commissioner Robert Johnson at 5:00 PM.

A. PLEDGE OF ALLEGIANCE

Mr. Johnson stated he would like to take a moment of reflection for those who have been in danger throughout the last couple of weeks in California. Please take your own personal moment of silence for them.

B. ROLL CALL

Attendee Name	Title	Status	Arrived
Vaughn Smith	Councilman	Present	
Kevin Burge	Vice Chair	Excused	
Mary Ann White	Commissioner	Excused	
Tom Gorang	Commissioner	Present	
Deb Walton	Chairperson	Excused	
John Benthall	Commissioner	Present	
Kris Johns	Commissioner	Present	
Robert Johnson	Commissioner	Present	

C. STAFF PRESENT

Amber Abbey, Planning/Zoning
Racheal Boggs, Deputy Clerk

D. APPROVAL OF MINUTES

1. Planning Commission - Regular Meeting - Oct 9, 2018 5:00 PM

RESULT:	**ACCEPTED [UNANIMOUS]**
MOVER:	Vaughn Smith, Councilman
SECONDER:	Tom Gorang, Commissioner
AYES:	Smith, Gorang, Benthall, Johns, Johnson
EXCUSED:	Burge, White, Walton

E. SITE PLAN REVIEW

1. SPR #18-50

By: First Response Restoration, LLC. (Amber Taylor, PM
4268 N. Linden Rd.
Flint, MI 48504

Re: 1270 S. Belsay Rd. Burton, MI 48509
59-14-526-015 / C-2 General Business

For: Addition to the building

Kurt Neiswender with Sedgewick & Ferweda Architects is here on behalf of the applicant, Amber Taylor of First Response Restoration. He stated this is for Bentley Florist on Belsay Road. They want to put an addition on to enclose the new walk-in cooler on the north east corner of the building. We will be matching the existing conditions of the building. This should not affect the parking count. There is an existing greenhouse that will be demolished and replaces with this new permanent addition to the building. The client has a seasonal business and they have had to park temporary cooler trucks in the parking lot at times when it is busy. This addition would minimize the impact to the parking lot and public circulation.

Mrs. Abbey stated the administration recommends approval.

RESULT:	**CARRIED [UNANIMOUS]**
MOVER:	John Benthall, Commissioner
SECONDER:	Vaughn Smith, Councilman
AYES:	Smith, Gorang, Benthall, Johns, Johnson
EXCUSED:	Burge, White, Walton

2. SPR #18-51

By: Titan Properties, LLC.
9572 Shelby Dr.
White Lake, MI 48386

Re: 4086 S. Dort Hwy. Burton, MI 48529
59-32-530-057 / M-1 Zoned

For: Expansion of existing facility with two new buildings

Steven Goff of White Lake stated with the expansion of this we are looking to continue the development of the vacant land between Diamond Jim's and Krauss Fire. We have an existing building there that is 1200 square feet where we operate an escape room. We are looking to add two manufacturing buildings one of roughly 15,000 square feet and the second of 3,000 square feet. This property has sat vacant for around 20 years prior to our purchase of it four years ago.

Mrs. Abbey stated the County Land Bank used to own this property. They removed the modular that was there and brought in this business with the intention of a medical marijuana provisioning center. It was approved at the time. The state law has changed and now they want to expand upon the existing facility. The large building in the back will be for grow and the other building will be for processing. We have had several meetings with Kirk Wilkinson from the Fire Department where we sat down with different sketches trying to make this as safe as possible. Kirk has

seen this for fire separation between the buildings. As a facility, safety wise it meets all the Fire Department requirements. As far as zoning, there are a few minor tweaks. They cannot meet the rear set-back with this size of building. However, the parcel behind them will be their detention pond. The administration recommends approval contingent upon the Zoning Board of appeals decision in December. Also, these are two separate parcels and they will be required to combine them and they are aware of that. They are also requesting a variance for the height of the fence.

Mr. Smith asked if the Police Department is on board with this.

Mrs. Abbey stated the property meets the ordinance. The police enforce the law. There hasn't been any security plans submitted yet but the police will sign off on anything concerned with that.

RESULT:	**CARRIED [UNANIMOUS]**
MOVER:	Tom Gorang, Commissioner
SECONDER:	Vaughn Smith, Councilman
AYES:	Smith, Gorang, Benthall, Johns, Johnson
EXCUSED:	Burge, White, Walton

F. ADMINISTRATIVE SITE PLAN REVIEW

1. SPR #18-48

By: Chester Harvey
5186 Fern Ave.
Grand Blanc, MI 48439

Re: 3048 E. Hemphill Rd. Burton, MI 48529
59-28-300-009 M-1 Zone

For: Air Compressor Sales

No discussion.

2. SPR #18-49

By: Prestige Promotions, LLC.
4288 S. Saginaw St.
Burton, MI 48529

Re: 4288 S. Saginaw St. Burton, MI 48529

For: Business Office

No discussion.

G. AUDIENCE PARTICIPATION

None.

H. BOARD DISCUSSION

Mr. Smith stated the Burton City Council approved the Central Business District Overlay by a vote of 4-3. It was a close vote because there were still some reservations by people who were concerned about what it would do. Madam Chair was concerned that what Mrs. Abbey said in the Planning meeting in terms of restrictions was different than what Mr. Abbey said at the City Council Meeting.

Mrs. Abbey stated she was told the Planning Commission still had questions that had gone unanswered at that meeting. When the Planning Commission passed it with a vote of 7-0, the assumption was that everyone was comfortable with it. I was confused by that. Moving forward with ordinances, we need to make sure the board members get their questions answered and are comfortable before we send them to City Council for approval.

Mr. Johnson stated when we make decisions, they should be well thought out and we should be locked into that decision.

Mrs. Abbey stated at the last meeting AJ Imports came before the board and did a site plan for a 40x80 two story building. After going to bid to have the work done, he would like to make a change to reduce the height of the building and add ten feet to the side. So, basically it becomes a 50x80 building without a second story. He brought me a sketch. Does the board want to see a full site plan again or is the change insignificant to the actual project that it doesn't make a difference.

Mr. Smith asked what Mrs. Abbey's thoughts are on this.

Mrs. Abbey stated he is well within the set-backs so adding the ten feet in my opinion isn't a significant change to the site plan. There is plenty of drainage there. To make him pay to do a whole new site plan is very expensive.

The board had agreed to allow the change without an additional site plan.

Mr. Johns thanked Ms. Abbey for the common sense approach on this. This is a sensible solution and a minor adjustment. It really shows how flexible the City of Burton is in accommodating businesses.

Mr. Smith stated regarding the discussion about the Central Business District Overlay, he doesn't mean to downgrade anyone by his previous statement. Each individual has their own beliefs and thoughts and they should be respected. We do need to all be on board with the decisions we make.

Mrs. Abbey stated once the Planning Commission approves something, it should move forward. She is unsure of what type of misunderstanding took place and she didn't see the City Council Meeting. It sounded like some of the council members still had questions but she isn't sure what those were because it wasn't very specific.

Mr. Smith stated there was a feeling with a portion of the council that this ordinance would take the power away from the Planning Commission, Zoning Board of Appeals and City Council regarding their approval for new development in the city. Mr. Abbey assured them that there would not be any changes in the way the city operates with the approval of the ordinance.

Mrs. Abbey stated if there was a certain section that made them feel that way, it would have been helpful to know what the section was so we could modify the wording. We don't

want to adopt ordinances that our own people can't understand. If we understand it, the general public will be able to understand it. They will be the ones reading it and making decisions based on it.

Mr. Smith stated he was concerned that if we tabled this ordinance, it would be difficult to get it back.

Mrs. Abbey stated that is true but we want ordinances to read friendly to someone outside of us. We don't want to approve something for the sake of not having to table it. We could have easily modified something to make it easier to understand. In the future, if an individual has an issue with something that is in writing, I would ask that we address it before we go to council or even at the council level. The ultimate goal is for the public to be able to understand it.

1. Master Plan Update

   No discussion.

THE NEXT REGULARLY SCHEDULED MEETING WILL BE HELD ON TUESDAY, DECEMBER 11, 2018 AT 5:00 PM.

Meeting was adjourned at 5:28 PM.

WITHDRAWN

AGENDA ITEM (ID # 4126)

DOC ID: 4126

SPR #18-53

By: AEY Capital, LLC.
34841 Mound Road Ste 297
Sterling Heights, MI 48310

Re: 1076 S. Belsay Rd. Burton, MI 48509
59-14-526-035 (pending split) C-2 Zone

For: Special use to conduct a medical marijuana provisioning facility

COMMENTS - Current Meeting:

Mrs. Abbey said the Applicant has withdrawn. They have rescheduled for March 12, 2019. She encouraged the public present regarding this case to return in March.

ATTACHMENTS:

- Back up 18-53 (PDF)

RESULT: WITHDRAWN

City of Burton

Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230

Date Filed: 11-6-18
Fee Paid: $600.00
Receipt #:
Check #: 1010
Received by:
Date Mailed: 11-19-18

APPLICATION FOR PLANNING COMMISSION SPECIAL USE:

BCPC Case #: 18-53

PLEASE PRINT

DATE OF PLANNING COMMISSION HEARING: **12/11/2018** AT **5** P.M.

APPLICANTS NAME: **AEY Capital LLC**

APPLICANTS ADDRESS: **34841 Mound Road Suite 297**

CITY: **Sterling Heights, MI 48310**

APPLICANTS PHONE: **586-630-8338**

ADDRESS AND PARCEL OR LOT NUMBER: **1076 Belsay Road, Burton, MI, 48509**

59-14-526-035 (Parcel A, Split approved 11/1/2018)

NATURE OF REQUEST (PERMITTED USE AFTER SPECIAL APPROVAL):

Medical Marihuana Provisioning Center under the MMFLA

APPLICANTS SIGNATURE:

MANDATORY ATTENDANCE AT THE ABOVE MEETING IS ACKNOWLEDGED BY THE APPLICANTS SIGNATURE.

Section of the Zoning Ordinance pertaining to Special Use Approvals

#

157.177 SPECIAL APPROVALS; PLANNING COMMISSION POWERS AND DUTIES.

The Planning Commission, as herein created, shall have the following specific powers and duties concerning special approvals.

(A) Purpose. In hearing and deciding upon special approvals, the Planning Commission shall base its actions on the theory that the development and execution of a comprehensive zoning ordinance is founded upon the division of the city into districts within which districts the use of land and buildings and the bulk and location of buildings and structures in relation to the land are substantially uniform. It is recognized, however, that there are variations in the nature of special uses which, because of their unique characteristics, cannot be properly classified in any particular district or districts without consideration in each case of the impact of those uses upon neighboring land and of the public need for the particular use at the particular location. These special uses fall into 2 categories:

(1) Uses either municipally operated or operated by publicly regulated utilities or uses traditionally affected with a public interest; and

(2) Uses entirely private in character but of such an unusual nature that their operation may give rise to unique problems with respect to their impact upon neighboring property or public facilities.

(B) Authorization. The special approval of specific land uses and activities, as required under §§ 157.035(C), 157.036(C), 157.043(C), 157.044(C), 157.046(C), and 157.047(C), may be authorized by the Planning Commission pursuant to the requirements of this section.

(C) Application. An application for special approval for a land use shall be filed and processed in the manner prescribed for application for site plan review in § 157.092 and shall be in that form and accompanied by that information as shall be established from time to time by the Planning Commission. Any application for special land use approval shall be filed simultaneously with an application for site plan review for the subject use.

(D) Notice of request for special approval. Notice of a request for special approval of a land use shall be in the form of 1 notice published in a newspaper of general circulation in the city, plus a notice sent by mail or by personal delivery to the owners of property for which approval is being considered, to all persons to whom real property is assessed within 300 feet of the boundary of the use in question, and to the occupants of all structures within 300 feet, except that the notice shall be given not less than 5 and not more than 15 days before the application will be considered.

$)% <M [OL UHTL VM [OL VJJ\WHU[PZ UV[RUV^U& [OL [LYT cVJJ\WHU[d TH` IL \ZLK PU THRPUN notification. Notification need not be given to more than 1 occupant of a structure, except that if a structure contains more than 1 dwelling unit or spatial area owned or leased by different

individuals, partnerships, businesses, or organizations, 1 occupant of each unit or spatial area shall receive notice.

(2) In the case of a single structure containing more than 4 dwelling units or other distinct spatial areas owned or leased by different individuals, partnerships, businesses, or organizations, notice may be given to the manager or owner of the structure, who shall be requested to post the notice at the primary entrance to the structure. The notice shall:

(a) Describe the nature of the special land use request;

(b) Indicate the property which is the subject of the special land use request;

(c) State when and where the special land use request will be considered;

(d) Indicate when and where written comments will be received concerning the request; and

(e) Indicate that a public hearing on the special land use request may be requested by a property owner or the occupant of a structure located within 300 feet of the boundary of the use being considered for a special use.

(E) Hearing. At the initiative of the Planning Commission, or upon the request of the applicant for special approval of a land use, or a property owner or the occupant of a structure located within 300 feet of the boundary of the use being considered, a public hearing shall be held with notice as provided in subsection (D), before a decision on the special approval request is made. If the applicant or the Planning Commission requests a public hearing, only notification of the public hearing need be made and no notice of request for special approval, as provided in subsection (D), is required. A decision on a special approval request which is based on discretionary grounds shall not be made unless notification of the request for special approval, or notification of a public hearing on a special approval request is given as required by this section.

(F) Standards. No special approval shall be granted by the Planning Commission unless the special use:

(1) Will reasonably promote the use of land in a socially and economically desirable manner for those persons who will use the proposed land use or activity, for those landowners and residents who are adjacent, and for the city as a whole;

(2) Is compatible with adjacent uses of land;

(3) Is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected;

(4) Can be adequately served by public services and facilities without diminishing or adversely affecting public services and facilities to existing land uses in the area;

(5) Will reasonably protect the natural environment and help conserve natural resources and energy;

(6) Is within the provisions of uses requiring special approval as set forth in the various zoning districts herein, is in harmony with the purposes and conforms to the applicable regulations of the zoning district in which it is to be located, and meets applicable site design standards for the particular use; and

(7) IZ YLSH[LK [V [OL]HSPK L_LYJPZL VM [OL JP[`eZ WVSPJL WV^LY HUK W\YWVZLZ ^OPJO HYL HMMLJ[LK by the proposed use or activity.

(G) Approval. Planning Commission may deny, approve, or approve with conditions, requests for special approval of a land use. The decision on a special approval shall be incorporated in a statement of conclusions relative to the specific land use under consideration. The decision shall specify the basis for the decision, and any conditions imposed. If, within 15 days of the decision of the Planning Commission, there is an objection by the applicant or by a property owner or occupant of a structure within 300 feet of the special use being considered, then the matter shall be referred to the City Council for review and action.

(H) Record. The conditions imposed with respect to the special approval of a land use or activity shall be recorded in the record of the special approval action and shall remain unchanged except upon the mutual consent of the Planning Commission and the landowner. The Planning Commission shall maintain a record of changes granted in conditions.

@/?4 "$)*#" '%("&*&&#*

>A2/F9A@ &%*)ID 04=D/K C3 0HCEA@ ?L ' +(%,

BCA;42 34D2C BF9A@

MEDICAL MARIHUANA PROVISIONING CENTER FOR REGISTERED PATIENTS

DUST, ODOR, SMOKE, FUMES, NOISE, LIGHTS, OR OTHER FEATURES

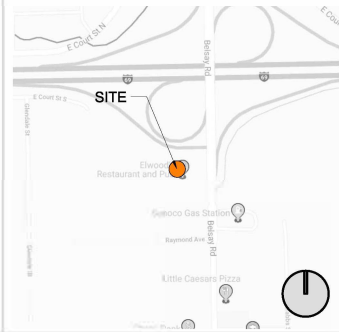
LANDSCAPING, RESURFACED AND CLEANED UP PARKING LOT, NEW SIGNAGE, ADDITIONAL LIGHTING

BCA;42 3/F/

LOT AREA:	1.10 ACRES
APN:	59-14-526-035 PARCEL A, (SPLIT APPROVED 11/01/2018)
SUBDIVISION:	CARDINAL GARDENS
COUNTY:	GENESSE COUNTY
ZONING DISTRICT:	GENERAL BUSINESS DISTRICT, C2.
LEGAL DESCRIPTION:	PAR T OF LOTS 43 THRU 46 BEGI NNI NG 501°09'E, 708.45 FEET, AND 588°21'22'W, 75.0 FEET, AND 501°09'E 74.85 FEET FROM THE ' <5-- > [illegible] ?BSCI0.0/ /5[illegible]X[illegible]D*[illegible] ?5C/0.3820 (FEET) THENCE N61°3939'W,174.55 FEET; [illegible] ?5C/ [illegible] A CHORD BEAR NI OF 573°03'E 38.31 FEET; THENCE S54°29'E, 114.94 FEET TO PLACE OF BEGINNI NG. CONTAIN NG 1.10ACRES OF LAND MORE OR LESS, SUBJECT TO ALL EASEMENTS OF RECORD.
FLOOD ZONE:	THIS PROPERTY IS NOT IN A FLOOD ZONE.
BUILDING STRUCTURE INFO:	FREE STANDING BUILDINGS (RETAIL - YEAR BUILT 1974)
GENERAL BUILDING AREAS:	

AREAS	GROSS AREA
SITE	%&' ' , *?)-&
BUILDING	+'- , - 2 1/ / 3(

>A2/F9A@ ? / B @AF GA D2/>4



B/C<@6 DH??/CK

REQUIRED PARKING: 1 PARKING FOR EACH 150 SQ. FT.
7,969 SQ. FT. / 200 = 39.84 = **40 SPACES**

PARKING PROVIDED:

- STANDARD STALL 46 SPACES
- ADA (ACCESSIBLE PARKING SPACE) 4 SPACES

TOTAL **50 SPACES**

- BICYCLE PARKING 24 SPACES

/00C4 8/F9A@D

A.F.F.	ABOVE FINISH FLOOR	JAN.	JANITOR
ADH.	ADHERE	JT.	JOINT
ADJ.	ADJACENT/ADJUSTABLE		
A/C	AIR CONDITIONING/ER	# ?	LAMINATE
ALUM.	ALUMINUM	LTG.	LIGHTING
TH.	THRESHOLD		
&	AND	MACH.	MACHINE
" ;	ANGLE	MF'GR.	MANUFACTURER
APPROX.	APPROXIMATE	MAS.	MASONRY
@	AT	MAX.	MAXIMUM
		MECH.	MECHANICAL
B.#BOT.	BOTTOM	MTL.	METAL
BLK./BLKING	BLOCK/BLOCKING	MIN.	MINIMUM
BD.	BOARD		
		N.	NET
CAB.	CABINET	NOM.	NOMINAL
CEM.	CEMENT	N.I.C.	NOT IN CONTRACT
CLG.	CEILING	#	NUMBER
C.L./C	CENTERLINE		
CLR.	CLEAR	O.	OWNER
CERM.	CERAMIC	O.F.C.I.	OWNER FURN., G.C. INST.
.	CHANNEL	&%]	ON CENTER
COL.	COLUMN	OPP.	OPPOSITE
CONC.	CONCRETE		
CTR.	COUNTER	P./PT.	PAINT/POINT
C.M.U.	CONCRETE MASONRY UNIT	PLAS. LAM./P.L.	PLASTIC LAMINATE
CONST.	CONSTRUCTION	PL.	PLATE
CONT.	CONTINUOUS	PLYWD.	PLYWOOD
CONTR.	CONTRACTOR	POL.	POLISHED
D.	DEPTH	QTY.	QUANTITY.
DEMO	DEMOLITION	Q.T.	QUARRY TILE
DIA/Ø	DIAMETER		
DIF.	DIFFUSER	R/RAD.	RADIUS
DR.	DOOR	R.A./R/A	RETURN AIR
DN.	DOWN	RECP.	RECEPTACLE
DWG.	DRAWING	REINF.	REINFORCED
		RECIRC.	REQUIRED
EA.	EACH	RM.	ROOM
ELEC.	ELECTRIC/ELECTRICAL	R.O.	ROUGH OPENING
EQUIP.	EQUIPMENT		
EXIST./(E)	EXISTING	S.A./S/A	SUPPLY AIR
E.J.	EXPANSION JOINT	SCHED.	SCHEDULE
EXT./EXTR.	EXTERIOR	S.SK.	SERVICE SINK
		S.S./%%%%%"	STAINLESS STEEL
FIN.	FINISH/FINISHES	SHT.	SHEET
FIN. FLR./F.F.	FINISH FLOOR	SIM.	SIMILAR
F.P.	FIRE PROOF	?%@	SOLID CORE
F.R.	FIRE RESISTANT	SK.	SINK
F.S.E.	FOOD SERVICE EQUIPMENT	SPEC.	SPECIFICATION
F.S.E.Q.	FOOD SERVICE EQUIPMENT CONT.	STL.	STEEL
FIXT.	FIXTURE	STO./STOR.	STORAGE
FLR.	FLOOR	STRUCT.	STRUCTURE/STRUCTURAL
FL.UOR.	FLUORESCENT	SUSP.	SUSPENDED
FRAM'G.	FRAMING		
FR.	FROM	T.	TOP/TILE
FURN.	FURNISH/FURNISHING	TEMP.	TEMPORARY
		T.V.	TELEVISION
GALV.	GALVANIZED	TH.	THICK/THRESHOLD
GA.	GAUGE	T.F.	TAPE, FLOAT TAPE
G.C.	GENERAL CONTRACTOR	T.F. &P.	FLOAT & PAINT
GYP	GYPSUM	TYP.	TYPICAL
GYP. BD.	GYPSUM BOARD		
		VAR.	VARIES
HDW.	HARDWARE		
HVAC	HEATING, VENTILATING & AIR	( )	WIDTH
HT./H./HGT.	HEIGHT	W.R.	WATER RESISTANT
H.C.	HOLLOW CORE	[ ]^[]	WEATHER STRIP
HR.	HOUR	#^[	WITH
		WD.	WOOD
INCL.	INCLUDING/INCLUSIVE		
INSUL	INSULATION/INSULATE		
INT./INTR	INTERIOR		

64@4C/>1H9>3@6I@AF4D

GENERAL

1. ALL WORK, MATERIALS AND METHODS SHALL BE IN CONFORMANCE WITH THE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION.
2. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS AS BEING NOT IN CONTRACT (N.I.C.) OR EXISTING, ALL ITEMS, MATERIALS AND INSTALLATION OF SAME ARE PART OF THE CONTRACT AS DEFINED BY THE CONSTRUCTION DOCUMENTS. THE ASSEMBLES REQUIRED FOR THE WORK DEPICTED OR SPECIFIED.
3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL GENERAL CONDITIONS ASSOCIATED WITH THE PROJECT, INCLUDING SECURING THE SITE, ON-SITE AND OFF-SITE BARRIERS AND PROTECTION, SECURITY AND PROTECTION AT ADJACENT PROPERTIES, AT INTERIOR LOT LINES, TEMPORARY UTILITIES, ETC. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE COMMENCING WORK. REPORT ANY DISCREPANCIES AND/OR POTENTIAL PROBLEMS TO THE OWNER PRIOR TO PROCEEDING WITH AFFECTED WORK.
5. CONTRACTORS ARE RESPONSIBLE FOR ALL WORK REGARDLESS OF THE LOCATION OF THE INFORMATION ON THE DOCUMENTS.

SAFETY/EXITING

6. CONTRACTOR SHALL PROVIDE AND IS SOLELY RESPONSIBLE AND LIABLE FOR PUBLIC AND EMPLOYEE PROTECTION AS NECESSARY AND AS REQUIRED BY THE CODES, INCLUDING EXTERIOR PEDESTRIAN AND TRAFFIC BARRIERS. ALL WORK SHALL CONFORM TO ORDINANCES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION.
7. EXIT SIGNS WHERE NOTED OR REQUIRED SHALL BE WORDED "EXIT" IN LETTERS HAVING THE PRINCIPLE STROKE OF NOT LESS THAN 3/4" WIDE AND AT LEAST 6" HIGH AND SHALL CONFORM TO CODES AND/OR APPLICABLE REGULATIONS.
8. ALL FIRE-RATED ASSEMBLES SHALL BE INSTALLED, LABELED, AND INSPECTED IN ACCORDANCE WITH THE UNIFORM BUILDING CODE.
9. ALL RAMPS SHALL HAVE A HEAVY BROOM FINISH UNLESS OTHERWISE NOTED. SEE PLANS AND DETAILS.
10. ALL FLOORS IN PUBLIC AREAS SHALL BE OF NON-SLIP TACTILE SURFACE IN COMPLIANCE WITH THE HEALTH AND SAFETY CODES OF THE PREVAILING MUNICIPAL CODE.
11. FIRE DAMPERS OR FIRE DOORS SHALL BE PROVIDED WHERE AIR DUCTS OR OPENINGS PENETRATE FIRE RATED SURFACES.
12. GOVERNING CODES AND THE FIRE DEPARTMENT FIELD INSPECTOR SHALL DICTATE SIZE, TYPE, QUANTITY AND LOCATIONS OF BOTH TEMPORARY AND PERMANENT FIRE EXTINGUISHERS.
13. EXIT DOORS MUST OPEN OVER A LANDING NOT MORE THAN 1/2" MAX. BELOW THE THRESHOLD, PER COMPLIANCE WITH A.D.A. REQUIREMENTS.

COORDINATION

14. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION AMONG HIS VARIOUS SUBCONTRACTORS.
15. IN THE EVENT OF DISCREPANCIES BETWEEN ANY DRAWINGS AND/OR SPECIFICATIONS, THE MORE COSTLY OR MORE RESTRICTIVE CONDITIONS SHALL BE DEEMED THE CONTRACT REQUIREMENT UNLESS OTHERWISE STATED IN WRITING FROM THE OWNER.
16. GENERAL CONTRACTOR SHALL COORDINATE ALL UNDERGROUND ITEMS WITH THE PLUMBING, REFRIGERATION AND ELECTRICAL DRAWINGS.
17. VERIFY LOCATIONS OF ALL CEILING ACCESS PANELS WITH MECHANICAL, PLUMBING AND ELECTRICAL PLANS. ACCESS PANELS SHALL BE FURNISHED AND INSTALLED WITH A FIRE RATING EQUAL TO THE WALL OR CEILING ASSEMBLY INTO WHICH THEY ARE TO BE INSTALLED. FINISH AND LOCATION SHALL BE APPROVED BY A.S.P.I. PRIOR TO INSTALLATION.
18. CONTRACTOR SHALL VERIFY DIMENSIONS OF ALL EQUIPMENT PADS AND BASES WITH EQUIPMENT MANUFACTURERS AND SHALL VERIFY ALL SIZES AND LOCATIONS OF DUCT OPENINGS ON ROOF AND INTERIOR SHAFTS.
19. GENERAL CONTRACTOR SHALL NOTIFY ALL APPLICABLE LOCAL GOVERNING AUTHORITIES AND UTILITIES PRIOR TO COVERING UP ANY WORK REQUIRING INSPECTION.

MISCELLANEOUS

20. WHERE GAS SERVICE IS BEING PROVIDED, CONTRACTOR TO PROVIDE AN OUTSIDE GAS SHUT-OFF VALVE CONSPICUOUSLY MARKED.
21. PROVIDE GALVANIC PROTECTION BETWEEN DISSIMILAR MATERIALS, WHERE REQUIRED.
22. PROVIDE METAL TRIM OR CASING AT ALL EDGES OF PLASTER AND DRYWALL SURFACES WHERE IT TERMINATES OR MEETS ANY OTHER MATERIAL, UNLESS NOTED OTHERWISE.
23. PROVIDE METAL CORNER BEADS AT ALL OUTSIDE CORNERS OF PLASTER AND DRYWALL SURFACES, UNLESS NOTED OTHERWISE.
24. CONTRACTOR TO PROVIDE WOOD BLOCKING BEHIND ALL TOILET ROOM ACCESSORIES, GRAB BARS HANDRAILS, WOOD TRIM AND WALL MOUNTED FIXTURES.
25. INTERIOR CONCRETE SLABS SHALL BE POURED LEVEL (UNLESS OTHERWISE INDICATED) WITH AN 1/8" TOLERANCE ON A 10'-0" EDGE IN ANY GIVEN DIRECTION.
26. ALL DIMENSIONS ARE TO THE FACE STUD WALL OR MASONRY UNLESS NOTED OTHERWISE.
27. PENETRATIONS THROUGH ANY SURFACE SHALL BE THOROUGHLY SEALED WITH APPROPRIATE SEALANT MATERIAL.
28. UNLESS OTHERWISE NOTED, ALL EXTERIOR AND INTERIOR EXPOSED METAL, TRIM, TREILLAGE, RAILINGS, MOLDINGS, FRAMES, CASTINGS, ETC., SHALL BE PAINTED.
29. ALL TOILET ROOMS SHALL BE VENTILATED WITH 12 AIR CHANGES PER HOUR BY MECHANICAL MEANS. SEE APPLICABLE DRAWINGS.
30. THE CONTRACTOR SHALL WRAP OR OTHERWISE PROVIDE PROTECTION FOR UNDERGROUND UTILITY LINES IF REQUIRED BY THE SOILS REPORT.
31. CONTRACTOR TO CONFIRM LOCATIONS OF ANY EXISTING UTILITY STUBS AND ADVISE OWNER OF ANY MAJOR DISCREPANCIES.
32. CONTRACTOR TO MAKE ARRANGEMENTS WITH THE OWNER FOR CONSTRUCTION STAGING AND OBTAIN ALL NECESSARY CITY APPROVALS.
33. SUBSTITUTIONS: AN APPROVAL LETTER SIGNED BY THE OWNER IS REQUIRED FOR ALL SUBSTITUTIONS. A SHOP DRAWING STAMP, REGARDLESS OF HOW IT IS MARKED, IS NOT AN APPROVAL FOR SUBSTITUTION. SEE SPEC FOR ADDITIONAL INFORMATION.

FIRE DEPARTMENT NOTES

1. INTERIOR WALL AND CEILING FINISHES FOR ASSEMBLY AND CONFERENCE ROOM AREAS SHALL NOT EXCEED A FLAME SPREAD CLASSIFICATION OF 200 (CLASS C).
2. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A OR 2A:10B:C WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR; ALSO DURING CONSTRUCTION.
3. ANY DECORATIONS USED SHALL BE NON-COMBUSTIBLE OR FLAME-RETARDANT TREATED IN AN APPROVED MANNER (CURTAINS, DRAPES, SHADES, HANGINGS, ETC.)
4. EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING ANY HAZARDOUS AREA OR WHEN SERVING AN OCCUPANT LOAD OF 50 OR MORE.
5. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, OR SPECIAL KNOWLEDGE OR EFFORT, SPECIAL LOCKING DEVICES SHALL BE AN APPROVED TYPE.
6. LIGHTING SHALL BE PROVIDED FROM AN EMERGENCY POWER SYSTEM. EMERGENCY LIGHTING SHALL GIVE A VALUE OF ONE FOOT CANDLE AT FLOOR LEVEL. SEE ELECTRICAL DRAWINGS.
7. EXIT PATH LIGHTING SHALL BE PROVIDED FOR STAIRWAY, HALLWAY, EXIT PASSAGEWAY AND EGRESS TO A PUBLIC WAY ANY TIME THE BUILDING IS OCCUPIED. SEE ELECTRICAL DRAWINGS.

D744F9@34J

BUILDING CODE 2015 MICHIGAN BUILDING CODE FOR EXISTING BUILDING
2015 NATIONAL ELECTRIC CODE
2015 NATIONAL PLUMBING CODE
2015 MICHIGAN MECHANICAL CODE

" #)%' $)& (*

No.	-	Concept:
01	11/03/18	PARCEL SPLIT DOCUMENT
"	# # #	$ # # # # # # # # # # # # #
"	# # #	$ # # # # # # # # # # # # #
"	# # #	$ # # # # # # # # # # # # #
"	# # #	$ # # # # # # # # # # # # #
"	# # #	$ # # # # # # # # # # # # #
"	# # #	$ # # # # # # # # # # # # #

APPLICANT INFORMATION

NAME: AEY CAPITAL LLC
ADDRESS: 34941 MOUND ROAD SUITE 297
STERLING HEIGHTS MI 48310
PHONE: 586-630-8338
EMAIL: dmventure16@gmail.com

#$ AF>DP>K`MC`REB`K>P HT>L>`C>@ JRX L@JTA LD ?TR`LMR`J K RBA`RM `QZB`>LA`A KBLQ MLQ`[QBB`QEBBR`>0'0];`QNB@ C@>R MLQ`\` NEXQF@>J`>AAPBQQ`[0/76`Q*`?BJQ>X`PA*`?TPRML K @E \`485/9+];`JM@>R MLMC`@MK KML`BLRPXV>XQ \`AMMPV>XQ N>QQ>DBV>XQ KB>LQMC`NT?J @`BLRPX`MP`BW R`[QBB`QEBBR`>0'0]< J K RBA`>@@BQQ`>PB>`V RE L`REB`C>@ JRX`[QBB`QEBBR`>0'0]- >LA`LA@>R MLQMC` REB`A QR L@R`>PB>Q`MP`QRPT@RTPBQ`>R`REB`Q>KB`JM@>R ML`>Q`NPMU ABA`L`REB`PTJB`24`MC`REB`PTJBQ,`

#$ CJMMP`NJ>L`AP>V L`RM`Q@>JB QEMV L D`REB`J>XMTR`MC`REB`K>P HT>L>`C>@ JRX`>LA`REB`NP L@N>J`TQBQ`MC`REB`CJMMP`>PB>` ABN RBA`REBPB L `\QBB`QEBBR`>0<2]`L@JTA LD`A K BLQ MLQ`[QBB`QEBBR`>0<2]\`K>W K TK`QRMP>DB`@>N>?J RBQ`\Q>CB`PMMK `"`25/!\///`TQA`U>JTB L`248`QO- CR-`>NNPMWFK>RBJX`3/`A>XQ L UBLRMPXJ\`LTK?BP`MC`PMMK Q`[15`PMMK Q`(`QBB`QEBBR`>0<2];`A U A LD`QRPT@RTPBQ C P B`V>JJQ`[QBB`QEBBR`>0<2];`BLRP>L@BQ>LA`BW R Q>L`ABR>J BA`ABN@R ML`MC`VEBPB>LX`TQBQ`MREBP`RE>L`K>P HT>L>`PBJ>RBA` TQBQ>LA`NPMNMQBA`RM`M@@TP L`REB`NPBK QBQ`

#, $>`ABR>J BA`ABQ@P NR ML`MC>JJ`K>P HT>L>`QRMP>DB`C>@ JRX BQ>LA`BOTFNKBLR` L@JTA LD`BL@JMQBA`JM@ I BA`C>@ JRX BQ`[QBB` QEBBR`>0<2>LA`>2-0];`\ C>LX\>Q`K>X>?B`PBOT PBA`?X`REB`>@R-`QRMP>DB`MC`K>P HT>L>`QE>JJ`@MKNJX`V RE>NNJ@>?JB`PTJBQ` >AMNRBA`NTPQT>LR`RM`QB@R ML`2/6`MC`REB>@R`

#U $`KB>LQ`MC`BDPBQQ`\QBB`QEBBR`>0'0*;`L@JTA LD`?TR`LMR`J K RBA`RM`ABJ UBPX`>LA`RP>LQCBP`NM LRQ`

#U $`C`REB`NPMNMQBA`K>P HT>L>`C>@ J `Q?L>`JM@>R ML`RE>R`@MLR>L Q`KTJR NJB`RBL>LRQ>LA`>LX>NNJ@>?JB`M@@TN>L@X` PBQRP@R ML Q*`\L.>]`

#U $`ABQ@P NR ML`MC`REB`NPMAT@RQ>LA`QBPUF@BQ`NPMU ABA`?X`REB`K>P HT>L>`C>@ JRX L@JTA LD`PBR>J Q>JBQ`MC`CMMA>LA.MP` ?BUBP>DBQ C>LX>LA>LX`PBJ>RBA>@@MK KMA>R ML Q`MP`C>@ JRX BQ`[PBDTJ>RBA`@>LL>?AMJ@>NQTJBQ R L@RTPBQ MFJ>LA` @>LL>?Q?>JKQ*,

#U $`?TJA LD`QRPT@RTPB`FLCMPK>R ML L@JTA LD`?TR`LMR`J K RBA`RM `LBV NPB)BW QR LD CPBB)QR>LA LD MP`CWBA*`?T JA LD`RXNB` FLCMPK>R ML L@JTA LD`?TR`LMR`J K RBA`RM @MKKBP@F>J V>PBEMTQB L ATQRP>J PBR>J @MLUBPRBA`NPMNBPRX EMTQB ?T JA LD KBP@>LR JB`?T JA LD`NMJB`?>PL PBBLEMTQB J>?MP>RMPX MP`@BLRBP \BW QR LD`?T JA LD`)@MKKBP@F>J`PBLMU>R ML]-

#U FF $`>LX`NPMNMQBA`MTR`AMMP`TQBQ`MP`MNBP>R ML Q`PBJ>RBA`RM`REB`C>@ JRY*`[L.>]

CONTENT

2A I4C D744F

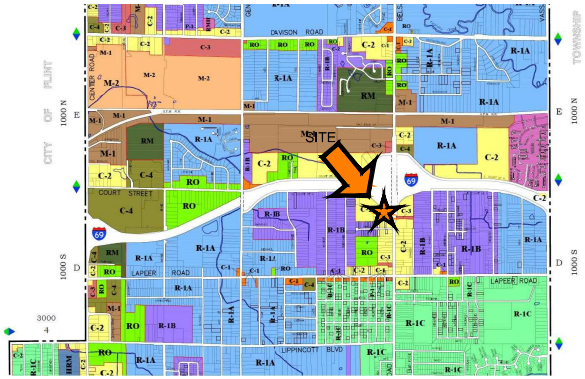
SCALE

@$/

CITY OF BURTON

ZONING DISTRICTS MAP

C-1	LOCAL BUSINESS
C-2	GENERAL BUSINESS
C-3	HIGHWAY ORIENTED BUSINESS
C-4	PLANNED SHOPPING CENTER
RO	RESTRICTED OFFICE
M-1	LIGHT INDUSTRIAL
M-2	GENERAL INDUSTRIAL
P-1	VEHICLE PARKING
R-1A	SINGLE FAMILY RESIDENTIAL
R-1B	SINGLE FAMILY RESIDENTIAL
R-1C	SINGLE FAMILY RESIDENTIAL
RM	MULTIPLE FAMILY RESIDENTIAL
SE	SUBURBAN ESTATE RESIDENTIAL
HRM	HIGH RISE / MULTIPLE FAMILY RESIDENTIAL
RMH	MOBILE HOME PARK

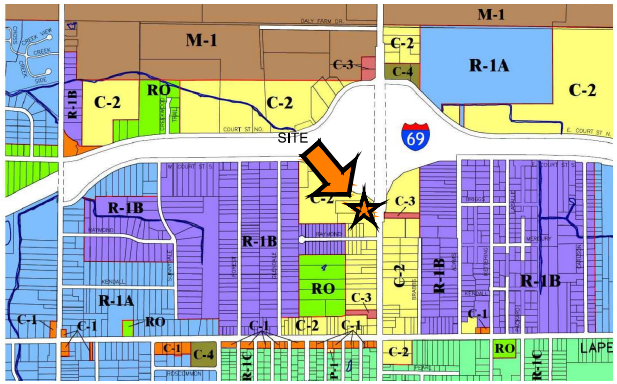


ZONING MAP / ABUTTING PARCELS

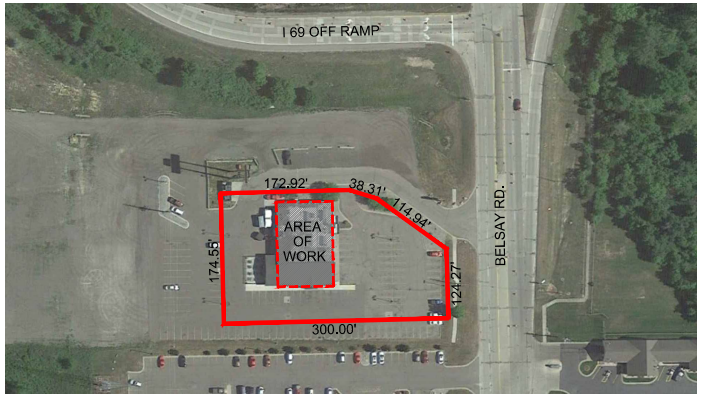
CITY OF BURTON

ZONING DISTRICTS MAP

C-1	LOCAL BUSINESS
C-2	GENERAL BUSINESS
C-3	HIGHWAY ORIENTED BUSINESS
C-4	PLANNED SHOPPING CENTER
RO	RESTRICTED OFFICE
M-1	LIGHT INDUSTRIAL
M-2	GENERAL INDUSTRIAL
P-1	VEHICLE PARKING
R-1A	SINGLE FAMILY RESIDENTIAL
R-1B	SINGLE FAMILY RESIDENTIAL
R-1C	SINGLE FAMILY RESIDENTIAL
RM	MULTIPLE FAMILY RESIDENTIAL
SE	SUBURBAN ESTATE RESIDENTIAL
HRM	HIGH RISE / MULTIPLE FAMILY RESIDENTIAL
RMH	MOBILE HOME PARK



ZONING MAP / ABUTTING PARCELS



AERIAL IMAGE FOR REFERENCE

AMENDMENTS

No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION

NAME: AEY CAPITAL LLC
ADDRESS: 34841 MOUND ROAD SUITE 297
STERLING HEIGHTS MI 48310
PHONE: 586-630-8338
EMAIL: dmventure16@gmail.com

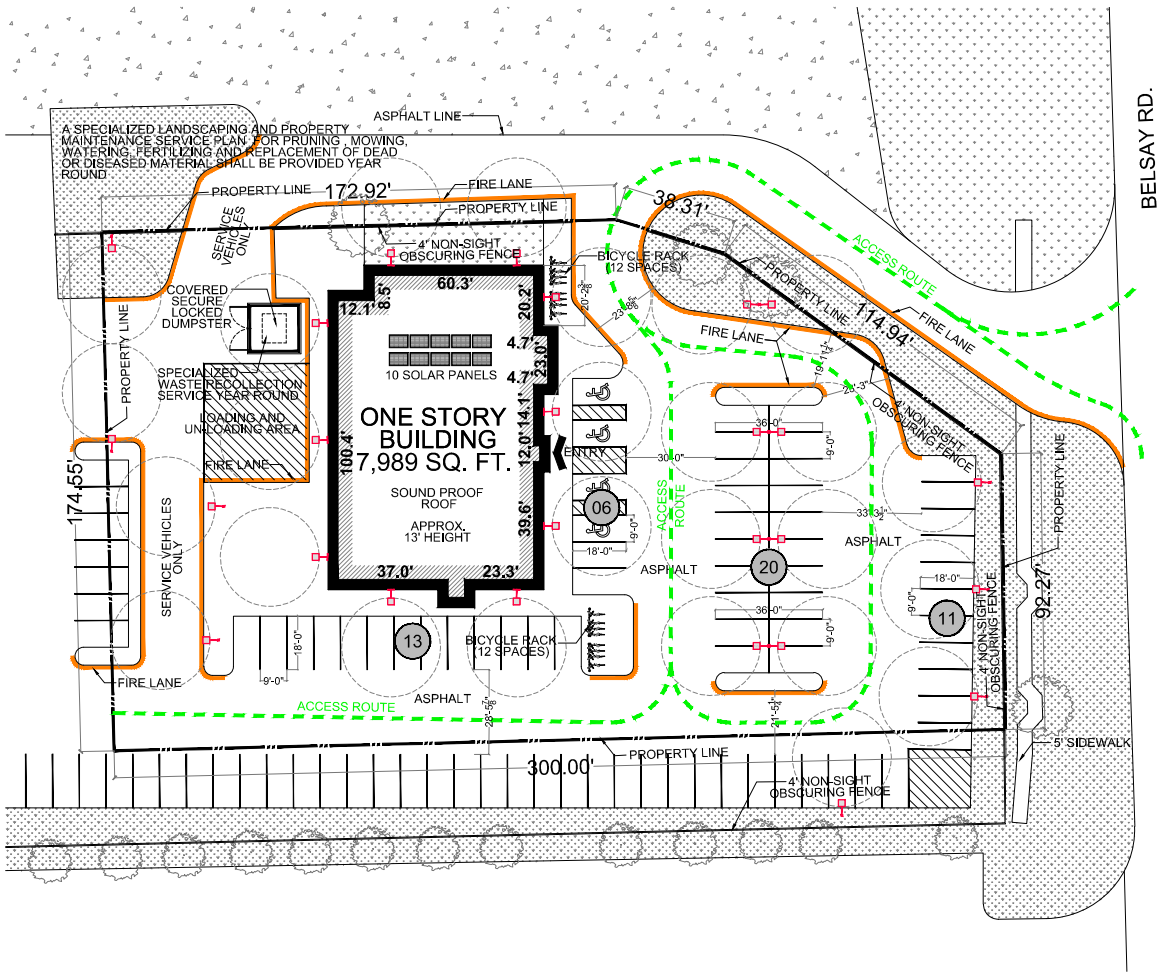
N

CONTENT
ZONING MAP
ABUTTING PARCELS

SCALE
N/A

Draftsman A.C.
Reviewed
Approved
Review date 11.05.2018
Project no. 01
File AEY CAPITAL LLC
Drawing C1.1
No. Page 02/18
Rev. 01

Attachment: Back up 18-53 (4126 : SPR #18-53)



PROPOSED SITE PLAN

A. NEW CONCRETE FLAT WORK TO HAVE #4'S AT 16" O.C. B.W. OVER 2" OF SAND.
B. CURB RAMPS SHALL BE MAXIMUM 6" HIGH AND 4'-0" LONG WITH MAXIMUM 1:12 SLOPE.
C. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20
THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48
D. SURFACE SLOPES OF ACCESSIBLE PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL NOT BE STEEPER THAN 1:48 ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED
E. DETECTABLE WARNING PRODUCT APPROVAL - ONLY APPROVED DIVISION OF THE STATE ARCHITECT ,ACCESS COMPLIANCE (DSAC) APPROVED DETECTABLE WARNING PRODUCTS AND DIRECTIONAL SURFACES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL LAWS.
F. PROVIDE UNAUTHORIZED VEHICLES IN ACCESSIBLE PARKING SPACE
G. A SPECIALIZED WASTE RECOLLECTION SERVICE WILL BE PROVIDED YEAR ROUND
H. THE ENTIRE PARKING ASPHALT SURFACE WILL BE SEALED AND RESURFACED TO AVOID DUST.
I. EXTERIOR WALLS AND ROOF WILL BE SOUND AND DEOR PROOF AS REQUIRED BY THE CITY.

SITE PLAN NOTES

MEDICAL MARIHUANA PROVISIONING CENTER FOR REGISTRERED PATIENTS

NO INCREASE IN DUST, ODOR, SMOKE, FUMES, NOISE, LIGHTS, OR OTHER OBJECTIONABLE FEATURES.

LANDSCAPING, RESURFACED AND CLEANED UP PARKING LOT, NEW SIGNAGE, ADDITIONAL LIGHTING

PROJECT DESCRIPTION

LOT AREA: 1.10 ACRES

APN: 59-14-528-035 PARCEL A, (SPLIT APPROVED 11/01/2018)

SUBDIVISION: CARDINAL GARDENS

COUNTY: GENESSE COUNTY

ZONING DISTRICT: GENERAL BUSINESS DISTRICT, C-2.

FLOOD ZONE: THIS PROPERTY IS NOT IN A FLOOD ZONE

LEGAL DESCRIPTION: PART OF LOTS 43 THRU 46 BEG S 01 DEG 09 MIN E 766.45 FT & S 88 DEG 21 MIN 32 SEC W 70 FT & S 01 DEG 09 MIN E 74.85 FT FROM NE COR OF SEC 7H S 01 DEG 09 MIN E 124.77 FT TH S 88 DEG 19 MIN 52 SEC W 637.55 FT TH N 01 DEG 38 MIN 08 SEC W 206.55 FT TH N 88 DEG 19 MIN 52 SEC E 510.78 FT TH ON CURVE TO RIGHT ~CHORD~ 3.73 DEG 03 MIN 04 SEC E 38.31 FT TH S 54 DEG 26 MIN E 114.94 FT TO P.R. OF BEG CARDINAL GARDENS 2.925 A (00) FR 59-14-528-032 & 033

BUILDING STRUCTURE INFO: FREE STANDING COMMERCIAL BULDING YEAR BUILT 1974

GENERAL BUILDING AREAS:

AREAS	GROSS AREA
SITE	47,946 SQ. FT.
BUILDING	7,989 SQ. FT.

PROJECT DATA

REQUIRED PARKING: 1 PARKING FOR EACH 150 SQ. FT.
7,989 SQ. FT. / 200 = 39.92 = **40 SPACES**

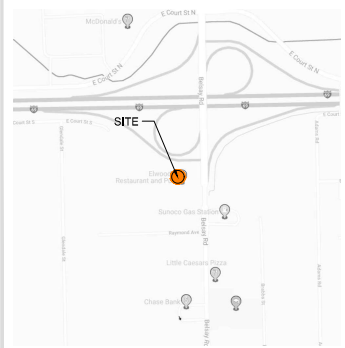
PARKING PROVIDED:

- STANDARD STALL 46 SPACES
- ADA (ACCESSIBLE PARKING SPACE) 4 SPACES

TOTAL **50 SPACES**

- BICYCLE PARKING 24 SPACES

PARKING SUMMARY



LOCATION MAP

AMENDMENTS

No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION

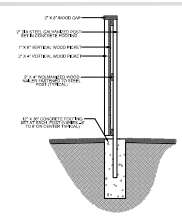
NAME: AEY CAPITAL LLC
ADDRESS: 34841 MOUND ROAD SUITE 297
STERLING HEIGHTS MI 48310
PHONE: 586-630-8338
EMAIL: drmventure16@gmail.com

N

CONTENT: SITE PLAN

SCALE: 1" = 40'

Draftsman: AJL
Reviewed:
Approval:
Review date: 11.28.2018
Project no.: 01
File: AEY CAPITAL LLC
Drawing: C1.2
No. Page: 03/18
Rev.: 01

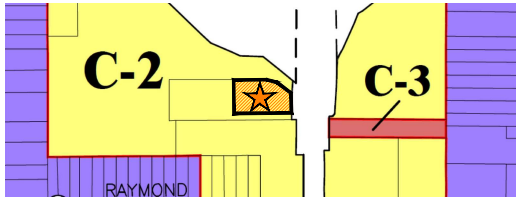


4' NON-SIGHT OBSCURING FENCE DETAIL

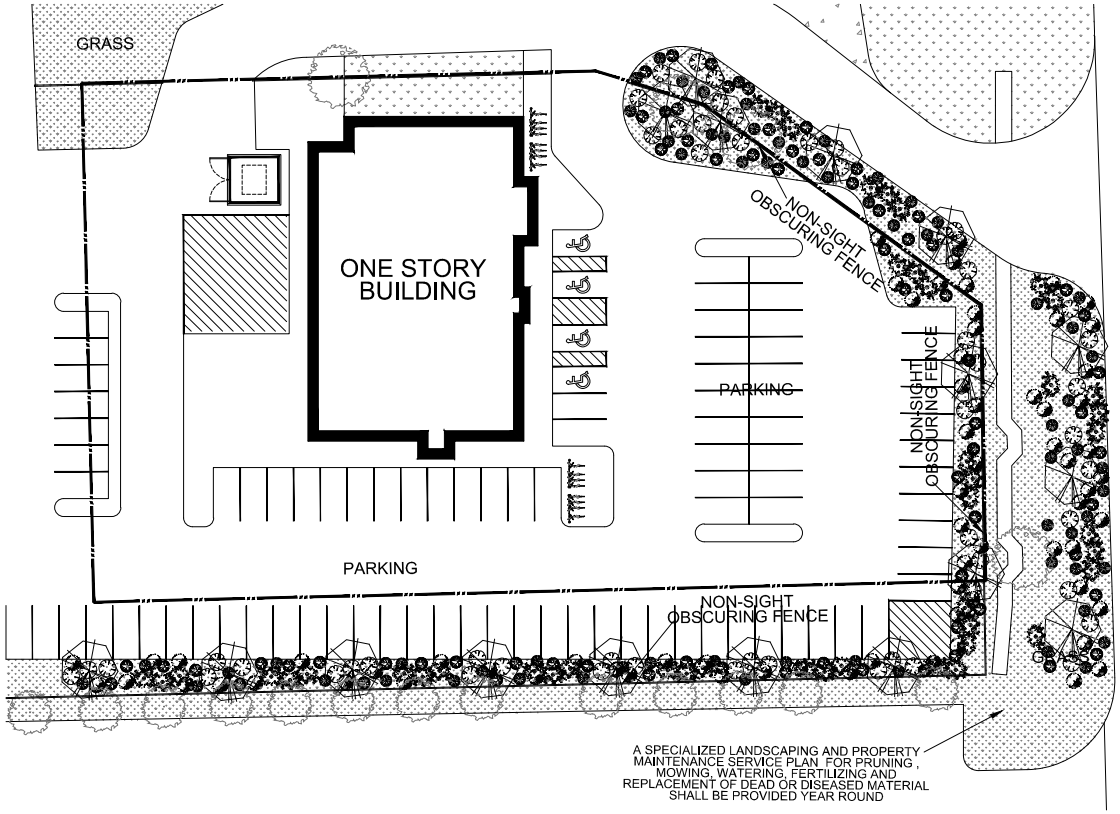
LIGHTING FIXTURE NOMENCLATURE WITH INCLUDED SHIELD FOR ANTI GLARE AND SHINING, POLE HEIGHT < 20'		QUANTITY
	ONE LIGHT POLE	8
	WALL LIGHT	10
	TWO LIGHT POLE	4

ZONING DISTRICTS MAP

- C-1 LOCAL BUSINESS
- C-2 GENERAL BUSINESS
- C-3 HIGHWAY ORIENTED BUSINESS
- C-4 PLANNED SHOPPING CENTER
- RO RESTRICTED OFFICE
- M-1 LIGHT INDUSTRIAL
- M-2 GENERAL INDUSTRIAL
- P-1 VEHICLE PARKING
- R-1A SINGLE FAMILY RESIDENTIAL
- R-1B SINGLE FAMILY RESIDENTIAL
- R-1C SINGLE FAMILY RESIDENTIAL
- RM MULTIPLE FAMILY RESIDENTIAL
- SE SUBURBAN ESTATE RESIDENTIAL
- HRM HIGH RISE / MULTIPLE FAMILY RESIDENTIAL
- RMH MOBILE HOME PARK

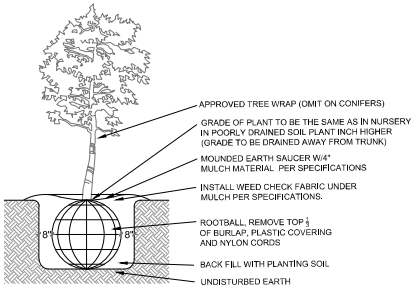


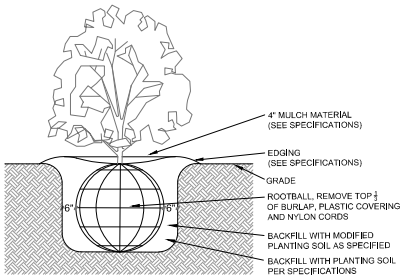
ZONING MAP / ABUTTING PARCELS



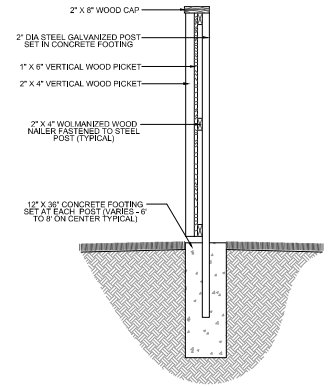
LANDSCAPE PLAN

LANDSCAPE LEGEND		SIZE	IMAGE	QUANTITY
	EXISTING TREE ON SITE	VARIABLE	-	-
	(LINDEN) TILIA CORDATA	15'		17
	(BUTTONBUSH) CEPHALANTHUS OCCIDENTALIS	7'		53
	(SWAMP MILKWEED) ASCLEPIAS INCARNATA	24"		45
	(BROWN TOP SEDGE) CAREX VULPINOIDEA	36"		97
	(NORTHERN BLUE FLAG) IRIS VERSICOLOR	24"		66
	(IRONWEED) VERNONIA FASCICULATA	36"		70
	NATIVE GRASS AREA	-	-	16,477 SQ FT





PLANTING DETAILS



4' NON-SIGHT OBSCURING FENCE DETAIL

AMENDMENTS

No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION

NAME: AEY CAPITAL LLC
ADDRESS: 34841 MOUND ROAD SUITE 297
STERLING HEIGHTS MI 48310

PHONE: 586-630-8338
EMAIL: dmventure16@gmail.com

N

CONTENT
LANDSCAPE PLAN

SCALE
1" = 40'

Draftsman	A.C.	Project no.	
Reviewed		File	AEY CAPITAL LLC
Approved		Drawing	L1.1
Review date	11.05.2018	No. Page 04/18	Rev. 01

A. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED

B. EXIT SIGNS ILLUMINATED BY EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 LUX).

C. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

D. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES

E. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AND ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS

F. EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITH-OUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

G. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR.

H. DOORS TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.

I. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION

J. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.

K. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE QT THE WALKING SURFACE.

L. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS:

L.1. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.

L.2. CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

L.3. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

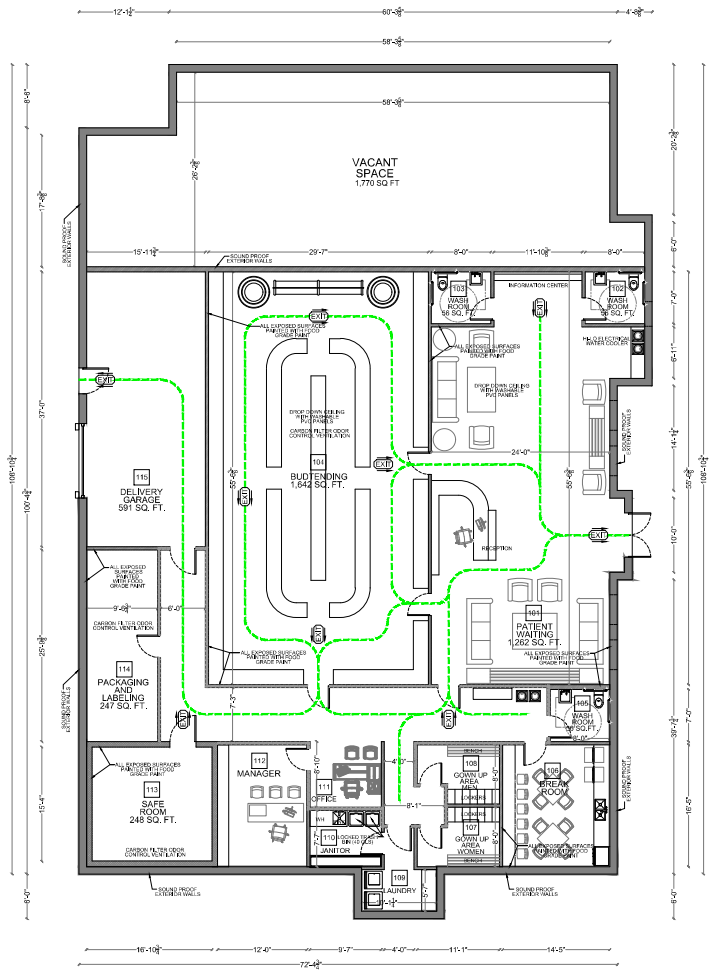
L.4. INTERIOR EXIT DISCHARGED ELEMENTS, AS PERMITTED IN SECTION 1028.1, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

L.5. EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1010.1.6, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

M. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH LOCAL ORDINANCE.

N. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6.6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.

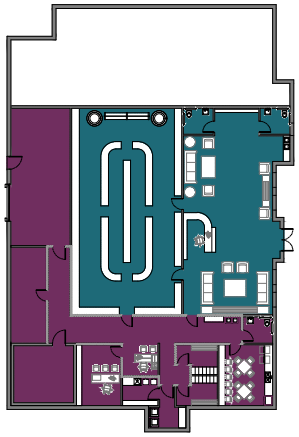
O. THE MEANS OF EGRESS SYSTEM MUST HAVE A CLEAR CEILING HEIGHT OF 7'-6" (1003.2)



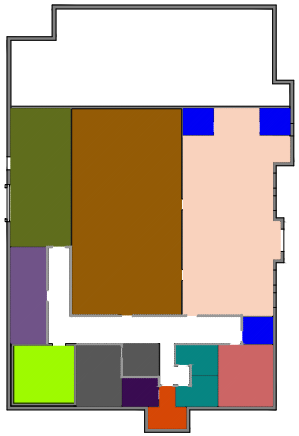
EGRESS FLOOR PLAN

PLAN NOTES
A) DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
B) ALL DOOR AND OPENING LOCATIONS SHALL BE SHOWN ON FLOOR PLAN IN CASE OF CONFLICT, NOTIFY THE THE OWNER IMMEDIATELY PRIOR TO COMMENCEMENT OF FRAMING.
C) DIMENSION NOTED AS "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING; CARPET, PAD, VINYL, ETC...
D) DIMENSION NOTED AS "HOLD" ARE CRITICAL. IF LAYOUT IS OFF, CONTACT ARCHITECT PRIOR TO FRAMING.
E) ALL DIMENSION ARE TO THE FACE OF METAL STUD, U.N.O.
F) COLUMN CENTER LINE (OR GRID LINES) ARE SHOWN FOR DIMENSIONING. VERIFY EXACT LOCATIONS IN FIELD.
G) REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES AND INFO.
H) ALL METAL STUDS ARE 3-5/8" U.N.O., SEE METAL STUD SCHEDULE
I) ALL GYPSUM WALLBOARD SHALL BE 5/8" TYPE "X" U.N.O.
J) G.C. TO NOTIFY TO OWNER IMMEDIATELY AS TO SIZE AND LOCATION OF ANY EXISTING EXPANSION JOINT LOCATED IN DEMISING WALL, FLOOR, OR CEILING CONSTRUCTION.
K) G.C. TO CONFIRM SUITABILITY OF ALL WALLS TO RECEIVE PAINT AND/OR WALL COVERING IN A FIRST CLASS MANNER. G.C. TO CONTACT OWNER IF WALL(S) ARE NOT ACCEPTABLE TO RECEIVE FINISHES SPECIFIED. POOR INSTALLATION OVER UNSUITABLE SURFACES ARE THE CONTRACTORS RESPONSIBILITY.

	SYMBOL LEGEND
#	DENOTES PLAN / STOREFRONT NOTE
#	DENOTES SIGNAGE NUMBER - REFER TO DETAILS S1.0
#	DENOTES WINDOW NUMBER
#	DENOTES DOOR NUMBER
	EXISTING PERIMETER WALL, SEE DETAIL IN SHEET A5.1
	NEW VAULT FIRE PROOF WALL, SEE DETAIL IN SHEET A5.1
	NEW 1-HOUR WALL/PARTITION WALL, SEE DETAIL IN SHEET A5.1
	NEW WALL/PARTITION, SEE DETAIL IN SHEET A5.1
EXIT	LED EXIT SIGN W/ BATTERY BACK-UP; SUPPLIED AND INSTALLED BY G.C.



FLOOR PLAN DIAGRAM LEGEND	
	EMPLOYEE AREA
	REGISTERED PATIENT ACCESS AREA



GENERAL AREAS LEGEND		
	PATIENT WAITING	1,295 SQ.FT.
	JANITOR'S	73 SQ.FT.
	WASHROOM	168 SQ.FT.
	OFFICE	282 SQ.FT.
	SAFE ROOM	248 SQ.FT.
	PACKAGING	247 SQ.FT.
	BUD TENDING	1,643 SQ.FT.
	BREAKROOM	237 SQ.FT.
	DELIVERY GARAGE	591 SQ.FT.
	GOWN UP AREA	154 SQ.FT.
	LAUNDRY	79 SQ. FT.
	TOTAL	5,018 SQ.FT.

FLOOR PLAN DIAGRAM / GENERAL AREAS KEY PLAN NOT TO SCALE

AMENDMENTS

No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION

NAME: AEY CAPITAL LLC
ADDRESS: 34841 MOUND ROAD SUITE 297
STERLING HEIGHTS MI 48310
PHONE: 586-630-8338
EMAIL: dmventure16@gmail.com

N

CONTENT
EGRESS FLOOR PLAN
FLOOR PLAN DIAGRAM / GEN. AREA

SCALE
1/16

Drafterman A.C.
Reviewed
Approved
Review 0000 11.05.2018
Project no. 01
File AEY CAPITAL LLC
Drawing A1.1
No. Page 05/18
Rev. 01

Attachment: Back up 18-53 (4126 : SPR #18-53)

A. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED

B. EXIT SIGNS ILLUMINATED BY EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 LUX).

C. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

D. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES

E. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AND ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS

F. EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

G. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR.

H. DOORS TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.

I. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION

J. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.

K. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE OT THE WALKING SURFACE.

L. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS:

L.1. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.

L.2. CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

L.3. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

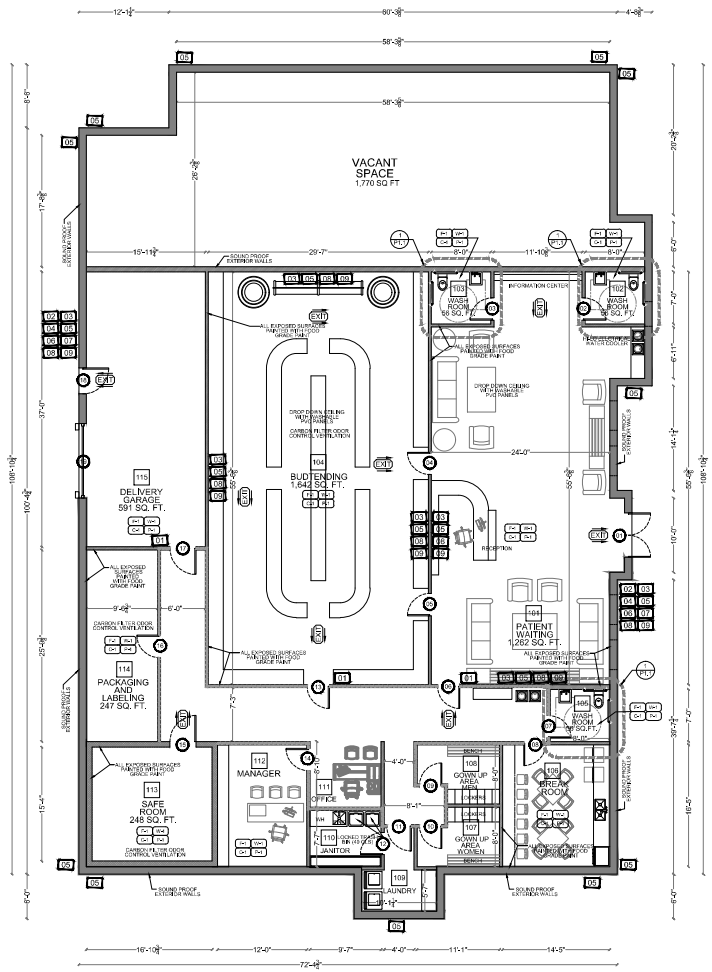
L.4. INTERIOR EXIT DISCHARGED ELEMENTS, AS PERMITTED IN SECTION 1028.1, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

L.5. EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1010.1.6, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

M. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH LOCAL ORDINANCE.

N. EMERGENCY LIGHTING FIXTURES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6.6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.

O. THE MEANS OF EGRESS SYSTEM MUST HAVE A CLEAR CEILING HEIGHT OF 7'-6" (1003.2)



ARCHITECTURAL FLOOR PLAN SCALE 1/16

SYMBOL LEGEND

#	DENOTES PLAN / STOREFRONT NOTE
#	DENOTES SIGNAGE NUMBER – REFER TO DETAILS S1.0
#	DENOTES WINDOW NUMBER
#	DENOTES DOOR NUMBER
	EXISTING PERIMETER WALL, SEE DETAIL IN SHEET A5.1
	NEW VAULT FIRE PROOF WALL, SEE DETAIL IN SHEET A5.1
	NEW 1-HOUR WALL/PARTITION WALL, SEE DETAIL IN SHEET A5.1
	NEW WALL/PARTITION, SEE DETAIL IN SHEET A5.1
EXIT	LED EXIT SIGN W/ BATTERY BACK-UP; SUPPLIED AND INSTALLED BY G.C.

PLAN NOTES

A) DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.

B) ALL DOOR AND OPENING LOCATIONS SHALL BE SHOWN ON FLOOR PLAN IN CASE OF CONFLICT; NOTIFY THE THE OWNER IMMEDIATELY PRIOR TO COMMENCEMENT OF FRAMING.

C) DIMENSION NOTED AS "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING; CARPET, PAD, VINYL, ETC...

D) DIMENSION NOTED AS "HOLD" ARE CRITICAL. IF LAYOUT IS OFF, CONTACT ARCHITECT PRIOR TO FRAMING.

E) ALL DIMENSION ARE TO THE FACE OF METAL STUD, U.N.O.

F) COLUMN CENTER LINE (OR GRID LINES) ARE SHOWN FOR DIMENSIONING. VERIFY EXACT LOCATIONS IN FIELD.

G) REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES AND INFO.

H) ALL METAL STUDS ARE 3-5/8" U.N.O., SEE METAL STUD SCHEDULE

I) ALL GYPSUM WALLBOARD SHALL BE 5/8" TYPE "X" U.N.O.

J) G.C. TO NOTIFY TO OWNER IMMEDIATELY AS TO SIZE AND LOCATION OF ANY EXISTING EXPANSION JOINT LOCATED IN DEMISING WALL, FLOOR, OR CEILING CONSTRUCTION.

K) G.C. TO CONFIRM SUITABILITY OF ALL WALLS TO RECEIVE PAINT AND/OR WALL COVERING IN A FIRST CLASS MANNER. G.C. TO CONTACT OWNER IF WALL(S) ARE NOT ACCEPTABLE TO RECEIVE FINISHES SPECIFIED. POOR INSTALLATION OVER UNSUITABLE SURFACES ARE THE CONTRACTORS RESPONSIBILITY.

WALLS AND INTERIOR PARTITIONS, NONCOMBUSTIBLE

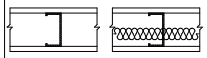
GA FILE NO. WP 1072 | GENERIC

GYPSUM WALLBOARD, STEEL STUDS

One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of 3 5/8" steel studs 24" o.c. with 1" Type S drywall screws 8" o.c. at vertical joints and 12" o.c. at floor and ceiling runners and intermediate studs.

Joints staggered 24" on each side and on opposite sides. Sound tested with 3 1/2" glass fiber friction fit in stud space. (NLB)

1 HOUR FIRE | 39 to 42 STC SOUND



Thickness: 4 7/8"
Limiting Height: Refer to Section IV
Approx. Weight: 6 psf
Fire Test: See WP 1200 (FM WP-45, 6-19-68; OSU T-1770, 8-61; ULC 79T484, 79T500, 79T497, 8-12-81, ULC Design W415)
Sound Test: NRCC 816-NV, 2-3-81

FINISH SCHEDULE

KEY	MATERIAL	MANUFACTURER	DESCRIPTION	GENERAL LOCATION
FLOOR FINISHES				
F-1	POLISHED CONCRETE WITH CLEAR COAT EPOXY	TO BE DEFINED BY GENERAL CONTRACTOR	TO BE DEFINED BY GENERAL CONTRACTOR	AS NOTED ON PLANS
WALL FINISHES				
W-1	GYPSUM BOARD	NATIONAL GYPSUM OR EQUAL	GOLD BOND FIRE-SHIELD GYPSUM BOARD, 5/8" THICK; LEVEL 4 FINISH, MIN. FLAME SPREAD INDEX 15; SMOKE DEVELOPED 0	ALL AREAS AS NOTED ON PLANS.
CEILING FINISHES				
C-1	PVC PANELS	TRUSSCORE	16" WIDE X 16' LONG X 3" PVC WASHABLE EXTRUDED WALL PANELS; LA APPROVAL RR T655; FLAME SPREAD INDEX 10; SMOKE DENSITY 400)	AS NOTED ON PLANS
PAINT FINISHES				
P-1	PAINT	TO BE DEFINED BY GENERAL CONTRACTOR	FOOD GRADE PAINT	AS NOTED ON PLANS

FINISH NOTES

ALL FINISH MATERIALS MEET WITH THE REQUIREMENTS PER LOCAL LAW

WHERE WALLS AND CEILING ARE REQUIRED BY ANY PROVISIONS IN THIS CODE TO BE OF FIRE-RATED OR NON COMBUSTIBLE CONSTRUCTION, THE INTERIOR FINISH SHALL BE APPLIED DIRECTLY AGAINST SUCH CONSTRUCTION OR TO FURRING STRIPS.

INTERIOR WALL OR CEILING FINISH THAT IS NOT MORE THAN 0.25" THICK SHALL BE APPLIED DIRECTLY AGAINST A NON-COMBUSTIBLE BACKING.

IF SET OUT CONSTRUCTION IS BEING PROVIDED. IT MUST MEET FULL COMPLIANCE WITH LOCAL LAW

ALL FLOOR FINISHES ARE APPLIED AND MEET COMPLIANCE WITH THE REQUIREMENTS PER LOCAL LAW

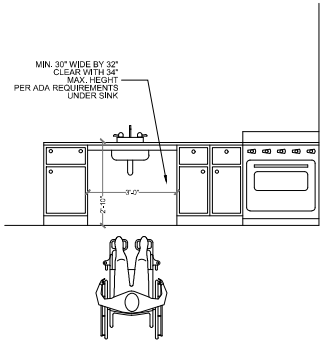
APPLY SPRAY FOAM INSULATION IN ALL GAPS BETWEEN WALLS AND CEILINGS AND ROOF, ELECTRICAL, MECHANICAL AND EXISTING INSTALLATIONS, ENSURING NO EXTERNAL PENETRATIONS

ALL INTERIOR WALL CORNERS SHALL BE ROUNDED

ADD CHARCOAL FILTER AND VENTILATION SYSTEMS ENSURING NO GENERATION OF ODOR

ADD NEW SEAL ON EXTERIOR ASPHALT TO ENSURE NO DUST

CLEANING CREW WILL BE ASSISTING THE CONSTANT MAINTENANCE OF THE PROVISIONING CENTER



INTERIOR ELEVATIONS ADA CABINETS SCALE 1/4

AMENDMENTS

No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION
NAME: AEY CAPITAL LLC
ADDRESS: 34841 MOUND ROAD SUITE 297
STERLING HEIGHTS MI 48310
PHONE: 586-630-8338
EMAIL: dmventure16@gmail.com

N

CONTENT
ARCHITECTURAL FLOOR PLAN

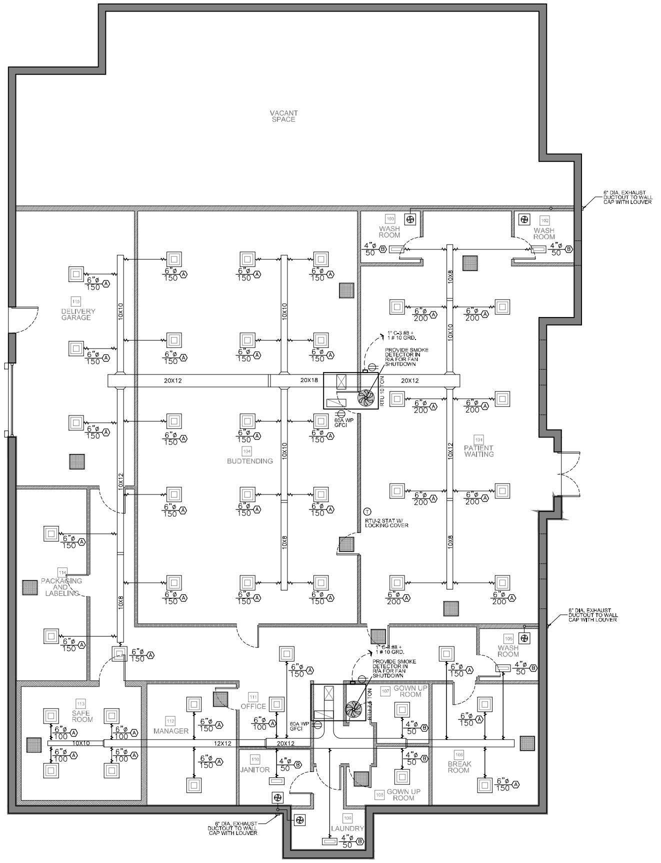
SCALE
AS NOTED

Draftsman	A.Z.	Project no. 01	
Reviewed		File AEY CAPITAL LLC	
Approved		Drawing A1.2	
Review date	11.05.2018	No. Page 06/18	Rev. 01

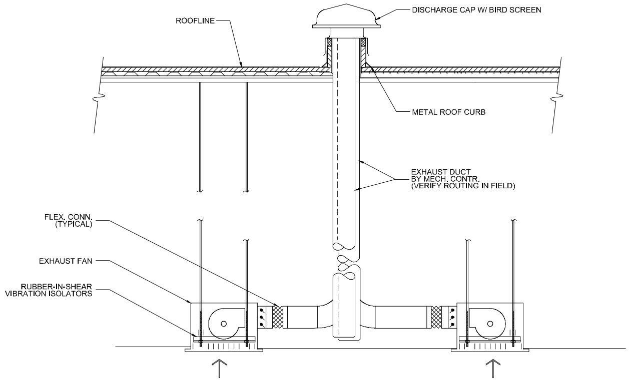
MINIMUM VENTILATION RATES PER MMC 2015 TABLE 403.3

ROOM	AREA (S.F.)	OCCUPANT DENSITY	AREA OUTDOOR RATE (RA)CFM/S.F.	PEOPLE OUTDOOR RATE (RA)CFM/S.F.	REQUIRED OUT DOOR AIR	REQUIRED FRESH AIR
SALES	3,086 S.F.	15 PERSON PER 1,000 S.F. = 2	.12	7.5	7.5 X 2 X 0.12 X 3086	600.85
OFFICE	2,637 S.F.	5 PERSON PER 1,000 S.F. =1	.06	5	5 X 1 + 0.06 X 2637	352.26
					TOTAL CFM	342.11
					CORRECTION FACTOR/0.8	427.68

HVAC 1 AND 2 @ 25% 4,600 CFM = 1,150 CFM OUT DOOR AIR
PROVIDE ECONOMIZER



HVAC PLAN SCALE 1/16



EXHAUST FAN DETAIL

ROOF TOP UNIT SCHEDULE

UNIT NO.	SUPPLY FAN DATA NOM. TON	TOTAL CFM	O/A CFM	MINEXT. S.P. (IN.WG)	FAN RPM	MOTOR H.P.	HEATING CAPACITY INPUT MBH	OUTPUT MBH	EFF. %	NET COOLING CAPACITY TOTAL MBH	EER-IEER-SEER	ELECTRICAL DATA VOLT/PH	MCA	MAX FUSE	POWER KW	OPERATING WEIGHT	CONTROL SCHEME	DIMENSIONS	MANUFACTUER & MODEL	NOTES
RTU-1	7.5	3,000	300	0.8	BY MFG.	5 (BELT)	192	156	81.0	48.5	12/13/-	208/3ø	25	35	3.7	590	THERMOSTAT	"88 7/8"X 59"X41 3/8"	CARRIER 48HC-ED08B3A5-DQ0A0	1 2 3
RTU-2	4	1,600	160	0.8	BY MFG.	5 (BELT)	180	148	82.0	89.0	13/15.6/-	208/3ø	25	30	7.4	925	THERMOSTAT	74"X47"X41"	CARRIER 48HC-EA05B3A5-DQ0A0	1 2 3 4

NOTES:

1. COOLING CAPACITIES ARE RATED IN ACCORDANCE W/ ARI STANDARD 210/290 aT 95 F AMBIENT OUTDOOR AIR TEMP, 80 F DRY BULB, 67 WET BULB ENTRANCE AIR TEMP, & NOMINAL AIR QUALITY LISTED
2. PROVIDE NEW FILTERS FOR EACH UNIT
3. PROVIDE ENTHALPY ECONOMIZER WITH POWER EXHAUST
4. COMFORT LENGTH CONTROLS
   4.1. THERMOSTAT REMOTE SENSOR MOUNTED 8'-0" A.F.F.
5. DUCTWORK SHALL BE GALVANIZED SHEET METAL FABRICATED AND INSTALLED IN ACCORDANCE WITH ASHRAE AND SMACNA RECOMMENDATIONS.
6. PROVIDE PACKAGED UNITS WITH ECONOMIZERS, DUAL ENTHALPY SENSORS, CO2 SENSORS, HAIL GUARDS AND TWO STAGE COOLING
7. PROVIDE NEW FILTER IN EACH UNIT AT TURN OVER TO TENANT.

EXHAUST FAN

TAG	SERVICE	TYPE	DRIVE	CFM	SP	RPM	VOLTS	PHASE	WATTS	AMPS	STARTERS	GREENHECK MODEL
EF-1,2,3	TOILET	CEILING EXHAUST FAN	DIRECT	75	0.25"	950	120/60	1	49	0.58	MAN	SP-A110

NOTES:

1. INTEGRAL BACKDRAFT DAMPER.
2. INTEGRAL DISCONNECT SWITCH
3. SPEED CONTROLLER LOCATED ABOVE CEILING NEAR FAN
4. WC-6 HOODED WALL CAP WITH BUILT IN BIRD SCREEN AND BACKDRAFT DAMPER. SEAL AND CAULK. PAINT TO MATCH BRICK
5. CONTROL WITH ROOM LIGHTS

AIR DEVICE SCHEDULE

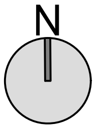
SYMBOL	MARK	DESCRIPTION	SIZE	MAX P.D. (IN WG)	MAX NC LEVEL	MANUFACTURER	MODEL	APPLICABLE NOTES
▣	SD-1	SQUARE LOUVER FACED CEILING TILE MOUNTED	24"X24"	0.1"	30	TITUS	TMSA	
▭	SD-2	RECTANGULAR LOUVER FACED CEILING MOUNTED	24"X12"	0.1"	30	TITUS	TMSA	
▦	RG-1	PERFORATED RETURN GRILLE	24"X24"	0.1"	30	TITUS		
▯	RG-2	PERFORATED RETURN GRILLE	12"X24"	0.1"	30	TITUS PAR		

AMENDMENTS

No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION

NAME: AEY CAPITAL LLC
ADDRESS: 34841 MOUND ROAD SUITE 297
STERLING HEIGHTS MI 48310
PHONE: 586-630-8338
EMAIL: dmventure16@gmail.com

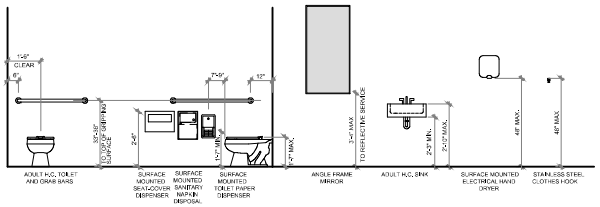


CONTENT
HVAC FLOOR PLAN

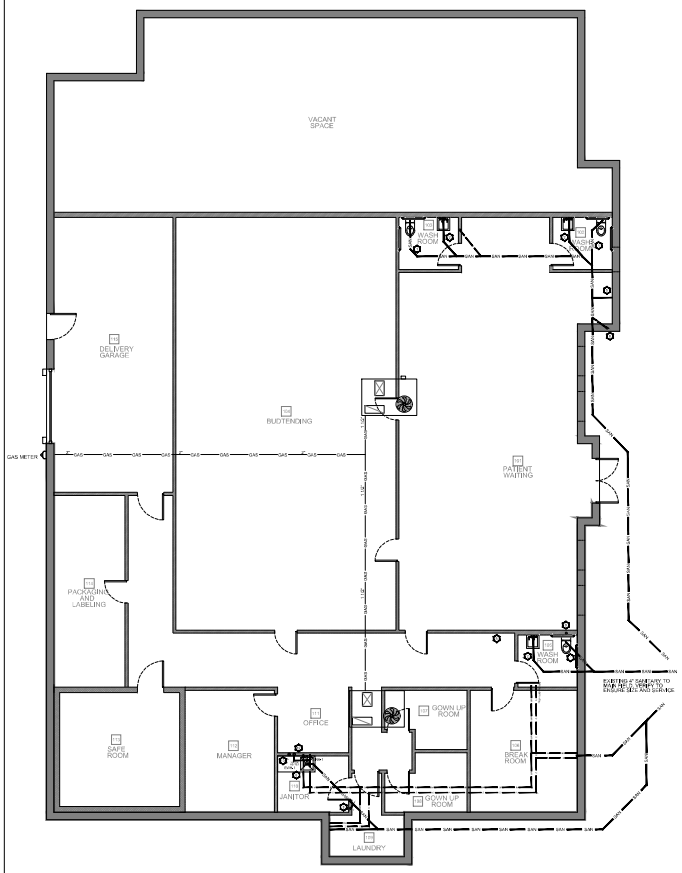
SCALE
1/16

Draftsman A.C.	Project no. 31
Reviewed	File AEY CAPITAL LLC
Approval	Drawing M1.1
Review date 11.05.2018	No. Page 07/18 Rev. 01

Attachment: Back up 18-53 (4126 : SPR #18-53)



WASHROOMS TYPICAL ELEVATIONS SCALE 3/16



PLUMBING PLAN SCALE 1/16

PLUMBING FIXTURE SCHEDULE

FIXTURE:	TYPE:	MANUFACTURER	MODEL NO.	MATERIAL:	STYLE:	FAUCET / VALVE: MANUFACTURER MODEL NO.	SPOUT	HANDLES	CENTERS	DRAIN: TYPE:	SIZE:	SUPPLIES AND STOPS	PIPE SIZE: WASTE	VENT	CW	HW	MOUNTING:	
WATER CLOSET	FLUSH TANK PRESSURE ASSIST	ZURN	Z5561 HIGH EFFICIENCY	VITREOUS CHINA	ADA ELONGATED (1.0GPF)	–	–	–	–			ZURN Z8808-XL CR-PC	3"	2"	⅜"		FLOOR	PROVIDE ZURN Z585SSS-EL-STS OPEN FRONT SEAT AND ZURN Z5972-COMB TOILET KIT.Z5972-COMB TOILET KIT. CAULK AROUND BASE
LAVATORY	WALL HUNG	ZURN	Z5344	VITREOUS CHINA	ADA COMPLICATED	Z86500-XL METERING(0.25 GPC	CENTERSET	H&C PUSH BUTTONS	4"	GRID	1 ¼"	ZURN Z8804-XL LR-PC	2"	1 ½"	1 ½"	½"	WALL HUNG	ADA HEIGHT PROVIDE ZURN Z8743-PC GRID DRAIN WITH TAIL PIECE ,ZURN Z1021WL-PC TRAP PRIMER WITH TRAP ARM AND ZURN Z8946-INT ADA PROTECTOR COMBINATION KIT. PROVIDE SYMMONS 7-225-CK-F THERMOSTATIC MIXING VALVE
MOP SINK	FLOOR MOUNTED	ZURN	Z1996-36	MOLDED HIGH DENSITY COMPOSITE	36"X24" 10" HIGH	FIAT 830-AA	THREADED	TWO HANDLES	8"	–	–	–	3"	1 ½"	1 ½"	¾"	FLOOR	NON REFRIGERATED. ADA HEIGHT MOUNT RE: TO A-1 FOR H/LO ORIENTATION PROVIDE W/APRON 035174-001 MOUNT TO W FOUNTAIN
FLOOR DRAIN	ROUND TOP	ZURN	Z415N-NH-P	CAST IRON	NIKALOY TOP	–	–	–	–	–	–	–	–	–	–	–	FLOOR	PROVIDE WITH TRAP PRIMER CONNECTION PER PLAN
WALL CLEAN OUT	ROUND COVER	ZURN	Z-1446	CAST IRON	S.S. COVER	–	–	–	–	–	–	–	–	–	–	–	WALL	
GRADE CLEAN OUT	ROUND TOP	J.R. SMITH	4240	CAST IRON	CAST IRON TOP	–	–	–	–	–	–	–	–	–	–	–	GRADE	PROVIDE WITH 24"X24"X8" CONCRETE PAD AT GRADE
WATER HEATER	ELECTRIC	BRADFORD WHITE	RE110U8	GLASS LINED	LOW BOY	–	–	–	–	–	–	–	–	–	SEE PLAN	SEE PLAN	SEE DETAIL	10 GAL. STORAGE, 1.5KW,120 V, 100PH REC 60 DEG. RISE

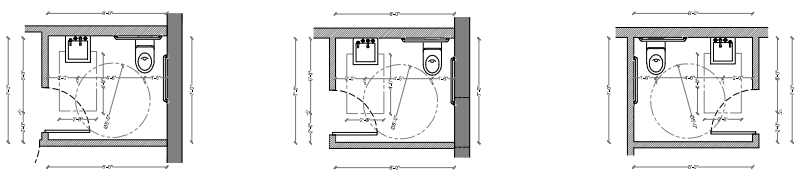
SHOCK ARRESTOR SCHEDULE

PDI SIZE	FIXTURE UNITS	MANUFACTURER OR EQUAL
SA "A"	1–11	ZURN, SMITH PP1 SIOUX– CHIEF
SA "B"	12–32	ZURN, SMITH PP1 SIOUX– CHIEF

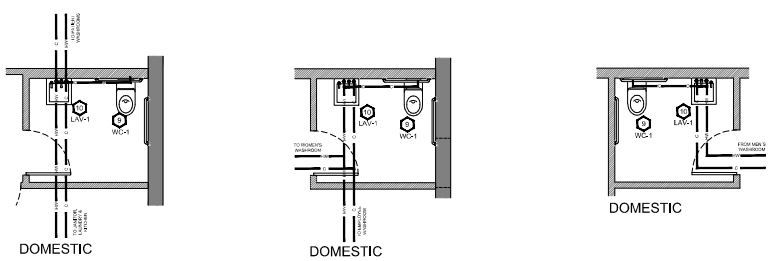
LOCATE SHOCK ARRESTORS IN AN ACCESSIBLE LOCATION/ OR PROVIDE SIOUX–CHIEF SHOCK ARRESTORS ONLY PROVIDE SHOCK ARRESTORS AS INDICATED PER SCHEDULE SHOCK ARRESTORS SHALL BE SAME SIZE AS PIPE INSTALLED ON , MINIMUM

PLAN NOTES:

1. 3" SANITARY TO WC–1
2. 2" SANITARY TO LAV–1,SINK–1
3. 2" HEADER VENT
4. 4" SANITARY SEE FLOOR PLAN FOR EXTENSION,
5. 1 1/2VENT, 1 1/2" WASTE FOR DRINKING FOUNTAIN
6. WALL CLEAN OUT
7. FLOOR CLEAN OUT
8. 3" VENT THRU ROOF.
9. ¾" CW TO WC FLUSH TANK
10. ¾" CW, ¾" HW TO LAV/ SINK
11. NOT USED
12. 1" CW AND HW HEADER
13. ELECTRIC WATER HEATER SEE DIAGRAM W/ ¾"C.W. AND H.W.
14. INSTALL SERVICE SINK CONNECT TO EXISTING SANITARY AND DOMESTIC.



WASHROOMS ENLARGED SCALE 1/8



ENLARGED PLUMBING PLAN SCALE 1/8

AMENDMENTS

No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

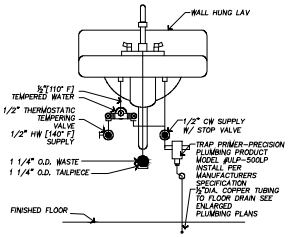
APPLICANT INFORMATION
NAME: AEY CAPITAL LLC
ADDRESS: 34841 MOUND ROAD SUITE 297
STERLING HEIGHTS MI 48310
PHONE: 586-630-8338
EMAIL: dmventure16@gmail.com

N

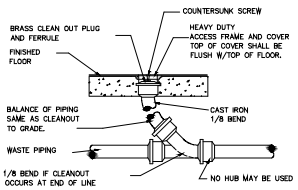
CONTENT
PLUMBING PLAN
PLUMBING SCHEDULES

SCALE
AS NOTED

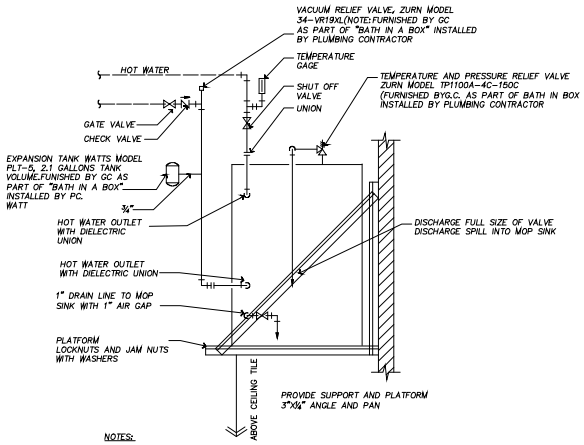
Draftsman A.Z. | Project no. 01
Reviewed | File AEY CAPITAL LLC
Approved | Drawing P1.1
Review date 11.05.2018 | No. Page 08/18 | Rev. 01



TRAP PRIMER DETAIL



FLOOR CLEAN OUT DETAIL



NOTES:

1. INSTALL WATER HEATER IN ACCORDANCE WIT MANUFACTURER REQUIREMENTS.
2. PROVIDE HEAT TRAP ON CW AND HW LINES PER ENERGY CODE.
3. LOCATE WATER HEATER ABOVE MOP SINK WITH 6"-8" CLEAR TO BOTTOM OF WATER HEATER SUPPORT PLATFORM

WATER HEATER DIAGRAM

PLUMBING FIXTURE SCHEDULE

FIXTURE:	TYPE:	MANUFACTURER	MODEL NO.	MATERIAL:	STYLE:	FAUCET / VALVE: MANUFACTURER MODEL NO.	SPOUT	HANDLES	CENTERS	DRAIN: TYPE:	SIZE:	SUPPLIES AND STOPS	PIPE SIZE: WASTE	VENT	CW	HW	MOUNTING:	
WATER CLOSET	FLUSH TANK PRESSURE ASSIST	ZURN	Z5561 HIGH EFFICIENCY	VITREOUS CHINA	ADA ELONGATED (1.0GPF)	–	–	–	–			ZURN Z8808-XL OR-PC	3"	2"	½"		FLOOR	PROVIDE ZURN Z585SS-EL-STS OPEN FRONT SEAT AND ZURN Z5972-COMB TOILET KIT.Z5972-COMB TOILET KIT. CAULK AROUND BASE
LAVATORY	WALL HUNG	ZURN	Z5344	VITREOUS CHINA	ADA COMPLICATED	Z86500-XL METERING(0.25 GPC	CENTERSET	H&C PUSH BUTTONS	4"	GRID	1 ¼"	ZURN Z8804-XL LR-PC	2"	1 ½"	1 ½"	½"	WALL HUNG	ADA HEIGHT PROVIDE ZURN Z8743-PC GRID DRAIN WITH TAL PIECE. ZURN Z1021WL-PC TRAP PRIMER WITH TRAP ARM AND ZURN Z8946-INT ADA PROTECTOR COMBINATION KIT. PROVIDE SYMMONS 7-225-DK-7 THERMOSTATIC MIXING VALVE
MOP SINK	FLOOR MOUNTED	ZURN	Z1996-36	MOLDED HIGH DENSITY COMPOSITE	36"X24" 10" HIGH	FIAT 830-AA	THREADED	TWO HANDLES	8"	–	–	–	3"	1 ½"	1 ½"	½"	FLOOR	NON REFRIGERATED. ADA HEIGHT MOUNT RE: TO A-1 FOR HI/LO ORIENTATION PROVIDE W/ARMON 03174-001 MOUNT TO HI FOUNTAIN
FLOOR DRAIN	ROUND TOP	ZURN	Z415N-NH-P	CAST IRON	NIKALOY TOP	–	–	–	–	–	–	–	–	–	–	–	FLOOR	PROVIDE WITH TRAP PRIMER CONNECTION PER PLAN
WALL CLEAN OUT	ROUND COVER	ZURN	Z-1446	CAST IRON	S.S. COVER	–	–	–	–	–	–	–	–	–	–	–	WALL	
GRADE CLEAN OUT	ROUND TOP	J.R. SMITH	4240	CAST IRON	CAST IRON TOP	–	–	–	–	–	–	–	–	–	–	–	GRADE	PROVIDE WITH 24"X24"X8" CONCRETE PAD AT GRADE
WATER HEATER	ELECTRIC	BRADFORD WHITE	RE110U6	GLASS LINED	LOW BOY	–	–	–	–	–	–	–	–	–	SEE PLAN	SEE PLAN	SEE DETAIL	10 GAL. STORAGE, 1.5KW,120 V, 100PH REC 60 DEG. RISE

NOTES:
1. NO SUBSTITUTIONS ALLOWED
2. PROVIDE CAULK AROUND MOP SINK, WATER CLOSETS, AND LAVATORIES
3. PLUMBING FIXTURES P-1,P-2, P-3, P-4, WH-1 AND ASSOCIATED ACCESSORIES ARE FURNISHED BY GC AS PART OF THE "BATH IN A BOX" FIXTURES SHALL BE INSTALLED BY P.C.
4. PLUMBING FIXTURES WCO, GCO, FD, AND FPHB SHALL BE FURNISHED AND INSTALLED BY PC
5. PROVIDE TEMPERING VALVES CONFORMING TO ASSE 1070 9910 DEG. TO ALL LAVATORIES.
6. ALL SANITARY PIPES TO BE SLOPED 1/8" PER FT.
7. INSTALL TRAP SEAL PRIMER FOR THE COMMON AREAS FLOOR DRAINS.
8. CAULK ALL PERIMETERS OF PLUMBING FIXTURES AS REQUIRED.
9. PROVIDE TRUEBRO #102 HAND-LAV-GUARD ADA CONFORMING INSULATION KIT.

PLUMBING NOTES:

1. FURNISH ALL LABOR, MATERIAL, AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF WORK IN ACCORDANCE WITH ALL APPLICABLE CODES.

2. ALL PLUMBING FIXTURES AND PLUMBING SYSTEM EQUIPMENT SHALL BE PROVIDED COMPLETE WITH ALL ACCESSORIES, HANGERS, VALVES, STOPS, TAILPIECES, TRAPS, FAUCETS, STRAINERS, ETC. SEE FIXTURE SCHEDULE.

3. FURNISH AND INSTALL COMPLETE SYSTEMS OF SOIL, WASTE, VENT, HOT AND COLD WATER PIPING FROM ALL PLUMBING FIXTURES, AND/OR OTHER EQUIPMENT.

4. CLEANOUTS PLUGS SHALL BE INSTALLED IN ACCORDANCE WITH PLUMBING CODE REQUIREMENTS. PROVIDE CLEANOUTS AT THE BASE OF ALL WASTE STACKS, AT EVERT FOUR 45 DEGREE TURNS, AND AT EVERY 50 FEET. CLEANOUTS SHALL BE PLACED IN READILY ACCESSIBLE LOCATIONS.

5. ALL SOIL, WASTE, AND VENT LINES SHALL BE CONCEALED IN THE BUILDING CONSTRUCTION.

6. COPPER PIPING SHALL BE PROTECTED AGAINST CONTACT WITH MASONRY OR DISSIMILAR METALS. ALL HANGERS, SUPPORTS, ANCHORS, AND CLIPS SHALL BE COPPER OR COPPER PLATED. WHERE COPPER PIPING IS CARRIED ON IRON TRAPEZE HANGERS WITH OTHER PIPING, SATISFACTORY AND PERMANENT ELECTROLYTIC ISOLATION MATERIAL SHALL PROTECT THE COPPER AGAINST CONTACT WITH OTHER METALS.

7. WHERE COPPER PIPING IS SLEEVED THROUGH MASONRY, SLEEVES SHALL BE COPPER OR RED BRASS. WHERE COPPER MUST BE CONCEALED IN A MASONRY PARTITION OR AGAINST MASONRY, CONTACT SHALL BE PREVENTED BY COATING THE COPPER HEAVILY WITH ASPHALTIC ENAMEL AND PROVIDING 15# ASPHALT SATURATED FELT BETWEEN THE PIPE AND MASONRY.

8. THE PLUMBING CONTRACTOR SHALL COORDINATE CLOSELY WITH THE MECHANICAL AND THE ELECTRICAL CONTRACTORS TO AVOID CONFLICT WITH OTHER TRADES.

9. CEILING AREA HAS LIMITED SPACE. CONTRACTOR MUST COORDINATE WITH OTHER TRADES FOR ALL STRUCTURES, PIPING, CONDUIT, DUCTWORK, LIGHTING, ETC. TO PROPERLY BE INSTALLED.

10. ALL PIPE INSULATION SHALL RUN CONTINUOUSLY THROUGH FLOORS, WALLS, AND PARTITIONS.

11. PROVIDE DRAIN VALVES IN THE HOT AND COLD WATER SYSTEM AT ALL LOW POINTS TO ALLOW FOR COMPLETE DRAINAGE.

12. VACUUM BREAKERS SHALL BE PROVIDED FOR ALL FIXTURES TO WHICH HOSES MAT BE ATTACHED. VACUUM BREAKERS SHALL BE PERMANENTLY ATTACHED.

13. WASTE AND VENT PIPING SHALL BE AS FOLLOWS:
BELOW SLAB: PVC PIPE, PVC SOCKET FITTINGS, AND SOLVENT-CEMENTED FITTINGS.
ABOVE SLAB: PVC EIPE, PVC SOCKET FITTINGS, AND SOLVENT-CEMENTED FITTI GS.

14. STORM PIPING SHALL BE AS FOLLOWS: N/A

15. DOMESTIC WATER PIPING ABOVE SLAB SHALL BE PEX PIPING UNLESS LOCAL JURISDICTION REQUIRES OTHER MATERIAL. DOMESTIC WATER PIPING BELOW SLAB SHALL BE TYPE "K" COPPER. IF ALLOWED BY LOCAL JURISDICTION, PEX PIPING MAT BE RUN BELOW SLAB. PROVIDE SLEEVING WHERE PEX PIPING PENETRATES CONCRETE SLAB OR IS SUBJECT TO ABRASION AND AS RECOMMENDED BY MANUFACTURER. INSULATION IS REQUIRED ON ALL WATER SUPPLY PIPING ABOVE FINISHED FLOOR IN ACCORDANCE WITH THE STATE PLUMBING CODE OR PER LOCAL JURISDICTION.

16. INVERT ELEVATIONS SHALL BE ESTABLISHED AND VERIFIED BEFORE WASTE PIPING IS INSTALLED SO THAT PROPER SLOPES WILL BE MAINTAINED.

17. THE PLUMBING CONTRACTOR SHALL PROVIDE WATER HAMMER PROTECTION ON ALL WATER DISTRIBUTION PIPING WHERE QUICK-CLOSING VALVES ARE UTILIZED. INSTALLATION OF AIR CHAMBERS OR SHOCK ARRESTORS SHALL BE IN ACCORDANCE WITH PDI-WH220. SEE SHOCK ARRESTOR SCHEDULE (IF PROVIDED).

18. PROVIDE FULL PORT VALVES IN ALL BRANCH LINES OF THE HOT AND COLD WATER DISTRIBUTION SYSTEM ON 34." AND LARGER cw & I-IW AND AS SHOWN
ON PLANS, RISERS, AND SCHEMATIC DETAILS.

19. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS OF PLUMBING FIXTURES.

20. PROVIDE ACCESS DOORS FOR ALL VALVES AND DEVICES REQUIRING ACCESS WHEN LOCATED IN WALLS OR ABOVE INACCESSIBLE CEILING CONSTRUCTION.

21. PROVIDE DEEP SEAL TRAPS FOR ALL FLOOR DRAINS.

22. WHERE EARTHQUAKE LOADS ARE APPLICABLE IN ACCORDANCE WITH THE STATE PLUMBING CODE, PIPING AND EQUIPMENT SUPPORTS SHALL BE DESIGNED AND INSTALLED FOR THE SEISMIC FORCES IN ACCORDANCE WITH THE STATE BUILDING CODE.

23. PROVIDE A U.L. LISTED ASSEMBLY FOR ALL PENETRATIONS THRU FIRE RATED WALLS AND FLOORS.
24. NOT USED.

25. ALL SUSPENDED MATERIALS AND EQUIPMENT SHALL BE INDIVIDUALLY SUPPORTED FROM THE BUILDING STRUCTURE. DO NOT SUSPEND ITEMS FROM THE CEILING OR ITS SUPPORT SYSTEM.

26. NO INSULATION PERMITTED ON BACKFLOW PREVENTOR ASSEMBLY.

GENERAL NOTES
1. THESE PLANS ARE DIAGRAMMATIC AND MAY NOT SHOW MINOR DETAILS AND LOCATIONS. FOR DIMENSIONS, REFER TO THE ARCHITECTURAL PLANS.
2. COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION OF ANY WORK.
3. VERIFY THE LOCATION OF ALL EQUIPMENT SUPPLIED BY OTHERS.
4. PROVIDE A DIELECTRIC UNION WHEN CONNECTING DISSIMILAR METALS.
5. PROVIDE FIRE RATED SLEEVES IN ALL LOCATIONS WHERE PENETRATIONS OF RATED WALLS AND FLOORS ARE MADE. ALL OPENINGS WILL BE MADE FIREPROOF.
6. ALL VENT LINES SHALL SLOPE UP TO VENT THROUGH WALL. VENT THROUGH WALL SHALL BE 10'-0" MINIMUM FROM ANY FRESH AIR INTAKES.
7. ALL WASTE STACKS SHALL HAVE A CLEAN OUT AT THE BASE OF THE STACK. COORDINATE LOCATION OF CLEAN OUTS WITH CASEWORK.
8. PROVIDE ISOLATION VALVES AT ALL FIXTURES.
9. SEE ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS OF PLUMBING FIXTURES.
10. ALL LAVATORIES SHALL HAVE INSULATION ON ANY EXPOSED PIPES.
11. COMPLETELY ROD AND FLUSH OUT ALL SANITARY WASTE LINES AFTER BUILDING IS COMPLETED.
12. PROVIDE CHROME ESCUTCHEON RINGS AT ALL EXPOSED CEILING AND WALL PENETRATIONS.
13. ALL HW & CW PIPING TO BE INSULATED WITH 1" FIBERGLASS INSULATION.
14. HEAT TAPE SHALL BE PROVIDED FOR ALL DOMESTIC WATER LINES LOCATED IN EXTERIOR WALLS IN CLIMATES WHERE PIPES ARE SUBJECT TO FREEZING.
15. ROUTE ALL PLUMBING WATER SUPPLY LINES 12" MINIMUM BELOW FROST LINE IN CLIMATES WHERE PIPES ARE SUBJECT TO FREEZING.
16. 1" DOMESTIC WATER SERVICE LINE, PROVIDE WATER TAP AND ¾" METER WITH 1" WATER LINE RUN FROM METER TO BUILDING. PROVIDE PRV WHERE WATER PRESSURE EXCEEDS 70 PSI. COORDINATE ROUTING AND BLACKFLOW PREVENTOR REQUIREMENTS WITH CIVIL ENGINEER.
17. GC SHALL PROVIDE SEPARATE IRRIGATION LINE.
18. RUN PIPES S

AMENDMENTS

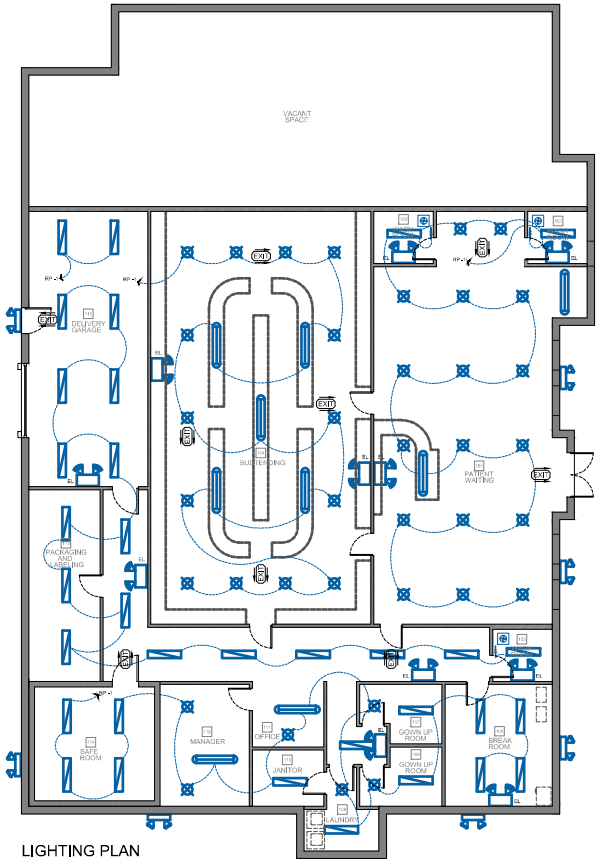
No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION
NAME: AEY CAPITAL LLC
ADDRESS: 34841 MOUND ROAD SUITE 297
STERLING HEIGHTS MI 48310
PHONE: 586-630-8338
EMAIL: dmventure16@gmail.com

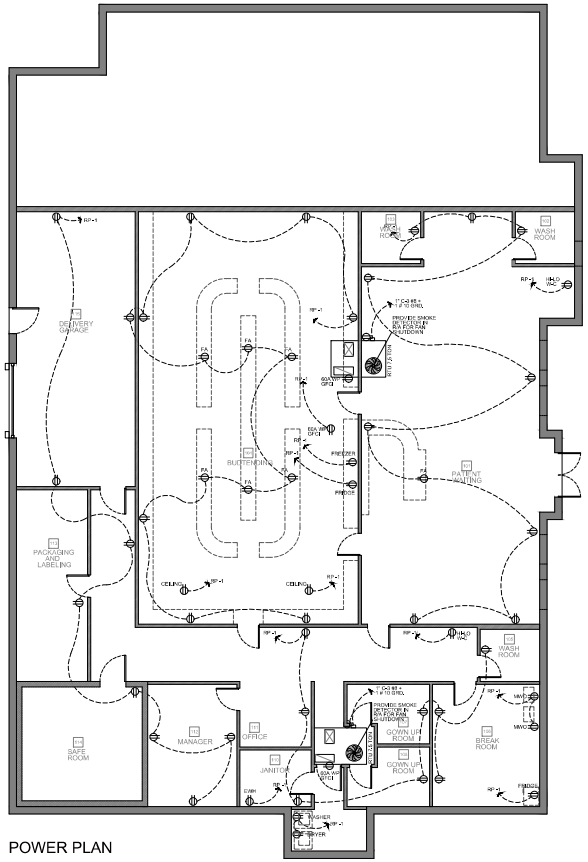
CONTENT
PLUMBING DETAILS
PLUMBING NOTES

SCALE
N/A

Draftsman A.C.
Reviewed
Approved
Review 0519 11.05.2018
Project no. 01
File AEY CAPITAL LLC
Drawing P1.2
No. Page 09/18
Rev. 01



LIGHTING PLAN

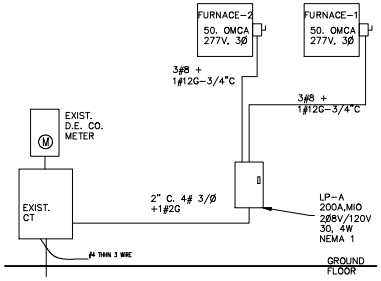


POWER PLAN

LIGHTING FIXTURES SCHEDULE NOTES:

1. *PROVIDE FIXTURE WITH ENERGY SAVING BALLAST*
2. *COORDINATE EXACT LOCATION OF FIXTUERS WITH PLAN*
3. *PROVIDE FIXTURE WITH U.L. WET LOCATION PLAN*
4. *PROVIDE LOW TEMPERATURE BALLAST FOR EXTERIOR FIXTURES*
5. *FIXTURES SHALL BE HUNG WITH AIRCRAFT SUSPENSION CABLE (ZACCVH M100) WTH TOP OF FIXTURE AT 11'–6"*
6. *USE PSL 600 BALLASTS IF ADDITIONAL COVERAGE IS REQUIRED.*
7. *IF NECESSARY TO PROVIDE MINIMUM 1 FOOT–CANDLE ALONG PATH OF EGRESS*

INSTALL AN OCCUPANT SENSOR TURING LIGHTS OFF WITHIN 30 MINUTES OF AN OCCUPANT LEAVING A SPACE



RISER DIAGRAM

LIGHTING FIXTURE NOMENCLATURE		QUANTITY
	CEILING-MOUNTED RECESSED LIGHT FIXTURE.	37
	PENDANT-MOUNTED LIGHT FIXTURE, MOUNTING HEIGHT 8'-0" A.F.F.	8
	CEILING-MOUNTED FLUORESCENT LIGHT FIXTURE.	33
EXIT	LED EXIT SIGN W/ BATTERY BACK-UP; SUPPLIED AND INSTALLED BY G.C.	9
	REMOTE HEAD MOUNTING PLATE, CAST ALUMINUM, WEATHER PROOF, SINGLE HEAD, NEMA RATED, PAR 36 6 V 18 W TUNGSTEN.	7
EL	EMERGENCY LIGHT E118NT6WE1 SERIES, 6 V 18 W, 6 W. TUNGSTEN LAMPS, WHITE.	11

AMENDMENTS

No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION

NAME: AEY CAPITAL LLC
ADDRESS: 34841 MOUND ROAD SUITE 297
STERLING HEIGHTS MI 48310
PHONE: 586-630-8338
EMAIL: dmventure16@gmail.com

N

CONTENT

POWER PLAN
ELECTRICAL PLAN

SCALE

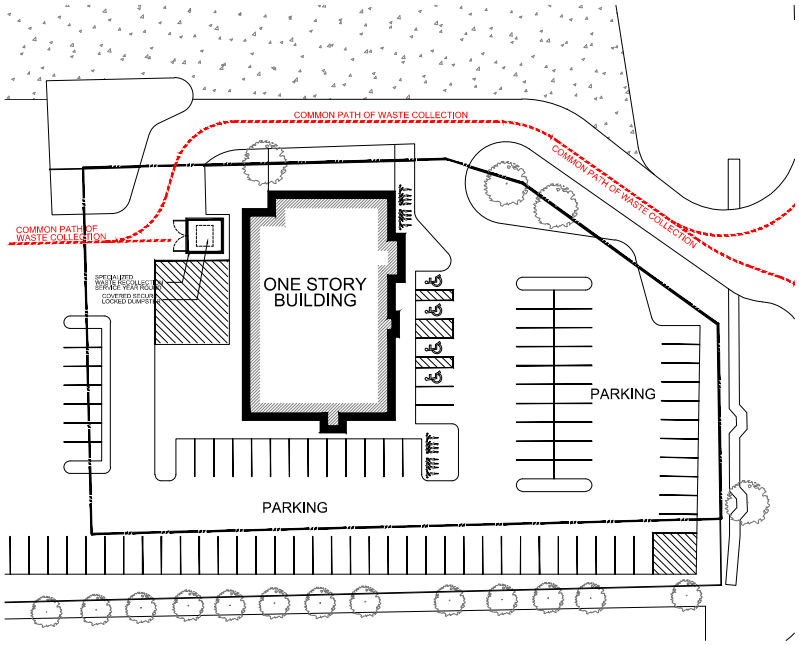
1/16

Draftsman A.C.
Reviewed
Approved
Review date 11.05.2018

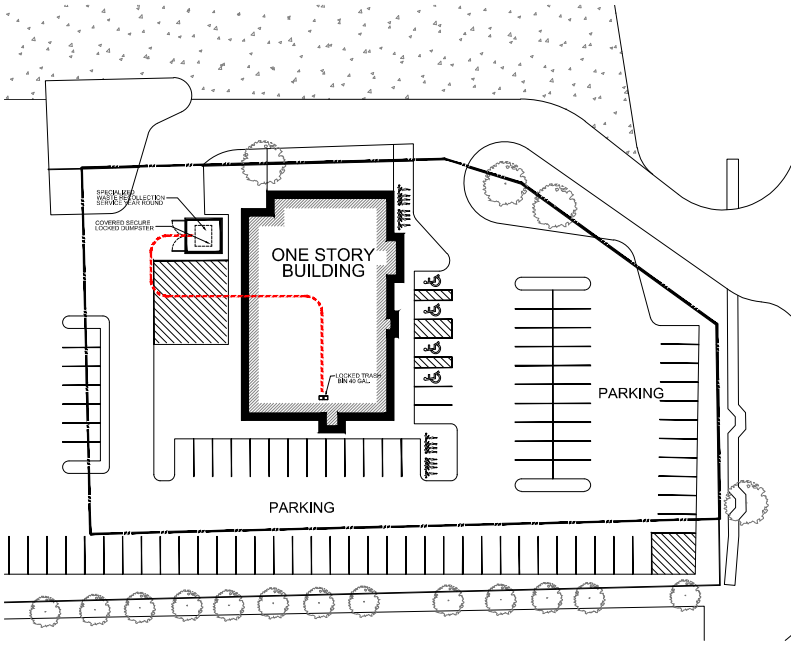
Project no. 21
File AEY CAPITAL LLC
Drawing E1.1
No. Page 10/18
Rev. 01

LIGHTING PLAN SCALE 1/16

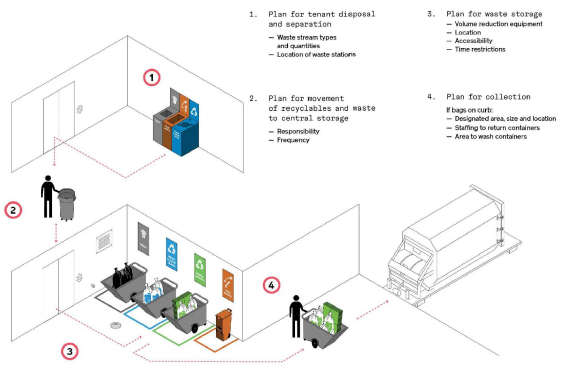
POWER PLAN SCALE 1/16



WASTE AND LITTER COLLECTION PLAN



WASTE AND LITTER DISPOSAL PLAN



WASTE AND LITTER DIAGRAM

AMENDMENTS

No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION

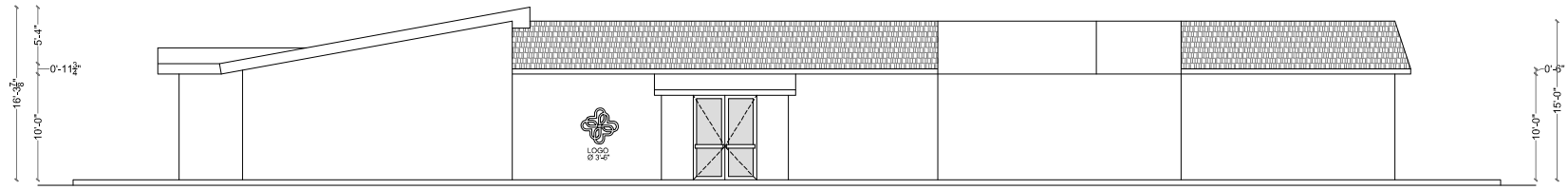
NAME: AEY CAPITAL LLC
ADDRESS: 34841 MOUND ROAD SUITE 297
STERLING HEIGHTS MI 48310
PHONE: 586-630-8338
EMAIL: dmventure16@gmail.com

N

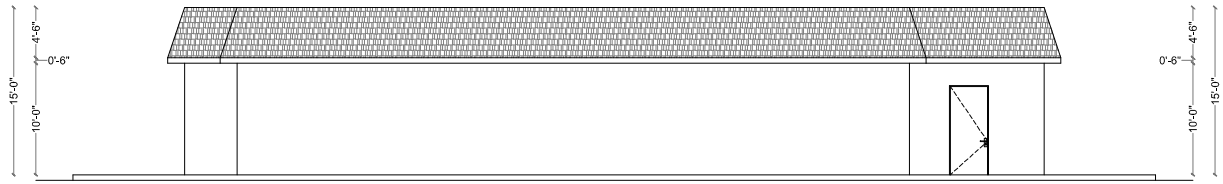
CONTENT
WASTE AND LITTER REMOVAL PLAN

SCALE
N/A

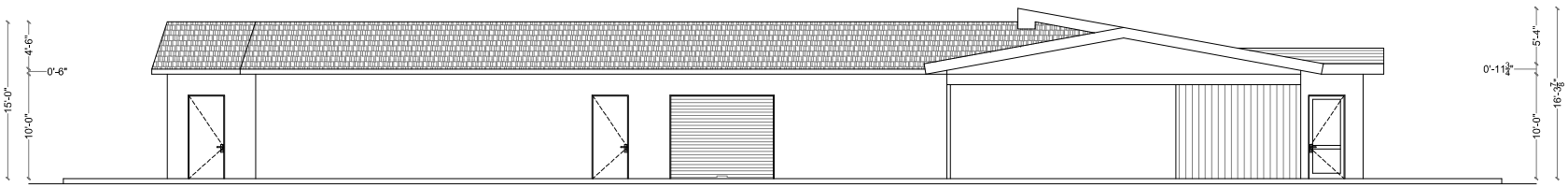
Draftsman	A.Z.	Project no.	
Reviewed		File	AEY CAPITAL LLC
Approved		Drawing	W1.1
Review date	11.05.2018	No. Page	11/18
		Rev.	01



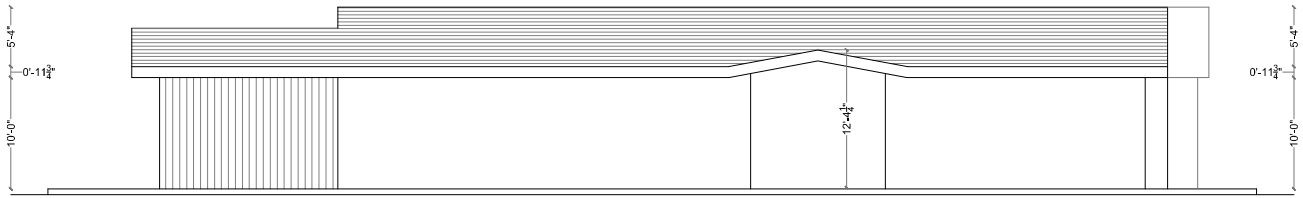
EAST SIDE ELEVATION (ENTRY)



NORTH SIDE ELEVATION



WEST SIDE ELEVATION



SOUTH SIDE ELEVATION

AMENDMENTS

No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION

NAME: AEY CAPITAL LLC
ADDRESS: 34841 MOUND ROAD SUITE 297
STERLING HEIGHTS MI 48310
PHONE: 586-630-8338
EMAIL: dmventure16@gmail.com

CONTENT
PROPOSED ELEVATIONS

SCALE
3/32

Draftsman	A.C.	Project no. 01	
Reviewed		File AEY CAPITAL LLC	
Approved		Drawing A3.1	
Review date 11.05.2018		No. Page 12/18	Rev. 01

Attachment: Back up 18-53 (4126 : SPR #18-53)

AERIAL RENDER

AMENDMENTS

No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION

NAME: AEY CAPITAL LLC
ADDRESS: 34841 MOUND ROAD SUITE 297
STERLING HEIGHTS MI 48310
PHONE: 586-630-8338
EMAIL: dmventure16@gmail.com

CONTENT

AERIAL RENDER

SCALE

N/A

Draftsman	A.Z.	Project no.	01
Reviewed		File	AEY CAPITAL LLC
Approved		Drawing	A4.1
Review date	11.05.2018	No. Page	13/18
		Rev.	01

EXTERIOR RENDER

AMENDMENTS

No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION

NAME: AEY CAPITAL LLC
ADDRESS: 34841 MOUND ROAD SUITE 297
STERLING HEIGHTS MI 48310
PHONE: 586-630-8338
EMAIL: dmventure16@gmail.com

CONTENT

EXTERIOR RENDER

SCALE

N/A

Draftsman	A.Z.	Project no.	01
Reviewed		File	AEY CAPITAL LLC
Approved		Drawing	A4.2
Review date	11.05.2018	No. Page	14/18
		Rev.	01

EXTERIOR RENDER

AMENDMENTS

No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

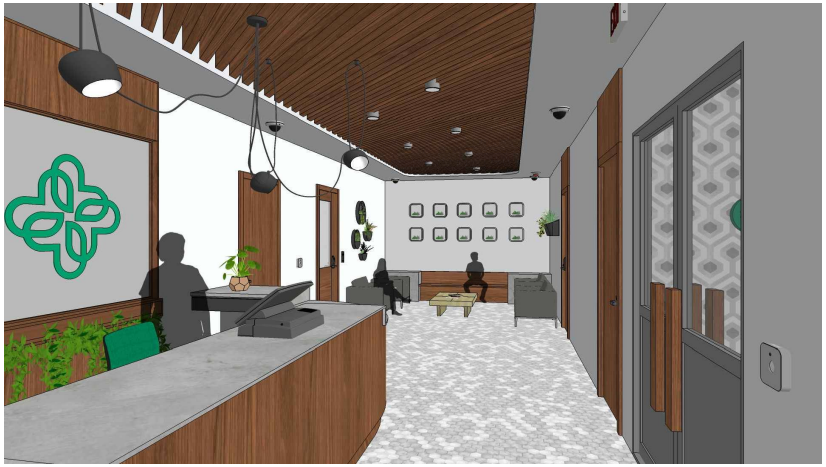
APPLICANT INFORMATION

NAME: AEY CAPITAL LLC
ADDRESS: 34841 MOUND ROAD SUITE 297
STERLING HEIGHTS MI 48310
PHONE: 586-630-8338
EMAIL: dmventure16@gmail.com

CONTENT
EXTERIOR RENDER

SCALE
N/A

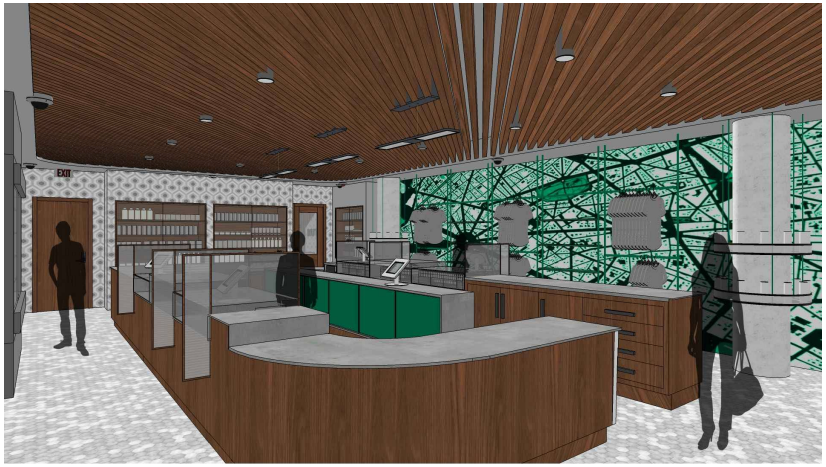
Draftsman	A.C.	Project no. 01	
Reviewed		File: AEY CAPITAL LLC	
Approved		Drawing A4.3	
Review date	11.05.2018	No. Page 15/18	Rev. 01



INTERIOR RENDER 01

INTERIOR RENDER 02

INTERIOR RENDER 03



INTERIOR RENDER 04

AMENDMENTS

No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION

NAME: AEY CAPITAL LLC
ADDRESS: 34841 MOUND ROAD SUITE 297
STERLING HEIGHTS MI 48310
PHONE: 586-630-8338
EMAIL: dmventure16@gmail.com

CONTENT
INTERIOR RENDERS

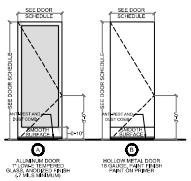
SCALE
N/A

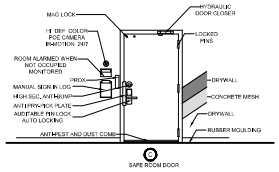
Draftsman A.Z.
Reviewed
Approved
Review date 11.05.2018

Project no. 01
File AEY CAPITAL LLC
Drawing A4.4
No. Page 16/18
Rev. 01

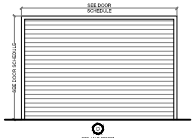
No.	TYPE	SIZE (W X HT)	MATERIAL	FACES	FRAME	NOTES
01	A	DOUBLE 6'-0" X 8'-0"	ALUMINUM / GLASS	ANODIZED	ALUMINUM	PROVIDE CLOSER, PROVIDE ILLUMINATED EXIT SIGN AND LOCKING HARDWARE.
02	A	3'-0" X 8'-0"	METAL	PAINT ON PRIMER	METAL	PROVIDE CLOSER.
03	A	3'-0" X 8'-0"	METAL	PAINT ON PRIMER	METAL	PROVIDE CLOSER.
04	A	3'-0" X 8'-0"	METAL	PINT ON PRIMER	METAL	PROVIDE CLOSER, PROVIDE LOCKING HARDWARE AND ILLUMINATED EXIT SIGN
05	B	3'-0" X 8'-0"	METAL	PAINT ON PRIMER	METAL	PROVIDE CLOSER, PROVIDE LOCKING HARDWARE.
06	B	3'-0" X 8'-0"	METAL	PAINT ON PRIMER	METAL	PROVIDE CLOSER, PROVIDE LOCKING HARDWARE AND ILLUMINATED EXIT SIGN (FIRE RATED)
07	B	3'-0" X 8'-0"	METAL	PAINT ON PRIMER	METAL	PROVIDE CLOSER, (FIRE RATED)
08	B	3'-0" X 8'-0"	METAL	PAINT ON PRIMER	METAL	PROVIDE CLOSER, PROVIDE LOCKING HARDWARE AND ILLUMINATED EXIT SIGN (FIRE RATED)
09	B	3'-0" X 8'-0"	METAL	PAINT ON PRIMER	METAL	PROVIDE CLOSER, PROVIDE LOCKING HARDWARE (FIRE RATED DOOR)
10	B	3'-0" X 7'-0"	METAL	PAINT ON PRIMER	METAL	PROVIDE CLOSER, PROVIDE LOCKING HARDWARE (FIRE RATED DOOR)
11	B	3'-0" X 8'-0"	METAL	PAINT ON PRIMER	METAL	PROVIDE CLOSER, PROVIDE LOCKING HARDWARE (FIRE RATED DOOR)
12	B	3'-0" X 8'-0"	METAL	PAINT ON PRIMER	METAL	PROVIDE CLOSER, PROVIDE LOCKING HARDWARE AND ILLUMINATED EXIT SIGN (FIRE RATED)
13	C	3'-0" X 8'-0"	METAL	PAINT ON PRIMER	METAL	PROVIDE CLOSER, PROVIDE LOCKING HARDWARE AND ILLUMINATED EXIT SIGN (FIRE RATED)
14	B	3'-0" X 8'-0"	METAL	PAINT ON PRIMER	METAL	PROVIDE CLOSER, PROVIDE LOCKING HARDWARE AND ILLUMINATED EXIT SIGN (FIRE RATED)
15	B	3'-0" X 7'-0"	METAL	PAINT ON PRIMER	METAL	VAULT DOOR (PROVIDED BY GENERAL CONTRACTOR), PROVIDE ILLUMINATED EXIT SIGN.
16	B	3'-0" X 8'-0"	METAL	PAINT ON PRIMER	METAL	PROVIDE CLOSER, PROVIDE LOCKING HARDWARE (FIRE RATED DOOR)
17	B	3'-0" X 8'-0"	METAL	PAINT ON PRIMER	METAL	PROVIDE CLOSER, PROVIDE LOCKING HARDWARE (FIRE RATED DOOR)
18	B	3'-0" X 8'-0"	METAL	PAINT ON PRIMER	METAL	PROVIDE CLOSER, PROVIDE LOCKING HARDWARE AND ILLUMINATED EXIT SIGN.
19	D	10'-0" X 8'-0"	METAL	PAINT ON PRIMER	METAL	METAL ROLLING DOOR (PROVIDED BY GENERAL CONTRACTOR)

1. THE MINIMUM DOOR WIDTH OF EACH DOOR OPENING SHALL BE SUFFICIENT FORT THE OCCUPANT LOAD THERE OF AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES. THE HEIGHT OF DOORS SHALL NOT BE LESS THAN 80 INCHES.. ALL EXIT DOORS SHALL CAPABLE OF OPENING 90 DEGREES.
2. EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP H OCCUPANCY.
3. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, OR SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE AN APPROVED TYPE.
4. PROVIDE APPROVED PANIC HARDWARE ON REQUIRED EXIT DOORS. PANIC HARDWARE SHALL BE PROVIDED ON EXIT DOORS SERVING ROOMS, CORRIDORS, OR STAIRWAYS HANDLING AN OCCUPANT LOAD OF 50 OR MORE PERSONS.
5. OPERABLE PARTS OF HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS SHALL BE 34 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION. OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND ON ACCESSIBLE ROUTE SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER-TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS OR OTHER HARDWARE, DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
6. DOORS CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM. DOOR AND GATE SPRING HINGES SHALL BE ADJUSTED SO THAT THE OPEN POSITION OF 70 DEGREES, THE DOOR OR GATE SHALL BE MORE TO THE CLOSED POSITION IN 1.5 SECONDS MINIMUM.
7. REQUIRED FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY. NOT TO EXCEED 15 POUNDS, OTHER EXTERIOR AND INTERIOR DOORS SHALL HAVE A MAXIMUM OPENING FORCE OF 5 POUNDS. PUSH OR PULL FORCE FOR A HINGED DOOR SHALL BE MEASURED PERPENDICULAR TO THE DOOR FORCE AT THE DOOR OPENING HARDWARE OR 30 INCHES FROM THE HINGED SIDE, WHICHEVER IS FURTHER FROM THE HINGE. PUSH OR PULL FORCE FOR A SLIDING OR FOLDING DOOR SHALL BE MEASURED PARALLEL TO THE DOOR AT THE DOOR PULL OR LATCH.
8. SWINGING DOOR AND GATE SURFACE WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THESE SURFACES SHALL BE WITHIN 1/16 INCH OF THE SAME PLANE AS THE OTHER AND BE FREE OF SHARP OR ABRASIVE EDGES. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED. EXCEPTION: AUTOMATIC AND SLIDING DOORS OR GATES.
9. THE LEVER OR LEVER OF ACTUATED LATCHES OR LOCKS SHALL BE CURVED WITH A RETURN TO WITHIN 1/2" OF THE DOOR TO PREVENT CATCHING ON THE CLOTHING OF PERSONS DURING EGRESS.
10. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 24 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE THE FINISHED FLOOR.
11. GLAZING WITHIN 24" OF EITHER SIDE OF ANY DOORWAY AND LESS THAN 60" ABOVE A WALKWAY SHALL BE SAFETY GLAZING.
12. GLAZING IN EXCESS OF 9 SQ. FT. WITHIN 18" OF A WALKING SURFACE SHALL BE SAFETY GLAZING. TITLE.
13. VERIFY DOOR AND ROUGH OPENING DIMENSIONS WITH DOOR SUPPLIER.

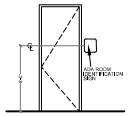


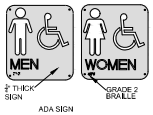


SAFE ROOM DOOR



ROLLUP DOOR
INSULATED (ACS) STEEL DOOR, CONSTRUCTED OF 18 GAUGE STEEL PANELS, INSULATED AND EXTENDED TO ENCLOSE THE ROLLER HOUSING. THERMAL BREAK FRAME, SEAL AT PERIMETER WITH LOCK, ASTRAGAL PROVIDED. (COLOR FINISH SELECTED BY OWNER)



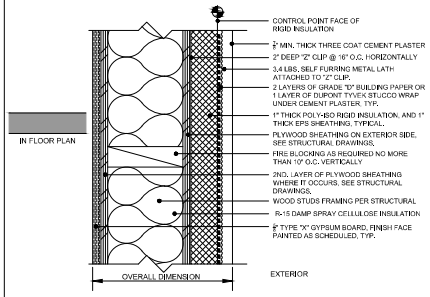


ADA SIGN

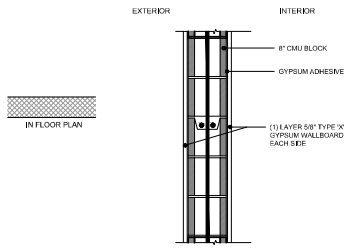
NOTES :

1. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND
2. RAISED CHARACTERS SHALL BE 48" MIN. ABOVE THE FLOOR MEASURES TO THE BASELINE OF LOWEST RAISED CHARACTER AND 60" MAXIMUM ABOVE THE FLOOR, MEASURED TO THE BASELINE OF HIGHEST RAISED CHARACTER.
3. SYMBOLS ARE TO BE DISTINCTLY DIFFERENT FROM THE DOOR IN COLOR AND CONTRAST
4. PROVIDE IDENTIFICATION SIGN ON LATCH SIDE OF DOOR LETTERS AND NUMBERS ON SIGNS MUST BE RAISED 5/8" MIN. AND SHALL BE A MIN. OF 2" TALL. LETTERS SHALL BE SAN-SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE.
5. LOCATE RAISED AND BRAILLE CHARACTERS, SIGNS ON THE WALL NEAREST TO THE LATCH SIDE OF THE DOOR

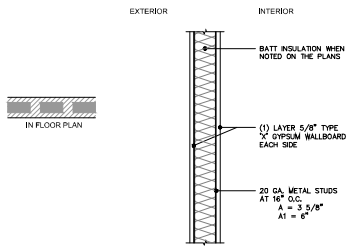
DOOR SCHEDULE



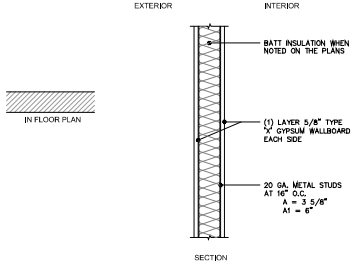
01 A5.1 EXTERIOR WALL
SCALE N.T.S.



02 A5.1 CMU WALL
SCALE N.T.S.



03 A5.1 1-HOUR WALL/PARTITION WALL
SCALE N.T.S.



04 A5.1 NON RATED PARTITION WALL
SCALE N.T.S.

AMENDMENTS

No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION
NAME: AEY CAPITAL LLC
ADDRESS: 34841 MOUND ROAD SUITE 297
STERLING HEIGHTS MI 48310
PHONE: 586-630-8338
EMAIL: dmventure16@gmail.com

CONTENT
SCHEDULES AND DETAILS

SCALE
N/A

Draftsman	A.Z.	Project no. 01	
Reviewed		File AEY CAPITAL LLC	
Approved		Drawing A5.1	
Review 0000	11.05.2018	No. Page 17/18	Rev. 01

01 S1.0 UNAUTHORIZED PERSONNEL SIGN (24" x 36")

IT IS ILLEGAL UNDER STATE LAW TO DRIVE A MOTOR VEHICLE OR TO OPERATE MACHINERY WHEN UNDER THE INFLUENCE OF, OR IMPAIRED BY, MEDICAL MARIHUANA

02 S1.0 MARIHUANA AND DRIVE SIGN (24" x 36")

NO ONE UNDER THE AGE OF EIGHTEEN (18) YEARS IS PERMITED ON THESE PREMISES

03 S1.0 MARIHUANA AGE SIGN (24" X 36")

04 S1.0 HANDICAP PARKING SIGN (36" x 24")

05 S1.0 MONITORED BY CAMERA SIGN (24" x 36")

06 S1.0 VISITORS REPORT SIGN (24" x 36")

NO SMOKING, VAPING, OR CONSUMPTION OF ALCOHOL IS ALLOWED ON THE PREMISES

07 S1.0 NO SMOKING SIGN (24" X 36")

THE POSSESSION, USE, SALE, DISTRIBUTION, GROWING, CULTIVATION, AND TRANSPORTING OF MEDICAL MARIHUANA IS A VIOLATION OF FEDERAL LAW

08 S1.0 MARIHUANA POSSESSION SIGN (24" X 36")

09 S1.0 NO FIRE ARMS OR WEAPONS SIGN (24" x 36")

AMENDMENTS

No.	Date	Concept
01	11/03/18	PARCEL SPLIT DOCUMENT

APPLICANT INFORMATION

NAME: AEY CAPITAL LLC
ADDRESS: 34841 MOUND ROAD SUITE 297
STERLING HEIGHTS MI 48310
PHONE: 586-630-8338
EMAIL: dmventure16@gmail.com

CONTENT
SIGNAGE

SCALE
N/A

Draftsman A.C.
Reviewed
Approved
Review date 11.05.2018
Project no.
File AEY CAPITAL LLC
Drawing S1.0
No. Page 18/18
Rev. 01

SPR #18-52

By: Gregory Fenner
4071 S. Saginaw St.
Burton, MI 48529

Re: 4071 S. Saginaw St. Burton, MI 48529
59-32-501-005 / C-2 Zone

For: Flower shop

ATTACHMENTS:

- Back up 18-52 (PDF)

City of Burton

Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230

APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 10-31-18

FEE: **$75.00**

RECEIPT NO: _____

CHECK NO: Cash

SPR #: 18-52

PLEASE PRINT

DATE: _____

APPLICANTS NAME: Gregory A Fenner

APPLICANTS ADDRESS: 4071 S. Saginaw St Burton MI 48529

APPLICANTS PHONE NO: 810 922 5915

PROPOSED NAME OF BUSINESS: Fenner's Floral & Design Co.

SITE ADDRESS: 4071 S. Saginaw St Burton MI 48529

SUBDIVISION & LOT # OR PARCEL NUMBER: 1/2 Lot 17 all of Lot 18 and 19 of Bendlecrest (59-32-501-005 + 59-32-501-006

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: Flower Shop

SQ FOOTAGE OF PROPERTY: 10,000 sq ft

SQ FOOTAGE OF STRUCTURE: 330 sq ft - commercial portion

NUMBER OF EMPLOYEES/SEATS: 1

APPLICANTS SIGNATURE: Gregory A Fenner

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

SPR #18-54

By: AEY Capital, LLC.
34841 Mound Road Ste 297
Sterling Heights, MI 48310

Re: 1076 S. Belsay Rd. Burton, MI 48509
59-14-526-035 (pending split)

For: Medical Marijuana Provisioning Facility

ATTACHMENTS:

- Back up 18-54 (PDF)

City of Burton

Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230

APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 11-6-18

FEE: **$75.00**

RECEIPT NO: _____

CHECK NO: 1010

SPR #: 18-54

PLEASE PRINT

DATE: 11/2/2018

APPLICANTS NAME: AEY Capital, LLC

APPLICANTS ADDRESS: 34841 Mound Raad Ste# 297

APPLICANTS PHONE NO: 586-630-8338

PROPOSED NAME OF BUSINESS: Nutri

SITE ADDRESS: 1076 Belsay Road, Burton, MI, 48509

SUBDIVISION & LOT # OR PARCEL NUMBER: Parcel ID 59-14-526-035 Parcel A, (Split approved 11/1/2018)

TYPE: [X] CHANGE OF OWNERSHIP [ ] CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: MMFLA Provisioning Center

SQ FOOTAGE OF PROPERTY: 47,946 sqft / 1.10 acres

SQ FOOTAGE OF STRUCTURE: 7,989 sqft

NUMBER OF EMPLOYEES/SEATS: Employees 16 - 24

APPLICANTS SIGNATURE: _____

*** ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

SPR #18-55

By: Cornelius Hollis
7360 Crystal Lake Apt# 8
Swartz Creek, MI 48473

Re: 1394 E. Bristol Rd. Burton, MI 48529

For: Salon

ATTACHMENTS:

- Back up 18-55 (PDF)

City of Burton

Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230

APPLICATION FOR ZONING REVIEW

DATE FILED: 11-8-18

FEE: **$40.00**

RECEIPT NO: _____

CHECK NO: Cash

SPR #: 18-55

PLEASE PRINT

DATE: 11/8/17

APPLICANTS NAME: Cornelios Hollis

APPLICANTS ADDRESS: 7360 Crystal Lake Apt #8 Swartz Creek MI 484

APPLICANTS PHONE NO: (810) 882-9210

PROPOSED NAME OF BUSINESS: Exclusive Cuts & Styles

PROPOSED TYPE OF BUSINESS: Solon

SITE ADDRESS: 1394 E. Bristol Rd. Burton MI 48529

USE OF STRUCTURE: Solon

SQ FOOTAGE OF PROPERTY: 11 square

SQ FOOTAGE OF STRUCTURE: _____

NUMBER OF EMPLOYEES/SEATS: 8 / 9 seats

APPLICANTS SIGNATURE: C. Hollis

*** ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

SPR #18-56

By: City of Burton
4303 S. Center Rd.
Burton, MI 48519

Re: 4024 Atherton Rd. Burton, MI 48519
59-27-100-008

For: Construction less than 2% - Detached garage for storage only

Master Plan Update

COMMENTS - Current Meeting:

Mrs. Abbey stated a public service announcement went out to the businesses on Saginaw Street and Center Road last Friday to remind them that they are responsible for sidewalk clearing during snow events. It talked about the City Master Plan and pushing snow into the public right of way. Our implementation plan is on the wall in my office and as we do things, I am highlighting them. We are moving forward with the implementation of our Master Plan through these different actions.

Mr. Burge stated we don't have ordinances for moving snow into the right of way or blowing grass into the street.

Mrs. Abbey stated there is not. If there was, it would have to be a Police enforced ordinance because they would have to be caught in the act. Zoning ordinance violations are hardly ever caught in the act. The council may want to look at doing this through Legislative not the Planning Commission.