



CITY OF BURTON
BURTON PLANNING COMMISSION MEETING
NOVEMBER 13, 2018
MINUTES

Council Chambers

Regular Meeting

5:00 PM

4303 S. CENTER ROAD
BURTON, MI 48519

This meeting was opened by Commissioner Robert Johnson at 5:00 PM.

A. PLEDGE OF ALLEGIANCE

Mr. Johnson stated he would like to take a moment of reflection for those who have been in danger throughout the last couple of weeks in California. Please take your own personal moment of silence for them.

B. ROLL CALL

Attendee Name	Title	Status	Arrived
Vaughn Smith	Councilman	Present	
Kevin Burge	Vice Chair	Excused	
Mary Ann White	Commissioner	Excused	
Tom Gorang	Commissioner	Present	
Deb Walton	Chairperson	Excused	
John Benthall	Commissioner	Present	
Kris Johns	Commissioner	Present	
Robert Johnson	Commissioner	Present	

C. STAFF PRESENT

Amber Abbey, Planning/Zoning
Racheal Boggs, Deputy Clerk

D. APPROVAL OF MINUTES

1. Planning Commission - Regular Meeting - Oct 9, 2018 5:00 PM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Vaughn Smith, Councilman
SECONDER:	Tom Gorang, Commissioner
AYES:	Smith, Gorang, Benthall, Johns, Johnson
EXCUSED:	Burge, White, Walton

E. SITE PLAN REVIEW

1. SPR #18-50

By: First Response Restoration, LLC. (Amber Taylor, PM
4268 N. Linden Rd.
Flint, MI 48504

Re: 1270 S. Belsay Rd. Burton, MI 48509
59-14-526-015 / C-2 General Business

For: Addition to the building

Kurt Neiswender with Sedgewick & Ferweda Architects is here on behalf of the applicant, Amber Taylor of First Response Restoration. He stated this is for Bentley Florist on Belsay Road. They want to put an addition on to enclose the new walk-in cooler on the north east corner of the building. We will be matching the existing conditions of the building. This should not affect the parking count. There is an existing greenhouse that will be demolished and replaced with this new permanent addition to the building. The client has a seasonal business and they have had to park temporary cooler trucks in the parking lot at times when it is busy. This addition would minimize the impact to the parking lot and public circulation.

Mrs. Abbey stated the administration recommends approval.

RESULT:	CARRIED [UNANIMOUS]
MOVER:	John Benthall, Commissioner
SECONDER:	Vaughn Smith, Councilman
AYES:	Smith, Gorang, Benthall, Johns, Johnson
EXCUSED:	Burge, White, Walton

2. SPR #18-51

By: Titan Properties, LLC.
9572 Shelby Dr.
White Lake, MI 48386

Re: 4086 S. Dort Hwy. Burton, MI 48529
59-32-530-057 / M-1 Zoned

For: Expansion of existing facility with two new buildings

Steven Goff of White Lake stated with the expansion of this we are looking to continue the development of the vacant land between Diamond Jim's and Krauss Fire. We have an existing building there that is 1200 square feet where we operate an escape room. We are looking to add two manufacturing buildings one of roughly 15,000 square feet and the second of 3,000 square feet. This property has sat vacant for around 20 years prior to our purchase of it four years ago.

Mrs. Abbey stated the County Land Bank used to own this property. They removed the modular that was there and brought in this business with the intention of a medical marijuana provisioning center. It was approved at the time. The state law has changed and now they want to expand upon the existing facility. The large building in the back will be for grow and the other building will be for processing. We have had several meetings with Kirk Wilkinson from the Fire Department where we sat down with different sketches trying to make this as safe as possible. Kirk has

seen this for fire separation between the buildings. As a facility, safety wise it meets all the Fire Department requirements. As far as zoning, there are a few minor tweaks. They cannot meet the rear set-back with this size of building. However, the parcel behind them will be their detention pond. The administration recommends approval contingent upon the Zoning Board of appeals decision in December. Also, these are two separate parcels and they will be required to combine them and they are aware of that. They are also requesting a variance for the height of the fence.

Mr. Smith asked if the Police Department is on board with this.

Mrs. Abbey stated the property meets the ordinance. The police enforce the law. There hasn't been any security plans submitted yet but the police will sign off on anything concerned with that.

RESULT:	CARRIED [UNANIMOUS]
MOVER:	Tom Gorang, Commissioner
SECONDER:	Vaughn Smith, Councilman
AYES:	Smith, Gorang, Benthall, Johns, Johnson
EXCUSED:	Burge, White, Walton

F. ADMINISTRATIVE SITE PLAN REVIEW

1. SPR #18-48

By: Chester Harvey
5186 Fern Ave.
Grand Blanc, MI 48439

Re: 3048 E. Hemphill Rd. Burton, MI 48529
59-28-300-009 M-1 Zone

For: Air Compressor Sales

No discussion.

2. SPR #18-49

By: Prestige Promotions, LLC.
4288 S. Saginaw St.
Burton, MI 48529

Re: 4288 S. Saginaw St. Burton, MI 48529

For: Business Office

No discussion.

G. AUDIENCE PARTICIPATION

None.

H. BOARD DISCUSSION

Mr. Smith stated the Burton City Council approved the Central Business District Overlay by a vote of 4-3. It was a close vote because there were still some reservations by people who were concerned about what it would do. Madam Chair was concerned that what Mrs. Abbey said in the Planning meeting in terms of restrictions was different than what Mr. Abbey said at the City Council Meeting.

Mrs. Abbey stated she was told the Planning Commission still had questions that had gone unanswered at that meeting. When the Planning Commission passed it with a vote of 7-0, the assumption was that everyone was comfortable with it. I was confused by that. Moving forward with ordinances, we need to make sure the board members get their questions answered and are comfortable before we send them to City Council for approval.

Mr. Johnson stated when we make decisions, they should be well thought out and we should be locked into that decision.

Mrs. Abbey stated at the last meeting AJ Imports came before the board and did a site plan for a 40x80 two story building. After going to bid to have the work done, he would like to make a change to reduce the height of the building and add ten feet to the side. So, basically it becomes a 50x80 building without a second story. He brought me a sketch. Does the board want to see a full site plan again or is the change insignificant to the actual project that it doesn't make a difference.

Mr. Smith asked what Mrs. Abbey's thoughts are on this.

Mrs. Abbey stated he is well within the set-backs so adding the ten feet in my opinion isn't a significant change to the site plan. There is plenty of drainage there. To make him pay to do a whole new site plan is very expensive.

The board had agreed to allow the change without an additional site plan.

Mr. Johns thanked Ms. Abbey for the common sense approach on this. This is a sensible solution and a minor adjustment. It really shows how flexible the City of Burton is in accommodating businesses.

Mr. Smith stated regarding the discussion about the Central Business District Overlay, he doesn't mean to downgrade anyone by his previous statement. Each individual has their own beliefs and thoughts and they should be respected. We do need to all be on board with the decisions we make.

Mrs. Abbey stated once the Planning Commission approves something, it should move forward. She is unsure of what type of misunderstanding took place and she didn't see the City Council Meeting. It sounded like some of the council members still had questions but she isn't sure what those were because it wasn't very specific.

Mr. Smith stated there was a feeling with a portion of the council that this ordinance would take the power away from the Planning Commission, Zoning Board of Appeals and City Council regarding their approval for new development in the city. Mr. Abbey assured them that there would not be any changes in the way the city operates with the approval of the ordinance.

Mrs. Abbey stated if there was a certain section that made them feel that way, it would have been helpful to know what the section was so we could modify the wording. We don't

want to adopt ordinances that our own people can't understand. If we understand it, the general public will be able to understand it. They will be the ones reading it and making decisions based on it.

Mr. Smith stated he was concerned that if we tabled this ordinance, it would be difficult to get it back.

Mrs. Abbey stated that is true but we want ordinances to read friendly to someone outside of us. We don't want to approve something for the sake of not having to table it. We could have easily modified something to make it easier to understand. In the future, if an individual has an issue with something that is in writing, I would ask that we address it before we go to council or even at the council level. The ultimate goal is for the public to be able to understand it.

1. Master Plan Update

No discussion.

**THE NEXT REGULARLY SCHEDULED MEETING WILL BE HELD ON TUESDAY,
DECEMBER 11, 2018 AT 5:00 PM.**

Meeting was adjourned at 5:28 PM.



CITY OF BURTON
BURTON PLANNING COMMISSION MEETING
OCTOBER 9, 2018
MINUTES

Council Chambers

Regular Meeting

5:00 PM

4303 S. CENTER ROAD
BURTON, MI 48519

This meeting was opened by Chairperson Deb Walton at 5:00 PM.

A. PLEDGE OF ALLEGIANCE

B. ROLL CALL

Attendee Name	Title	Status	Arrived
Vaughn Smith	Councilman	Present	
Kevin Burge	Vice Chair	Present	
Mary Ann White	Commissioner	Present	
Tom Gorang	Commissioner	Present	
Deb Walton	Chairperson	Present	
John Benthall	Commissioner	Excused	
Kris Johns	Commissioner	Late	5:05 PM
Robert Johnson	Commissioner	Present	

C. STAFF PRESENT

Amber Abbey, Planning & Zoning
 Marcy Kimball, Clerk's Office

D. APPROVAL OF MINUTES

1. Planning Commission - Regular Meeting - Aug 14, 2018 5:00 PM

Minutes were approved with the following corrections: Ms. White abstained from voting on the approval of the minutes and she voted yes on SPR#18-40 / ZC#323.

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Robert Johnson, Commissioner
SECONDER:	Mary Ann White, Commissioner
AYES:	Smith, Burge, White, Gorang, Walton, Johns, Johnson
EXCUSED:	Benthall

E. PUBLIC HEARING

None.

F. SITE PLAN REVIEW

1. SPR #18-47

By: Andrew Johnson

5053 E. Court St.
Burton, MI 48509

Re: 5053 E. Court St. Burton, MI 48509
59-11-300-006 / C-2 General Business Zone

For: Construction of a New 40' x 80' Building

Mr. Swihart from Creekwood Architecture stated there is an existing building located on the site now that is in bad shape. If this is approved, the building will be taken down. This would be replacing what is there now. There is ample parking on the site for this building.

Ms. White asked if the height will be within what is allowed in the ordinance.

Mr. Swihart stated this will be a two story building around 25 ft. high.

Mrs. Abbey said the maximum height allowed is 35 feet. The administration recommends approval.

RESULT:	CARRIED [6 TO 0]
MOVER:	Tom Gorang, Commissioner
SECONDER:	Robert Johnson, Commissioner
AYES:	Smith, Burge, Gorang, Walton, Johns, Johnson
EXCUSED:	Benthall
RECUSED:	White

G. ADMINISTRATIVE SITE PLAN REVIEW

1. SPR #18-43

By: Bassam Youssef
9209 N. Island Ct.
Flushing, MI 48433

Re: 2480 S. Center Rd. Burton, MI 48519
59-14-578-042

For: Objibwa Health Store

Ms. Abbey said this is for a change of ownership.

2. SPR #18-44

By: Jeffrey Story
625 MacDonald Ave.
Flint, MI 48507

Re: 5006 Lapeer Rd. Unit 2

Burton, MI 48509

For: Thai Nation Bistro

3. SPR #18-45

By: Starlite Burger and Coney Shop
8516 Woodridge Dr.
Davison, MI 48423

Re: 4125 E. Court St. Burton, MI 48509

For: Restaurant

Mr. Burge asked if this was still going to happen.

Ms. Abbey said yes it is. They went for a variance for the size of the sign and they have applied for a building permit. They are not closing the present facility, so they will have two restaurants.

4. SPR #18-46

By: Stephanie Henry
3920 Parkforest Dr.
Flint, MI 48507

Re: 1423 Bristol Rd. Burton, MI 48529

For: LaBella Salon and Day Spa

H. AUDIENCE PARTICIPATION

None.

I. BOARD DISCUSSION

1. Master Plan Update

Mrs. Abbey stated on October 15, 2018 at 7 PM, the council will see the Central Business District Ordinance for the first reading. This is the first step to accomplishing one part of the implementation. We are well on our way of going in the right direction.

Mr. Smith said it would be helpful if the Planning Commission members could make it to the meeting in case there are any questions from the council members.

Minutes Acceptance: Minutes of Oct 9, 2018 5:00 PM (Approval of Minutes)

Mr. Burge stated it was brought up in front of council to raise the stipend for the Planning Commission chairperson. I have not heard if they approved this.

Mrs. Abbey said she would ask the administration about this. I have distributed to each of you a copy of the By-Laws. As soon as the Zoning ordinances are all updated, I will give everyone a copy.

Mrs. Walton asked if the Planning Commission could attend the Zoning class. She said it will be very helpful to have a refresher course once a year.

Mrs. Abbey said if anyone wants to attend they can, however I think it is going to be geared just to the Zoning Board of Appeals.

Mr. Johnson stated there is a piece of property on Forest Avenue that is for sale through the city. The neighbor keeps taking the sign down and mowing the grass. If anyone drives by this property they would have no idea it is for sale. Someone should let her know that they are not allowed to take the signs down. This is city property.

Mrs. Abbey said out of 80 properties that were bid on, the total bid amounts equal around \$295,000. General Motors is currently working on the finalization of the bypass lane on Genesee and Davison Road. This should be finalized any day now and you will see what that is at the November meeting.

Mr. Smith stated I have heard that GM has brought in over 1,000 jobs with this project.

Ms. White asked about the railroad company updating the Belsay, Genesee and Center Road railroad tracks.

Mrs. Abbey said she has only heard about Center Road being done the next couple of weeks.

THE NEXT REGULARLY SCHEDULED MEETING WILL BE HELD ON TUESDAY, NOVEMBER 13, 2018 AT 5:00 PM.

Meeting was adjourned at 5:36 PM.

Minutes Acceptance: Minutes of Oct 9, 2018 5:00 PM (Approval of Minutes)



ADOPTED

AGENDA ITEM (ID # 4089)

DOC ID: 4089

SPR #18-50

By: First Response Restoration, LLC. (Amber Taylor, PM
4268 N. Linden Rd.
Flint, MI 48504

Re: 1270 S. Belsay Rd. Burton, MI 48509
59-14-526-015 / C-2 General Business

For: Addition to the building

COMMENTS - Current Meeting:

Kurt Neiswender with Sedgewick & Ferweda Architects is here on behalf of the applicant, Amber Taylor of First Response Restoration. He stated this is for Bentley Florist on Belsay Road. They want to put an addition on to enclose the new walk-in cooler on the north east corner of the building. We will be matching the existing conditions of the building. This should not affect the parking count. There is an existing greenhouse that will be demolished and replaces with this new permanent addition to the building. The client has a seasonal business and they have had to park temporary cooler trucks in the parking lot at times when it is busy. This addition would minimize the impact to the parking lot and public circulation.

Mrs. Abbey stated the administration recommends approval.

ATTACHMENTS:

- Back up 18-50 (PDF)

RESULT:	CARRIED [UNANIMOUS]
MOVER:	John Benthall, Commissioner
SECONDER:	Vaughn Smith, Councilman
AYES:	Smith, Gorang, Benthall, Johns, Johnson
EXCUSED:	Kevin Burge, Mary Ann White, Deb Walton



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR SITE PLAN REVIEW

DATE FILED: 10-29-18
FEE: \$ 200.00
RECEIPT NO: _____
CHECK NO: 4215

SPR #: 18-50

PLEASE PRINT

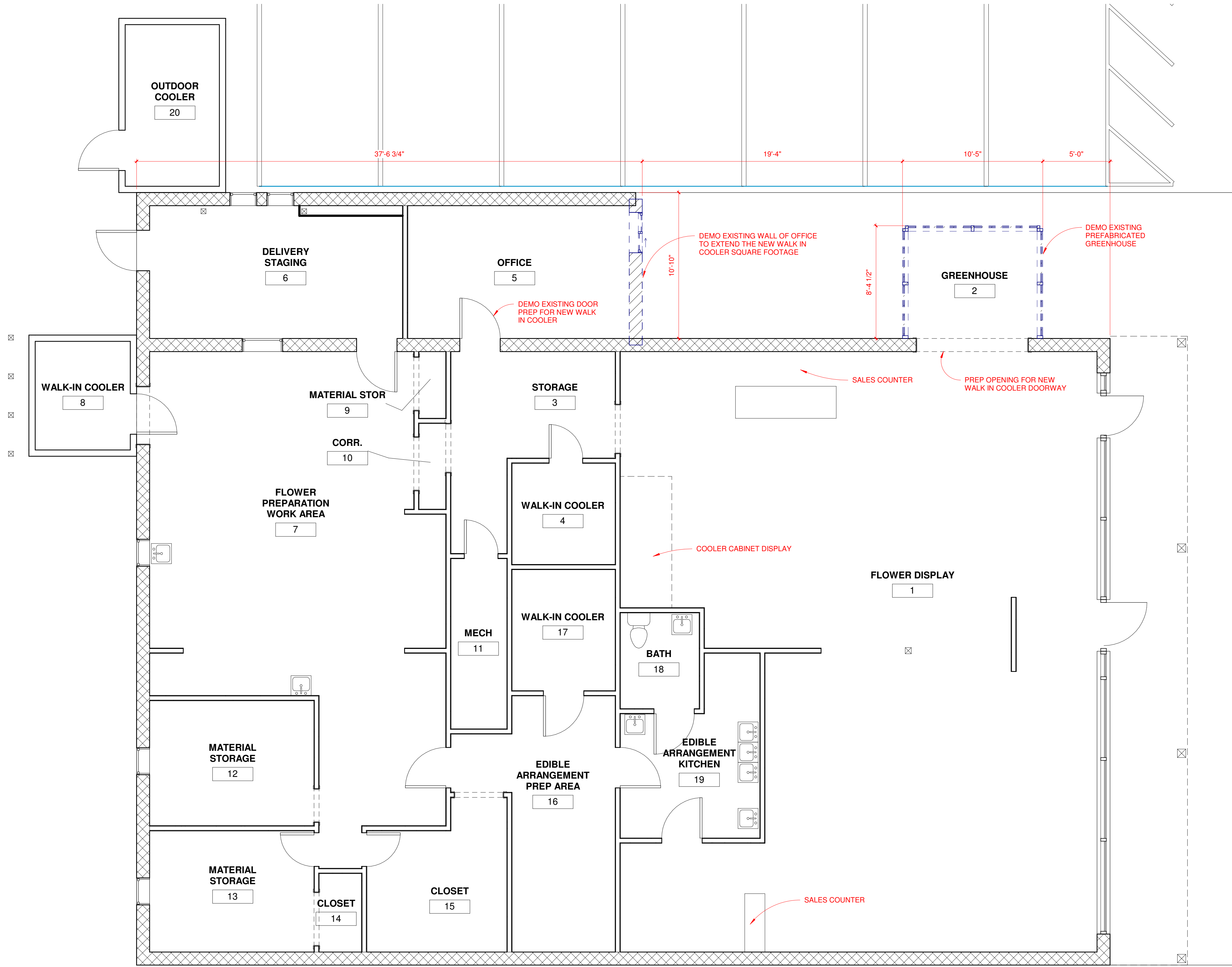
DATE OF PLANNING COMMISSION MEETING: Nov 13, 2018 TIME: 5PM
APPLICANTS NAME: FIRST RESPONSE RESTORATION, LLC (AMBER TAYLOR, PI)
APPLICANTS ADDRESS: 4268 N. LINDEN RD
FLINT MI 48504
APPLICANTS PHONE NO: (810) 877 8383 cell (810) 484 2989 OFFICE
PROPOSED NAME OF BUSINESS: BENTLEY FLORIST & GIFTS
SITE ADDRESS: 1270 BELSAY RD. BURTON. MI 48509
SUBDIVISION & LOT # OR PARCEL NUMBER: 59-14-526-015 (BOVAN PROPERTY)
RE: ~~59-80-010-494 (BENTLEY FLORIST)~~ 1270 N. Belsay
Addition to Building

APPLICANT: IT IS TO YOUR ADVANTAGE TO ATTEND THE ABOVE SCHEDULED MEETING. THE PLANNING COMMISSION MAY HAVE QUESTIONS THAT DIRECTLY AFFECT APPROVAL, DENIAL, OR POSTPONING UNTIL THESE QUESTIONS CAN BE ANSWERED.

APPLICANTS SIGNATURE: [Signature]

NOTE: All site plans must be filed at least two (2) weeks prior to the Planning Commission hearing and **MUST** comply with the procedures set forth in Section 157.092 of Codified Ordinance as attached. Must include **twelve (12) sets** of prints in order to process the application.

Attachment: Back up 18-50 (4089 : SPR #18-50)



1 Existing / Demolition Floor Plan
A0/A1 1/4" = 1'-0"

Project

Bentley Florist Cooler Addition

Drawing

Existing / Demo Floor Plan

DRAWN BY: Author
CHECKED BY: Checker

PROJECT NUMBER 18-0XX
DATE 01/01/18
SCALE 1/4" = 1'-0"
SHEET NUMBER

A1

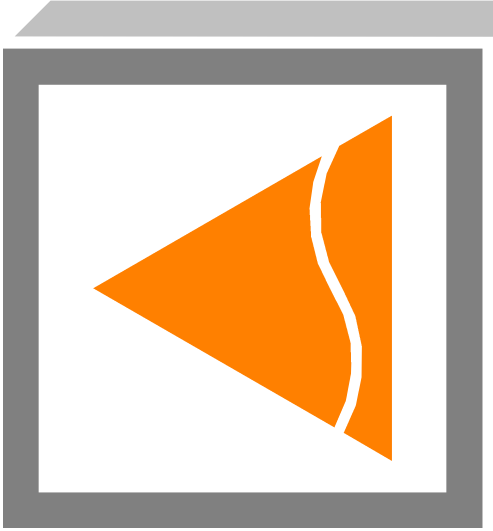
Packet Pg. 13

ARCHITECT

SEDGEWICK + FERWEDA ARCHITECTS

410 East Court Street Flint, MI 48503
TEL: 810-238-9647 | FAX: 810-238-4900
www.starch.us

Good clients + Good design + Great architecture



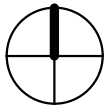
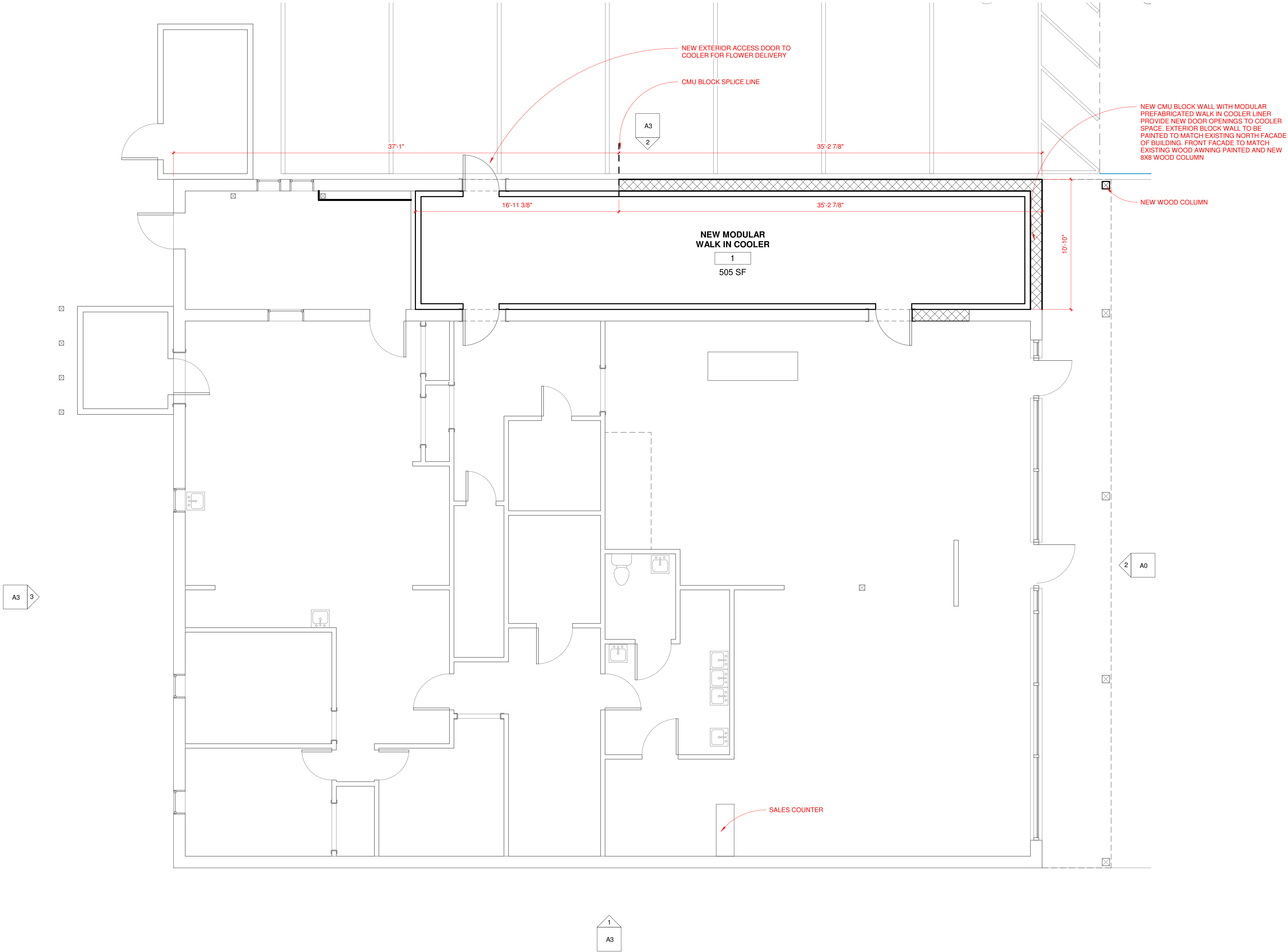
REVISIONS

Date	Description
10/29/18	Site Plan Review

Attachment: Back up 18-50 (4089 : SPR #18-50)

SEAL OF ARCHITECT

E.1.a



1
A0/A2
First Floor Plan
1/4" = 1'-0"

Project

Bentley Florist Cooler Addition

Drawing

Proposed Floor Plan

DRAWN BY: Author
CHECKED BY: Checker

PROJECT NUMBER **18-0XX**
DATE **01/01/18**
SCALE **1/4" = 1'-0"**
SHEET NUMBER

A2

Packet Pg. 14

ARCHITECT

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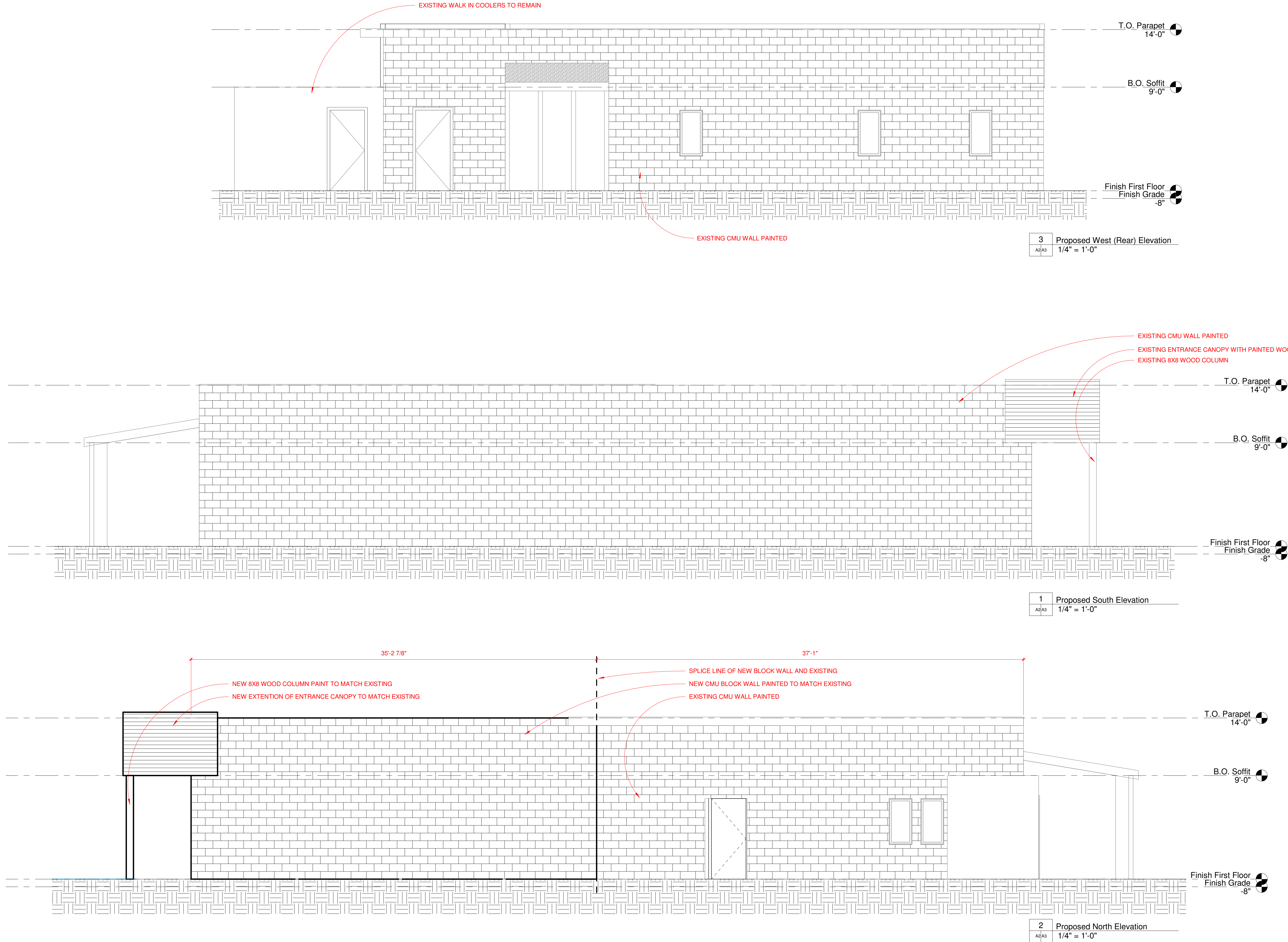


REVISIONS	
10/29/18	Site Plan Review
Date	Description

Attachment: Back up 18-50 (4088 : SPR #18-50)

SEAL OF ARCHITECT

E.1.a



E.1.a

SEAL OF ARCHITECT

ARCHITECT

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Attachment: Back up 18-50 (4089 : SPR #18-50)

REVISIONS	
10/29/18	Site Plan Review
Date	Description

Project

Bentley Florist Cooler Addition

Drawing

Elevations

DRAWN BY: Author
CHECKED BY: Checker

PROJECT NUMBER 18-0XX
DATE 01/01/18
SCALE 1/4" = 1'-0"
SHEET NUMBER

A3
Packet Pg. 15



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

Meeting: 11/13/18 05:00 PM
Department: Department of Public Works
Category: Site Plan Review
Prepared By: Amber Abbey
Department Head: Charles Abbey

E.2

ADOPTED

AGENDA ITEM (ID # 4090)

DOC ID: 4090

SPR #18-51

By: Titan Properties, LLC.
9572 Shelby Dr.
White Lake, MI 48386

Re: 4086 S. Dort Hwy. Burton, MI 48529
59-32-530-057 / M-1 Zoned

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MOVER:	Tom Gorang, Commissioner
SECONDER:	Vaughn Smith, Councilman
AYES:	Smith, Gorang, Benthall, Johns, Johnson
EXCUSED:	Kevin Burge, Mary Ann White, Deb Walton

E.2



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR SITE PLAN REVIEW

DATE FILED: 10-30-18
 FEE: \$200.00
 RECEIPT NO: _____
 CHECK NO: _____

SPR #: 18-51

PLEASE PRINT

DATE OF PLANNING COMMISSION MEETING: 11/13/2018 @ 5:00PM.
 APPLICANTS NAME: Titan Properties LLC / Steven Goff
 APPLICANTS ADDRESS: 9572 Shelby Dr, White Lake, MI 483
 APPLICANTS PHONE NO: 248-672-7794
 PROPOSED NAME OF BUSINESS: Titan Properties
 SITE ADDRESS: 64086 S. Dort Hwy, Burton, MI 48529
 SUBDIVISION & LOT # OR PARCEL NUMBER: 59-32-530-057
 RE: Expansion of Development

APPLICANT: IT IS TO YOUR ADVANTAGE TO ATTEND THE ABOVE SCHEDULED MEETING. THE PLANNING COMMISSION MAY HAVE QUESTIONS THAT DIRECTLY AFFECT APPROVAL, DENIAL, OR POSTPONING UNTIL THESE QUESTIONS CAN BE ANSWERED.

APPLICANTS SIGNATURE: *Steven Goff*

NOTE: All site plans must be filed at least two (2) weeks prior to the Planning Commission hearing and **MUST** comply with the procedures set forth in Section 157.092 of Codified Ordinance as attached. Must include **twelve (12) sets** of prints in order to process the application.

Attachment: Back up 18-51 (4090 : SPR #18-51)

PART OF THE NORTHEAST 1/4 OF SECTION 32
TOWNSHIP 7 NORTH, RANGE 7 EAST
CITY OF BURTON, COUNTY OF GENESEE, STATE OF MICHIGAN

ENGINEER: RUDY QUADERER, PE
GRIGGS QUADERER, INC.
8308 OFFICE PARK DRIVE
GRAND BLANC, MI 48439
PHONE: (810) 695-0154
EMAIL: RQUADERER@GQINCORP.COM

STANDARD LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING		
STORM SEWER		
SANITARY SEWER		
WATER		
GAS LINE		
ELECTRIC LINE		
TELEPHONE LINE		
MANHOLE		
CATCH BASIN		
FIRE HYDRANT		
GATE VALVE & WELL		
POWER POLE		
LIGHT POLE		
CURB & GUTTER		
FENCE		
DECIDUOUS TREE		
EVERGREEN TREE		
EASEMENT		
WETLAND BOUNDARY		
SIGN		
ASPHALT SURFACE		
CONCRETE SURFACE		
SOIL BORING		
SPOT ELEVATION		
CONTOUR LINE		

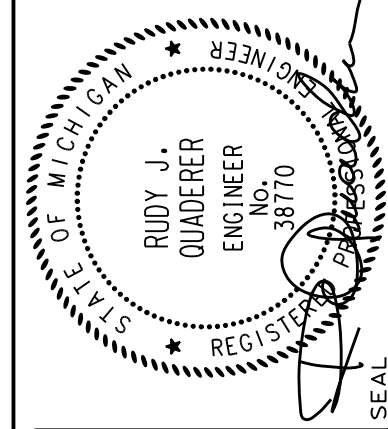
811 Know what's **below**.
Call before you dig

AGENCY CONTACT INFORMATION					
AGENCY	SUBMITTAL DATE	STATUS	AGENCY	SUBMITTAL DATE	STATUS
AMBER ABBEY DEPUTY PLANNING OFFICIAL CITY OF BURTON 4093 MANOR DR. BURTON, MI 48519 PH: 810-742-9230 EXT.3103	10-30-2018	UNDER REVIEW	SOIL EROSION CONTROL GCCDC-WWS MARK STEPHENS G-4610 BECHER RD. FLINT, MI 48532 PH: 810-732-7870		-
SANITARY GCCDC-WWS LYNETTE WEINZ, PE G-4610 BECHER RD. FLINT, MI 48532 PH: 810-732-7870	-	-	GAS/ELEC - CONSUMER'S MARTY FREEMAN PO BOX 408 3201 E. COURT ST. FLINT, MI 48501 PH: 810-760-3547	-	-
STORM MDOOT DAVISON TSC STEVEN GASSER 9495 E. POTTER RD. DAVISON, MI 48423 PH: 810-653-7470	-	-	ROAD MDOOT DAVISON TSC STEVEN J. GASSER 9495 E. POTTER RD. DAVISON, MI 48423 PH: 810-653-7470	-	-

LEGAL DESCRIPTION (PROPOSED 25 FOOT EASEMENT FOR INGRESS/EGRESS):
PART OF LOTS 34 AND 35 OF "SUPERVISOR'S PLAT NO. 25," RECORDED IN LIBER 17, PAGE 29 OF PLATS; BEING COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF LOT 33; THENCE S 00°46'22" E, 0.777-40 FEET TO THE POINT OF BEGINNING; THENCE S 00°46'22" E, 1.000-40 FEET TO THE POINT OF BEGINNING; THENCE S 75°43'54" W, 67.99 FEET; THENCE S 58°10'14" W, 118.84 FEET; THENCE ALONG THE EASTERLY LINE OF LOT 24 N 36°13'18" E, 162.12 FEET; THENCE N 01°18'05" W, 43.67 FEET; THENCE S 36°13'18" E, 174.71 FEET; THENCE N 58°10'14" W, 118.84 FEET; THENCE S 00°46'22" E, 1.000-40 FEET TO THE POINT OF BEGINNING; THENCE N 89°12'30" E, 25.00 FEET TO THE POINT OF BEGINNING.

●	10-30-2018	C000 – COVER SHEET
●	10-30-2018	C100 – TOPOGRAPHIC SURVEY PLAN
○		C101 – SITE REMOVAL PLAN
○		C200 – SITE LAYOUT PLAN
●	10-30-2018	C300 – SITE GRADING & SOIL EROSION PLAN
●	10-30-2018	C301 – PROPOSED DRAINAGE AREA MAP & STORM WATER CALCULATIONS
●	10-30-2018	C400 – SITE UTILITY PLAN
●	10-30-2018	C500 – SITE LANDSCAPE PLAN
●	10-30-2018	C600 – SITE DETAILS
●	10-30-2018	A1.0 – PRIMARY BUILDING – FIRST FLOOR PLAN
●	10-30-2018	A2.0 – PRIMARY BUILDING – SECOND FLOOR PLAN
●	10-30-2018	A3.0 – PRIMARY BUILDING – EAST & WEST ELEVATIONS
●	10-30-2018	A4.0 – PRIMARY BUILDING – NORTH & SOUTH ELEVATIONS
●	10-30-2018	A5.0 – SECONDARY BUILDING – FLOOR PLANS & ELEVATIONS
○		– SANITARY SEWER DETAILS (COUNTY)
○		– PRESSURE PIPE DETAILS (COUNTY)
○		– GENERAL CONSTRUCTION NOTES (COUNTY)

THE EXISTING FEATURES SHOWN ON THESE PLANS ARE FROM A TOPOGRAPHIC SURVEY PERFORMED BY MERIDIAN LAND SURVEYING IN JUNE OF 2018.

[illegible]

DRAWN
DESIGNED BRZEZINSKI
CHECKED QUADERER
FIELD CREW

GP40 CAMPUS

CITY OF BURTON,
4086 S. DORT HIGHWAY
COUNTY OF GENESEE, STATE OF MICHIGAN

COVER SHEET

Griggs Quaderer, Inc.

8308 OFFICE PARK DRIVE
GRAND BLANC, MI 48439
WWW.GQINCORP.COM
PH: (810) 695-0154
FY: (810) 695-0158

CIVIL ENGINEERING · LAND SURVEYING
SITE PLANNING

Griggs Onadere, Inc.

Griggs Quaderer Inc.

JOB NO.: 180905 PHASE: SPA

ALL OF LOT 33 AND PART OF LOTS 34 & 35 OF
SUPERVISORS PLATY NO. 25
CITY OF BURTON, BURTON, MICHIGAN

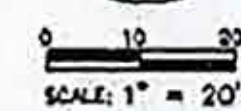


ALTA / ACSM LAND TITLE SURVEY
PROPOSED COMMERCIAL MARJUANA FACILITY
ALL OF LOT 33 AND PART OF LOT 34 + 35 OF
SUPERIMPOSERS PLAT NO. 25
CITY OF BURTON, BURTON, MICHIGAN

MERIDIAN
LAND SURVEYING

(810) 339-6605
www.meridianls.com

300 E FIRST STREET • SUITE 200
CITY OF FLINT • MICHIGAN • 48502



DES M. M:402E
ADDITIONAL S.S. 402A2 402A2

Packet Pg. 20

(H) - MEASURED ○ - IRON RECORD
(P) - RECORDED ■ - IRON FOUND
(P) - PLATTED ⊙ - WORMHOLE SET
⊙ - SEC. CORNER FOUND ⊕ - WORMHOLE FOUND

 ASPHALT SURFACE

 CONCRETE SURFACE

 GRAVEL SURFACE

~~Rim of Catch Basin East of site in middle of property.
ELEV. = 587.22' (NAVD88)~~

The subject property lies within flood zone "X" as plotted on the Flood Insurance Rate Map, Community Panel No. 26049C 0307D, which bears an effective date of September 25, 2009 and, based thereon, except as specifically noted on the survey, no part of the subject property lies within any area designated as "flood prone area," "special flood hazard area" or 100-year flood plain by the Federal Emergency Management Agency.

Zone X - Areas determined to be outside of the 0.2% annual chance floodplain.

2. Surveyor does not guarantee that all utilities are shown or their locations. It is the responsibility of the contractor and developer to contact Miss Dig and any other involved agencies to locate all utilities prior to construction. Removal, relocation and/or replacement is the responsibility of the contractor.

SITE LAYOUT NOTES:

- COORDINATES AND/OR DIMENSIONS SHOWN ON THIS DOCUMENT ARE TO BACK OF CURB, OUTSIDE FACE OF BUILDING FOUNDATIONS, EDGE OF PAVEMENT, CENTER OF STRUCTURE, CENTERLINE OF STRIPING UNLESS NOTED OTHERWISE.
- NO DIMENSIONS SHALL BE SCALED OFF THE DOCUMENTS. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
- PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
- NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED WITHIN THE ROAD RIGHT-OF-WAY.
- CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREA SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
- RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS AND TO THE SATISFACTION OF THOSE HAVING JURISDICTION.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, SLAB AND UNDERBED THICKNESS.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL CONSTRUCTION LAYOUT AND GRADE ELEVATIONS FOR THEIR WORK IN ACCORDANCE WITH DATA SHOWN ON DOCUMENTS.
- VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- EXCAVATED AREAS WITHIN PROPOSED BUILDING AND PAVEMENT AREAS SHALL BE BACKFILLED TO FINISHED SUBGRADE ELEVATION WITH STRUCTURAL FILL (MOOT CLASS II SAND). THE SAND SHALL BE COMPACTED IN CONTINUOUS LAYERS NOT EXCEEDING 8 INCH LOOSE LIFTS, COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ANSI/ASTM D 1557 MODIFIED PROCTOR.

LAND USE INFORMATION:

CURRENT ZONING:	M-1 (LIGHT INDUSTRIAL)
PROPOSED ZONING:	M-1 (LIGHT INDUSTRIAL)
CURRENT USE:	COMMERCIAL
PROPOSED USE:	WAREHOUSE/RETAIL
TOTAL SITE AREA:	72,554 SF
TOTAL BUILDING AREA:	19,331 SF
LOT COVERAGE BY BLDG:	26.6%

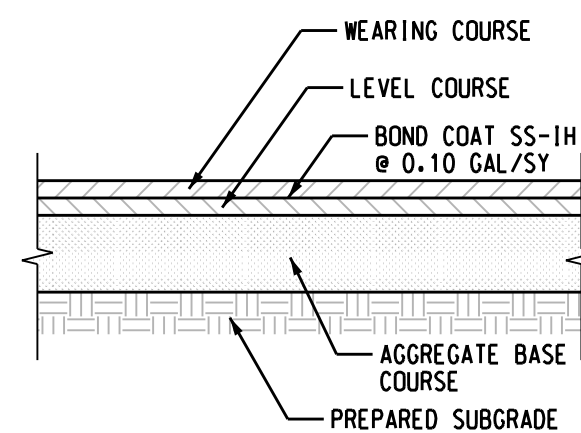
YARD SETBACKS:	BUILDING
FRONT YARD	35LF
SIDE YARD	20LF
REAR YARD	35LF (VARIANCE REQUEST)

MARKING / SIGNAGE LEGEND:

- STOP SIGN (R1-1)
 - 4" SINGLE SOLID LINE, YELLOW
 - 24" WIDE STOP LINE, WHITE
 - ACCESSIBLE SIGN (R7-8)
 - ACCESSIBLE SIGN W/ VAN ACCESSIBLE (R7-8 & R7-8A)
 - NO PARKING - LOADING ZONE (R7-6)
 - NO PARKING - FIRE LANE
- NO PARKING / NO DRIVING AREAS
4" WIDE WHITE PAINT STRIPING
2" ON CENTER @ 45° - REFER TO PAVEMENT MARKING NOTE #2 FOR BARRIER FREE PARKING

PAVEMENT MARKING & SIGNAGE NOTES:

- PARKING STALL WIDTH DIMENSIONS ARE TO CENTERLINE OF STRIPING.
- ALL PAVEMENT MARKINGS SHALL BE 4" WIDE WHITE PAINT STRIPING UNLESS OTHERWISE INDICATED. ALL BARRIER FREE STRIPING SHALL BE COLORED BLUE AND IN ACCORDANCE WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN.
- CONTRACTOR SHALL NOT APPLY TRAFFIC MARKING PAINT ON NEW ASPHALT UNTIL PAVEMENT HAS CURED A MINIMUM OF SEVEN (7) DAYS.
- PAINT SHALL BE APPLIED WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. APPLY IN TWO COATS AT MANUFACTURER'S RECOMMENDED RATES TO PROVIDE MINIMUM 10.0 TO 15.0 MILS NET THICKNESS.
- ALL TRAFFIC CONTROL SIGNS SHALL CONFORM WITH ALL REQUIREMENTS AS STIPULATED IN THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- NUMBER OF PARKING SPACES (FOR INFORMATION ONLY)



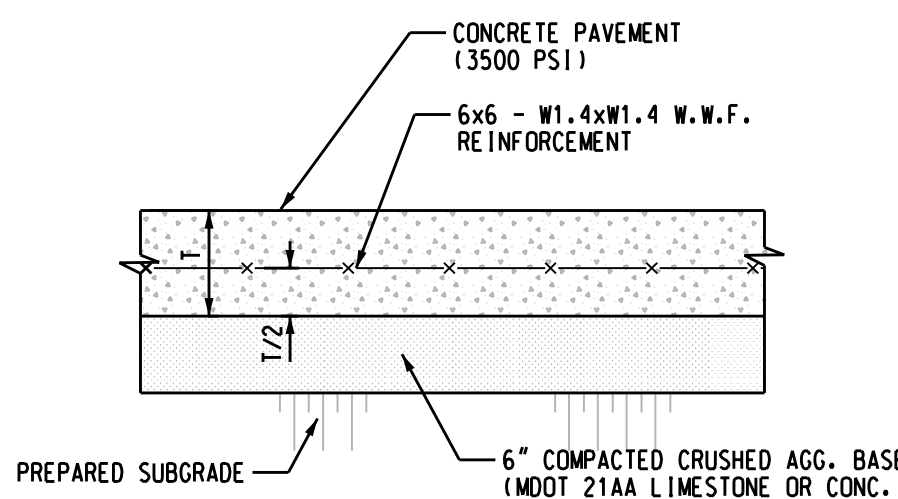
ON-SITE PAVEMENT SECTION

WEARING COURSE - 1.5" MOOT 13A
LEVEL COURSE - 3" MOOT 3C
AGGREGATE BASE - 8" MOOT 21AA CRUSHED LIMESTONE

ROAD R/W PAVEMENT SECTION

WEARING COURSE - 1.5" MOOT 13A
LEVEL COURSE - 1.5" MOOT 13A
ASPH. BASE COURSE - 3" MOOT 11A
AGGREGATE BASE - 6" MOOT 22A
SAND SUB-BASE - 6" MOOT CLASS II

NOTE: AS AN ALTERNATE, CONTRACTOR IS ALLOWED TO SUBSTITUTE MOOT 21AA CRUSHED CONCRETE FOR THE AGGREGATE BASE FOR ON-SITE PAVEMENT SECTION.

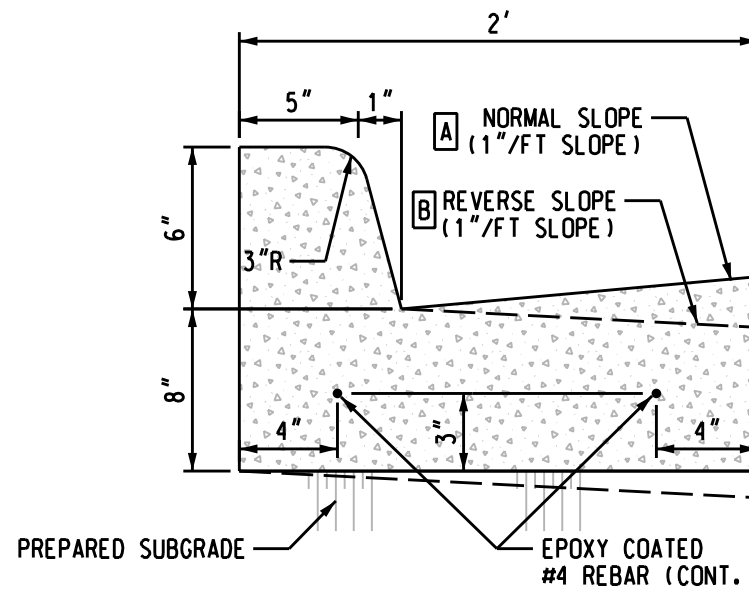


PAVEMENT THICKNESSES (T.I.):

PAVEMENT 8"
TRASH ENCLOSURE 8"
SIDEWALK 4"

CONCRETE PAVEMENT SECTION

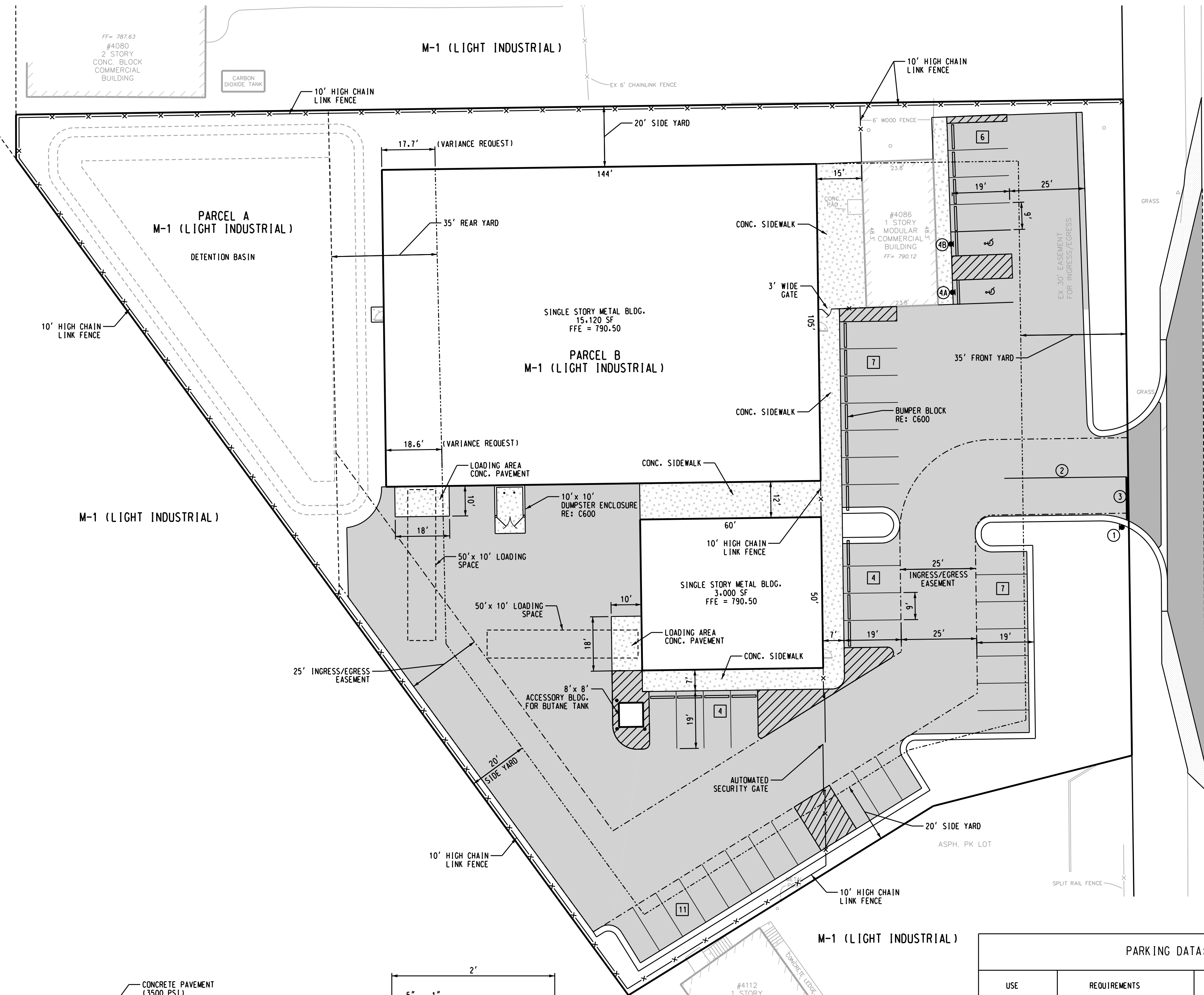
NO SCALE



PROVIDE CONTROL JOINTS AT 10 FEET MAXIMUM SPACING AND DOWELED EXPANSION JOINTS AT 100 FEET MAXIMUM INTERVALS AND AT RADIUS POINTS

CURB & GUTTER DETAIL

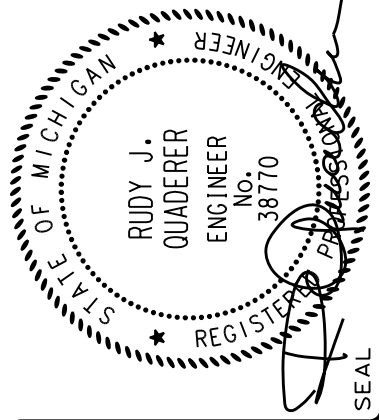
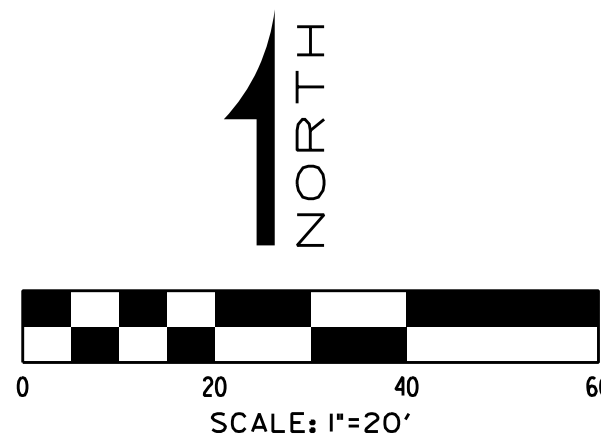
NO SCALE ON-SITE ONLY



PARKING DATA:			
USE	REQUIREMENTS	PARKING REQUIRED	PARKING PROVIDED
RETAIL STORE	1 SPACE/200 SF OF GFA 1,152 SF/200 =	6 SPACES	6 SPACES
WAREHOUSE	5 PLUS 1 SPACE/EMPLOYEE 5 + 20 EMPL. =	25 SPACES	33 SPACES
BARRIER FREE	25 - 50 SPACES	2 SPACES	2 SPACES
TOTAL		31 SPACES	39 SPACES

LEGEND:

- ASPHALT PAVEMENT (ON-SITE RE: C200)
- ASPHALT PAVEMENT (WITHIN ROAD R/W RE: C200)
- CONCRETE PAVEMENT (RE: C200)
- AGGREGATE SHOULDER



NO.	DATE	SUBJECT
10-30-18		TO CITY - SITE PLAN APPROVAL
		REVISION OR ISSUE

DRAWN	DESIGNED	CHECKED	FIELD CREW
	BRZEZINSKI	QUADERER	

GP40 CAMPUS

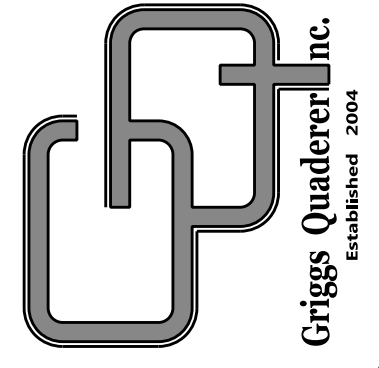
4086 S. DORT HIGHWAY
CITY OF BURTON, COUNTY OF GENESEE, STATE OF MICHIGAN

SITE LAYOUT PLAN

Griggs Quaderer, Inc.

8308 OFFICE PARK DRIVE
GRAND BLANC, MI 48439
PH: (810) 695-0154
FX: (810) 695-0158

CIVIL ENGINEERING - LAND SURVEYING
SITE PLANNING



PHASE: SPA

JOB NO.: 180905

C200

GRADING NOTES:

- ALL PROPOSED SPOT ELEVATIONS IN PAVED AREAS ARE TO TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
TS = TOP OF SIDEWALK
TP = TOP OF PAVEMENT
- CONTOURS SHOWN ARE FOR REFERENCE ONLY. BASE CONSTRUCTION EFFORTS ON PROPOSED SPOT ELEVATIONS ONLY.
- "BARRIER FREE" PARKING AND SIDEWALK RAMPS SHALL CONFORM IN ALL RESPECTS TO THE MICHIGAN ADA (AMERICANS WITH DISABILITIES ACT) REQUIREMENTS.
- CONTRACTOR SHALL ADJUST ANY UTILITY ELEMENT/STRUCTURE MEANT TO BE FLUSH WITH GRADE (CLEAN OUT, VALVE BOXES, MANHOLES, CATCH BASINS, INLETS, ETC.) WHICH ARE AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT. NO ADDITIONAL COSTS FOR THIS WORK WILL BE ACCEPTED. THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FOR ADJUSTMENT AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR CUT AND FILL QUANTITIES. ADDITIONAL COMPENSATION WILL NOT BE ACCEPTED FOR HAULING OF EXCESS AND BORROW MATERIAL TO AND FROM SITE AS WELL AS LABOR COSTS FOR PLACEMENT AND/OR REMOVAL. OFF-SITE BORROW MATERIAL MUST BE CLEAN COMPACTIBLE STRUCTURAL FILL MATERIAL (NO ORGANIC MATERIAL) WHICH WILL BE INSPECTED PRIOR TO USE FOR ON-SITE FILL MATERIAL.
- SITE CONTRACTOR IS RESPONSIBLE TO PROVIDE A STABLE SUBGRADE AT DESIGN ELEVATIONS. ALL PAVED AREAS INCLUDING BUILDING PAD SHALL BE PRODFOLLORED & COMPACTED TO MEET 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ANSI/ASTM D1557.
- CONTRACTOR SHALL STORE SUFFICIENT TOPSOIL MATERIAL ON-SITE FOR RE-USE IN ALL DISTURBED GREEN AREAS AND NEW LANDSCAPE AREAS.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER. MAINTAIN A MINIMUM SLOPE OF 1.00% IN ALL NEW BITUMINOUS AREAS.

SOIL EROSION CONTROL NOTES:

- THE DEVELOPER IS NOT REQUIRED TO OBTAIN A NPDES STORM WATER DISCHARGE PERMIT THROUGH THE GENESEE COUNTY DRAIN COMMISSIONER, DIVISION OF WATER AND WASTE SERVICES PRIOR TO ANY CONSTRUCTION ACTIVITIES.

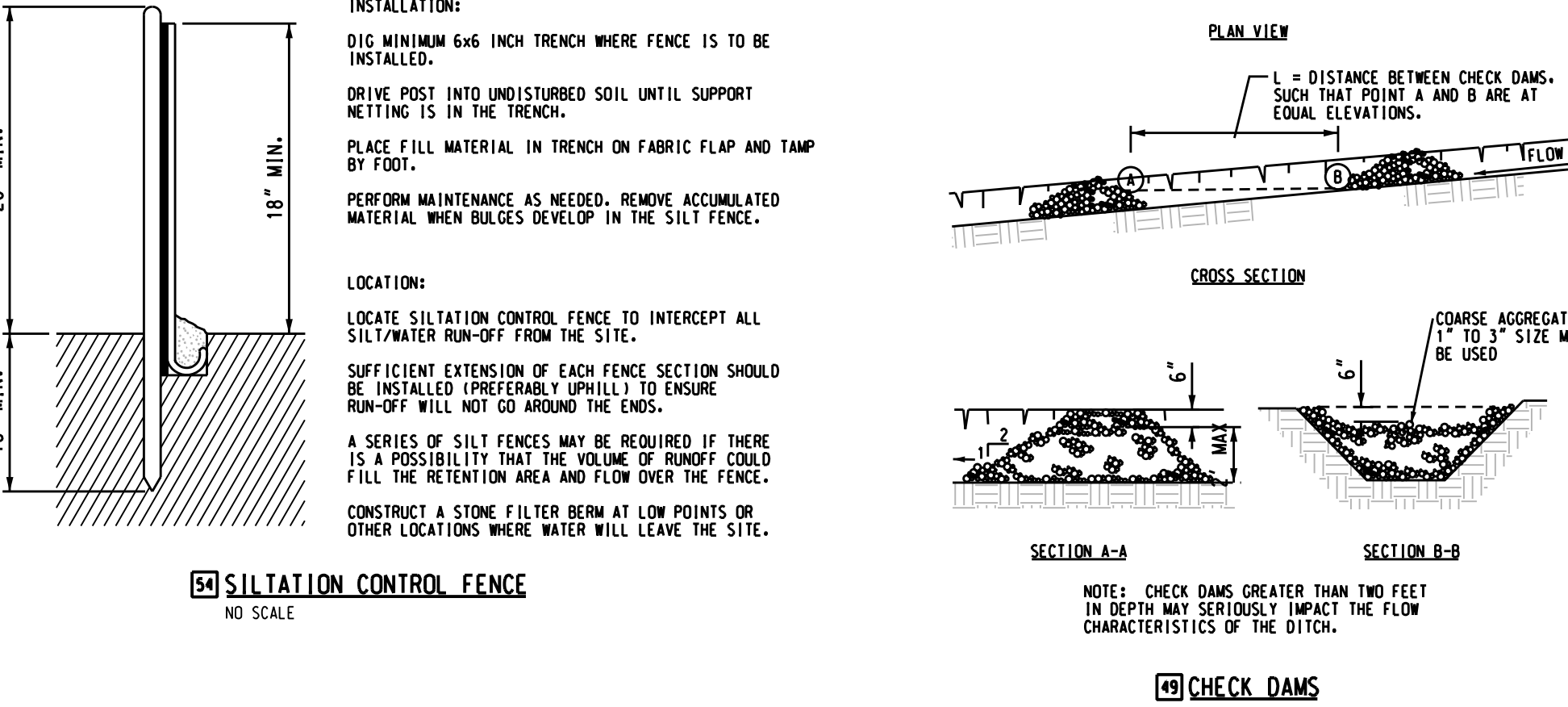
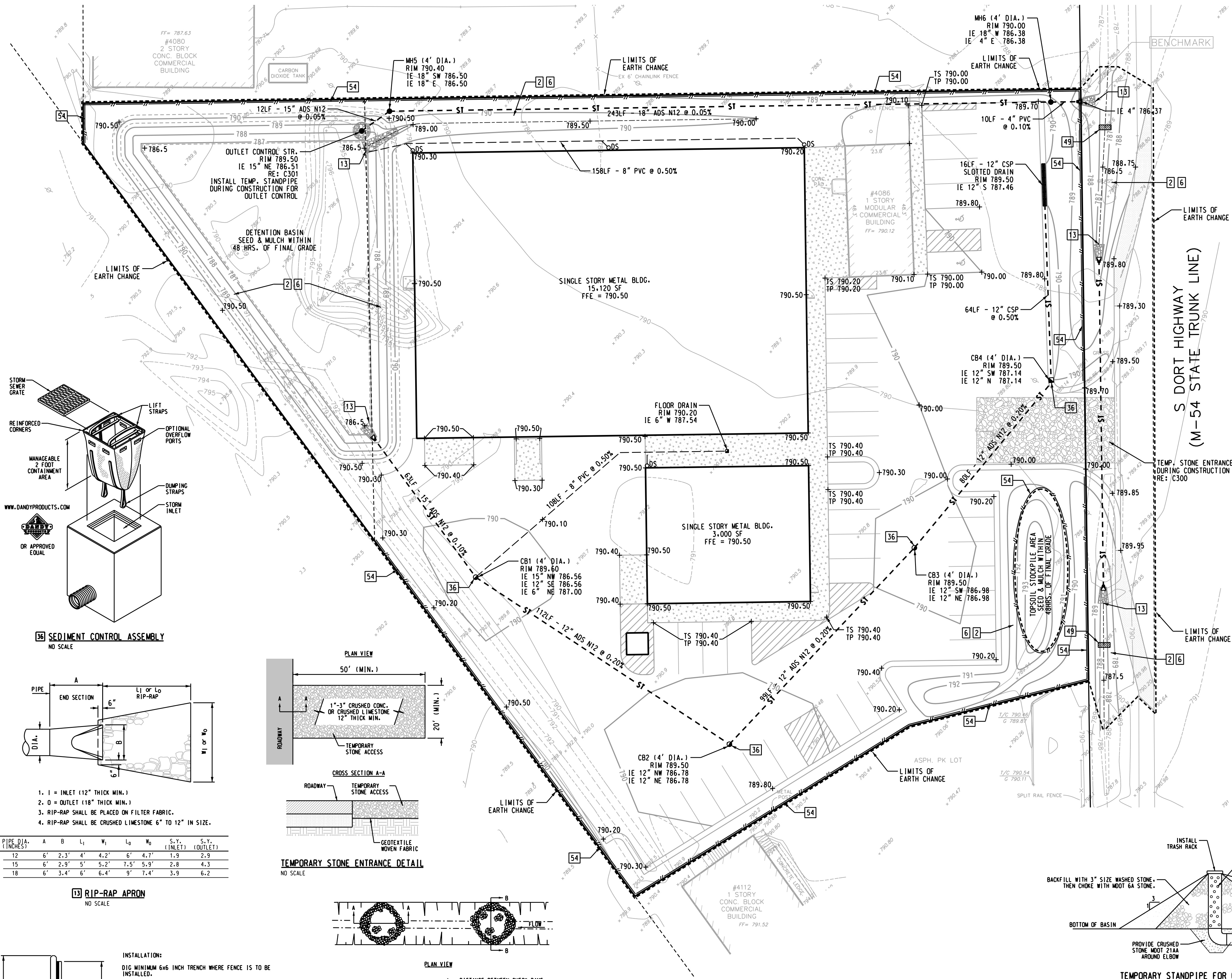
THE DEVELOPER SHALL SUBMIT A DETAILED EROSION CONTROL PLAN AND OBTAIN AND ACT 451 PERMIT INCLUDING PAYMENT OF FEES AND PROVIDING THE NECESSARY BONDS FROM THE GENESEE COUNTY DRAIN COMMISSIONER, DIVISION OF WATER AND WASTE SERVICES, PRIOR TO ANY EARTH CHANGES.
- CONSTRUCTION OPERATIONS SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING AND/OR GRADING OPERATIONS.
- THE CONTRACTOR SHALL USE SPECIAL PRECAUTIONS WHEN USING CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
- SITE CLEANUP WILL BE ACCOMPLISHED IN A MANNER TO INSURE THAT TEMPORARY EROSION CONTROL MEASURES ARE NOT DISTURBED.
- THE PROJECT WILL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENT CONTROL COMPLIANCE. DEFICIENCIES SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS OF NOTIFICATION.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE THROUGH SWALES OR OVERLAND SHEET FLOW OF THE ENTIRE SITE. SOIL SEDIMENT SHALL BE INTERCEPTED AND REMOVED PRIOR TO STORM WATER DISCHARGING FROM LIMITS OF CONSTRUCTION. NO STANDING WATER SHALL BE PERMITTED ONSITE.
- ALL GREEN AREAS DISTURBED SHALL BE PERMANENTLY STABILIZED (TOPSOIL, SEED & MULCH) IMMEDIATELY AFTER COMPLETION OF CONSTRUCTION TO MINIMIZE SOIL EROSION AND THE POTENTIAL OF SEDIMENT LEAVING SITE.

SESC MAINTENANCE SCHEDULE NOTES:

- A CONTRACTOR/INSPECTOR SHALL INSPECT THE SOIL EROSION AND SEDIMENT CONTROL DEVICES ONCE A WEEK AND WITHIN TWENTY-FOUR (24) HOURS OF A PRECIPITATION EVENT WHICH RESULTS IN A STORM WATER DISCHARGE FROM THE SITE. A LOG OF INSPECTION REPORTS SHALL BE MAINTAINED AND ACCESSIBLE IN ACCORDANCE WITH NPDES REQUIREMENTS. IMPLEMENT THE FOLLOWING STEPS IF ANY DAMAGE HAS RESULTED FROM CONSTRUCTION OR PRECIPITATION.
- CONSTRUCTION ACCESS ROADS (CLEAN STONE EXITS) MUST BE MAINTAINED AS NECESSARY. ADD ADDITIONAL STONE WHEN ACCESS ROAD BECOMES INEFFECTIVE DUE TO LOSS OF STONE OR WHEN COVERED WITH MUD.
- SILTATION CONTROL FENCE SHOULD BE TRENCHED IN, BACKFILLED, STAPLED AND STAKED IN ACCORDANCE WITH DETAIL SHOWN ON DOCUMENT AND PER MANUFACTURER'S RECOMMENDATIONS. MAINTENANCE INCLUDES THE REMOVAL OF BUILD-UP SEDIMENT WHEN THE SEDIMENT ACCUMULATES TO 1/3 OF THE HEIGHT OF THE FENCE. CONTRACTOR MAY HAVE TO REMOVE, REPLACE, RETRENCH, OR RE-BACKFILL THE FENCE IF IT FAILS. THE SILT FENCE SHALL ALSO BE REPLACED WITH NEW IF ANY PORTION OF THE FENCING WAS DAMAGED BY CONSTRUCTION MACHINERY.
- INSPECT INLET FILTERS FOR BUILD-UP OF SILT AND OTHER DEBRIS. EXCESSIVE BUILD-UP IS EVIDENT IF GEOTEXTILE/STONE FILTER SYSTEM IS CAUSING FLOODING. MAINTENANCE CONSISTS OF REMOVING ALL SEDIMENT WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. IF INLET FILTER IS BEYOND THIS LEVEL OF REPAIR, IT MAY BE NECESSARY TO REPLACE BOTH THE STONE AND GEOTEXTILE FILTER FABRIC.
- PREPARE EROSION CONTROL SEEDING ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR/INSPECTOR SHALL INSPECT THE AREA AFTER SEEDING IS COMPLETED. REPAIR AREAS THAT ARE BARE OR NOT MULCHED PROPERLY BY SPOT SEEDING AND/OR RE-MULCHING.
- MAINTAIN DUST CONTROL AT ALL TIMES DURING CONSTRUCTION. SPRINKLING TANK TRUCKS SHALL BE AVAILABLE AT ALL TIMES AND USED ON HAUL ROADS, ON-SITE DISTURBED AREAS, OR OTHER PLACES WHERE DUST BECOMES A PROBLEM AS A RESULT OF CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL PROMPTLY REMOVE ALL MUD, DIRT AND DEBRIS TRACKED ONTO EXISTING ROADS FROM TRUCK TRAFFIC LEAVING THIS SITE.
- REMOVE SILT DEPOSITS FROM TEMPORARY SEDIMENT TRAPS WHEN TRAP IS HALF FULL. CHECKDAMS (IF APPLICABLE) SHALL BE INSPECTED AFTER EVERY PRECIPITATION EVENT AND CLEANED IF STANDING WATER BEHIND DAMS IS EVIDENT.

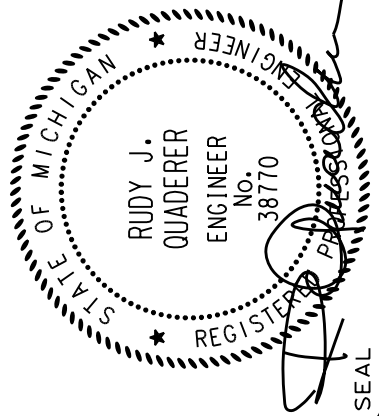
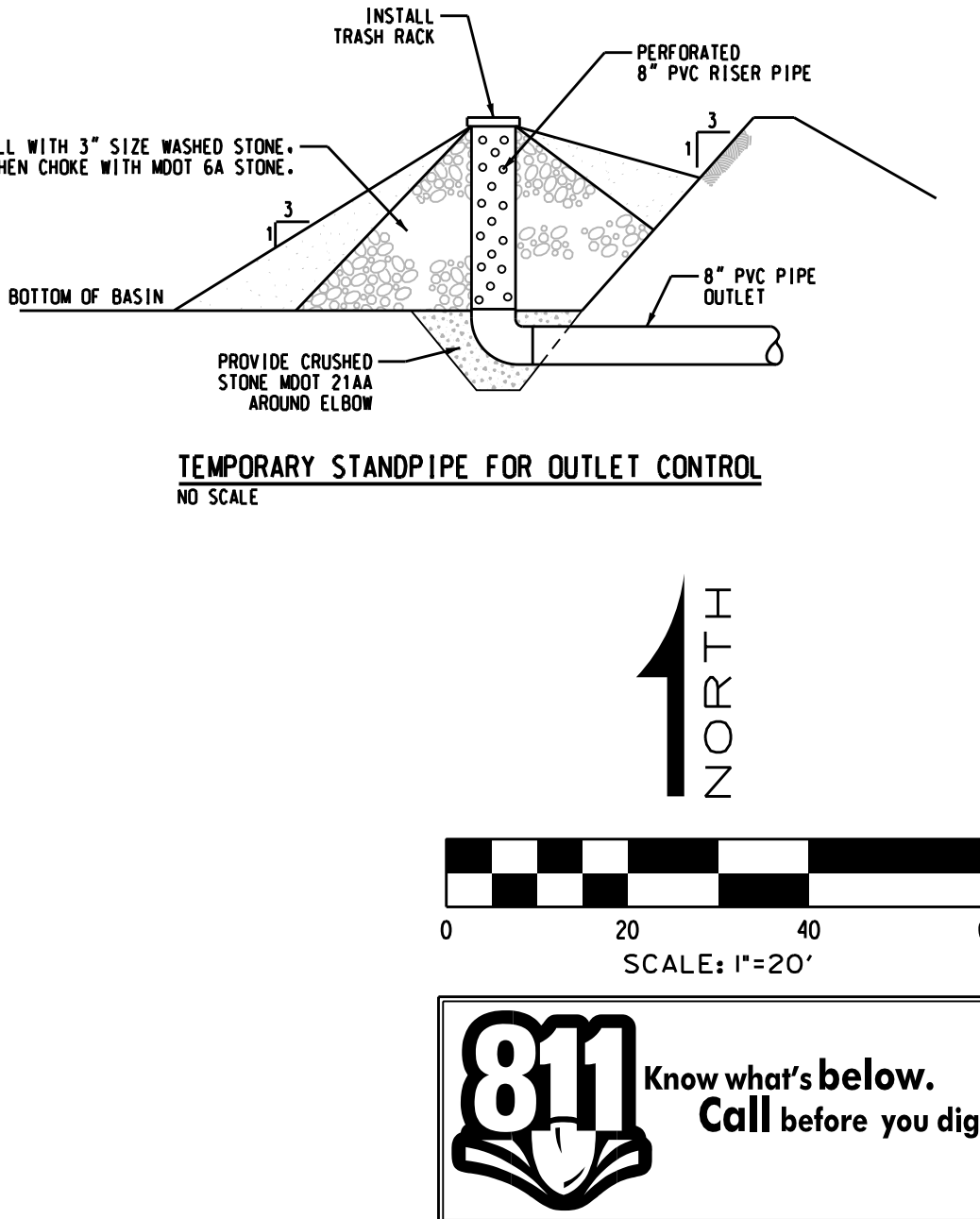
SOIL EROSION CONTROL MEASURES:

2	SELECTIVE GRADING & SHAPING	WATER CAN BE DIVERTED TO MINIMIZE EROSION FLATTER SLOPES EASE EROSION PROBLEMS
6	SEEDING WITH MULCH AND/OR MATTING	FACILITATES ESTABLISHMENT OF VEGETATIVE COVER EFFECTIVE FOR DRAINAGEWAYS WITH LOW VELOCITY EASILY PLACED IN SMALL QUANTITIES BY EXPERIENCED PERSONNEL SHOULD INCLUDE PREPARED TOPSOIL BED
13	RIP-RAP/RUBBLE CATCH BASINS	USED WHERE VEGETATION IS NOT EASILY ESTABLISHED EFFECTIVE FOR HIGH VELOCITIES OR HIGH CONCENTRATIONS PERMITS RUNOFF TO INFILTRATE SOIL DISSIPATES ENERGY FLOW AT SYSTEM OUTLETS
36	CATCH BASIN/DRAIN INLET	COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF USE FILTER SACK IN INLET
49	CHECK DAMS	REDUCES FLOW VELOCITY CATCHES SEDIMENT CAN BE CONSTRUCTED OF LOGS, STRAW, HAY, ROCK, LUMBER, MASONRY, OR SAND BAGS
54	SILT FENCE	USES GEOTEXTILE FABRIC AND POSTS OR POLES EASY TO CONSTRUCT AND LOCATE AS NECESSARY



STORM SEWER NOTES:

- ALL MATERIALS SHALL COMPLY WITH MDOT STANDARD SPECIFICATIONS AND/OR LOCAL GOVERNING AGENCIES.
- STORM SEWER CONVEYANCE:
STORM SEWER PIPE 12" AND LARGER SHALL ADS HP STORM PIPE AND SHALL MEET ASTM F2881. ALL JOINTS SHALL BE BELL & SPIGOT AND SHALL MEET ASTM F288A.
STORM SEWER PIPE 10" AND SMALLER SHALL BE PVC SDR 26 OR AS REQUIRED BY LOCAL GOVERNING AGENCY.
- STORM SEWER STRUCTURES:
REINFORCED CONCRETE IN CONFORMANCE WITH ASTM C478. DEPTH AS INDICATED ON DOCUMENTS. IF MASONRY STRUCTURES ARE ALLOWED, CONCRETE BLOCKS SHALL BE STANDARD 6"x 8"x 12" CURVED UNITS FOLLOWING ASTM C139. CONCRETE BRICK UNITS SHALL BE 2"x 4"x 8" AND FOLLOW ANSI/ASTM C55, GRADE N, TYPE 1.
- FRAME & COVERS:
ALL CATCH BASINS & MANHOLES FRAME & COVERS SHALL BE MANUFACTURED BY EAST JORDAN IRON WORKS (UNLESS ALTERNATE IS APPROVED BY ENGINEER). REFER TO DETAIL SHEET (C600) FOR FRAME & COVER TYPES.
- SAND BACKFILL (MDOT CL-11) COMPACTED TO 95% DENSITY



NO.	DATE	REVISION OR ISSUE
10-30-18		TO CITY - SITE PLAN APPROVAL
		SUBJECT

DRAWN	DESIGNED	CHECKED	FIELD CREW
	BRZEZINSKI	QUADERER	

GP40 CAMPUS

4086 S DORT HIGHWAY
CITY OF BURTON, COUNTY OF GENESEE, STATE OF MICHIGAN

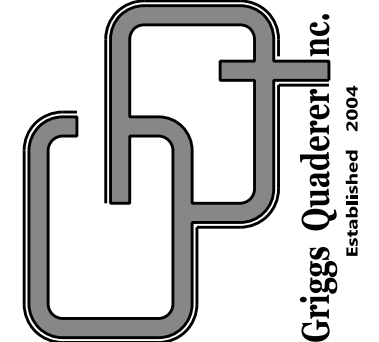
SITE GRADING & SOIL EROSION CONTROL PLAN

Griggs Quaderer, Inc.

8308 OFFICE PARK DRIVE
GRAND BLANC, MI 48499

WWW.GQINCORP.COM
PH: (810) 695-0154
FX: (810) 695-0158

**CIVIL ENGINEERING - LAND SURVEYING
SITE PLANNING**



PHASE: SPA

JOB NO.: 180905

811 Know what's below. Call before you dig.

C300

Detention Capacity			
Average End Method			
Contour	Area (ft ²)	Volume (ft ³)	Total Volume (ft ³)
786.5	0.0		0
Average	2531.5	1266	
787	5062.9		1266
Average	5575.2	5575	
788	6087.5		6841
Average	6628.1	6628	
789	7168.6		13469
Average	7737.5	7737	
790	8306.3		21206
Average	8801.4	4301	
790.5	8896.4		25507
Total Detention Capacity			25507
Volume @ First Flash 2,293			
Elevation @ First Flash 787.18			
Volume @ 10-YR Storm 9,797			
Elevation @ 10-YR Storm 788.45			
Volume @ 100-YR Storm 14,138			
Elevation @ 100-YR Storm 789.09			

Genesee County Standards

Site Information

Design Return Period = 10 yr. yrs

Site Area (At) = 1.67 acre

Cw = 0.76

Allowable Outlet = 0.20 cfs/acre

Allowable Outlet = 0.33 cfs

Peak Storage = 9797 ft³

Genesee County Standards

Site Information

Design Return Period = 100 yr. yrs

Site Area (At) = 1.67 acre

Cw = 0.76

Allowable Outlet = 0.20 cfs/acre

Allowable Outlet = 0.33 cfs

Peak Storage = 14138 ft³

Required Pond Capacity							
Storm Duration Tc (min)	Storm Intensity 10 yr. (in/hr)	Cw x A	Inflow Rate Qin (cfs)	Outflow Rate Qout (cfs)	Storage Rate Qin - Qout (cfs)	Required Storage Volume (cf)	Peak Storage
5	6.25	1.26	7.89	0.33	7.56	2269	
10	4.75	1.26	6.00	0.33	5.67	3400	
15	4.25	1.26	5.37	0.33	5.04	4532	
20	3.70	1.26	4.67	0.33	4.34	5209	
30	3.05	1.26	3.85	0.33	3.52	6335	
40	2.60	1.26	3.28	0.33	2.95	7083	
50	2.25	1.26	2.84	0.33	2.51	7927	
60	1.95	1.26	2.46	0.33	2.13	7668	
90	1.70	1.26	2.15	0.33	1.81	9797	PEAK
120	1.20	1.26	1.52	0.33	1.18	8516	
150	0.95	1.26	1.20	0.33	0.87	7802	
180	0.80	1.26	1.01	0.33	0.68	7316	
240	0.63	1.26	0.80	0.33	0.46	6663	
300	0.52	1.26	0.66	0.33	0.32	5828	
360	0.44	1.26	0.56	0.33	0.22	4810	
480	0.30	1.26	0.38	0.33	0.05	1320	
600	0.27	1.26	0.34	0.33	0.01	286	
720	0.22	1.26	0.28	0.33	-0.06	-2385	

Required Pond Capacity							
Storm Duration Tc (min)	Storm Intensity 100 yr. (in/hr)	Cw x A	Inflow Rate Qin (cfs)	Outflow Rate Qout (cfs)	Storage Rate Qin - Qout (cfs)	Required Storage Volume (cf)	Peak Storage
5	7.60	1.26	9.60	0.33	9.27	2780	
10	6.00	1.26	7.58	0.33	7.25	4348	
15	5.30	1.26	6.69	0.33	6.36	5726	
20	4.70	1.26	5.94	0.33	5.60	6725	
30	3.80	1.26	4.80	0.33	4.47	8041	
40	3.40	1.26	4.29	0.33	3.96	9508	
50	2.95	1.26	3.73	0.33	3.39	10180	
60	2.60	1.26	3.28	0.33	2.95	10624	
90	2.15	1.26	2.72	0.33	2.38	12867	
120	1.75	1.26	2.21	0.33	1.88	13518	
150	1.50	1.26	1.89	0.33	1.56	14055	
180	1.30	1.26	1.64	0.33	1.31	14138	PEAK
240	0.94	1.26	1.19	0.33	0.85	12302	
300	0.72	1.26	0.91	0.33	0.58	10375	
360	0.63	1.26	0.80	0.33	0.46	9994	
480	0.50	1.26	0.63	0.33	0.30	8596	
600	0.43	1.26	0.54	0.33	0.21	7562	
720	0.35	1.26	0.44	0.33	0.11	4709	

Runoff Coefficient Calculations													
Drainage Area	Pervious			Impervious			Roof Top			Runoff			Drainage Area
	Area (ft²)	Area (Acre)	C	Area (ft²)	Area (Acre)	C	Area (ft²)	Area (Acre)	C	Area (ft²)	Area (Acre)	C	
A	1881.7	0.04	0.30	3998.4	0.09	0.95	1147.0	0.03	0.95	7027.1	0.16	0.78	A
B	668.4	0.02	0.30	6732.0	0.15	0.95	0.0	0.00	0.95	7400.4	0.17	0.89	B
C	3272.2	0.08	0.30	4563.4	0.10	0.95	0.0	0.00	0.95	7835.6	0.18	0.68	C
D	915.0	0.02	0.30	8751.2	0.20	0.95	0.0	0.00	0.95	9666.2	0.22	0.89	D
E	0.0	0.00	0.30	720.4	0.02	0.95	3000.0	0.07	0.95	3720.4	0.09	0.95	E
F	302.0	0.01	0.30	7136.9	0.16	0.95	0.0	0.00	0.95	7438.9	0.17	0.92	F
G	0.0	0.00	0.30	0.0	0.00	0.95	15119.1	0.35	0.95	15119.1	0.35	0.95	G
H	14343.6	0.33	0.30	0.0	0.00	0.95	0.0	0.00	0.95	14343.6	0.33	0.30	H
Total	21382.9	0.49	0.30	31902.3	0.73	0.95	19266.1	0.44	0.95	72551.3	1.67	0.76	Total

First Flush Storage

First flush volume is defined as the first 1/2 inch of runoff from the site

Site Information

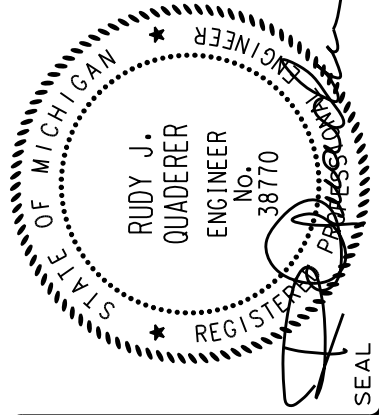
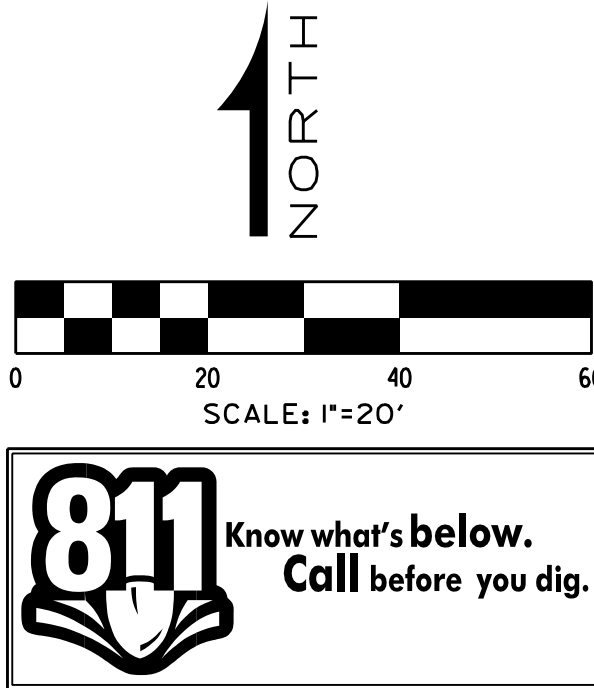
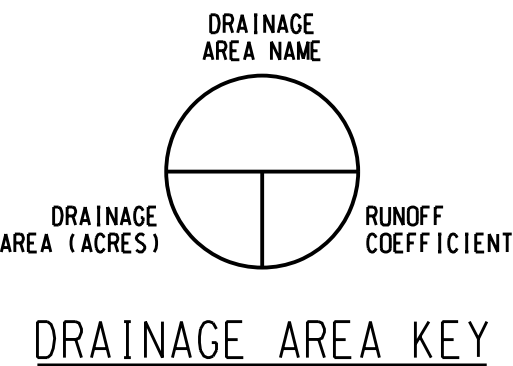
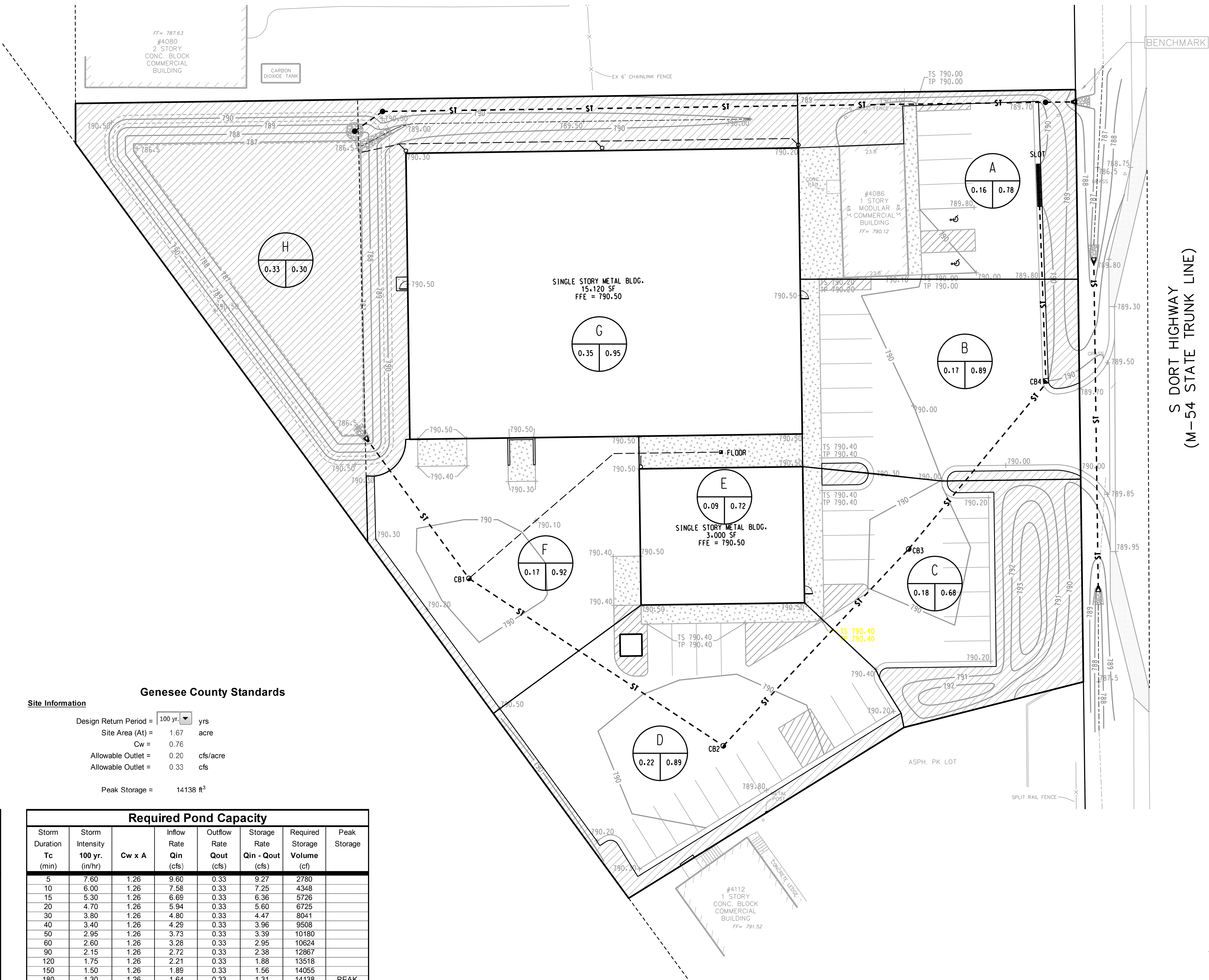
Site Area (A) = 1.67 acre

Cw = 0.76

First Flush Height (H_{ff}) = 0.50 inch

First Flush Volume (V_{ff}) = 2293 ft³

$V_{ff} = A \cdot H_{ff} \cdot C_w$



DESIGNED	BRZEZINSKI	NO.	10-30-18	TO CITY - SITE PLAN APPROVAL
CHECKED	QUADERER	DATE		SUBJECT
FIELD CREW		REVISION OR ISSUE		

DRAWN	
DESIGNED	BRZEZINSKI
CHECKED	QUADERER
FIELD CREW	

GP40 CAMPUS

4086 S DORT HIGHWAY
CITY OF BURTON, COUNTY OF GENESEE, STATE OF MICHIGAN

DRAINAGE AREA MAP & STORM SEWER CALCULATIONS

Griggs Quaderer, Inc.

8308 OFFICE PARK DRIVE
GRAND BLANC, MI 48439

WWW.GQINCORP.COM
PH: (810) 695-0154
FX: (810) 695-0158

CIVIL ENGINEERING - LAND SURVEYING
SITE PLANNING

Griggs Quaderer, Inc.
Established 2004

JOB NO.: 180905

PHASE: SPA

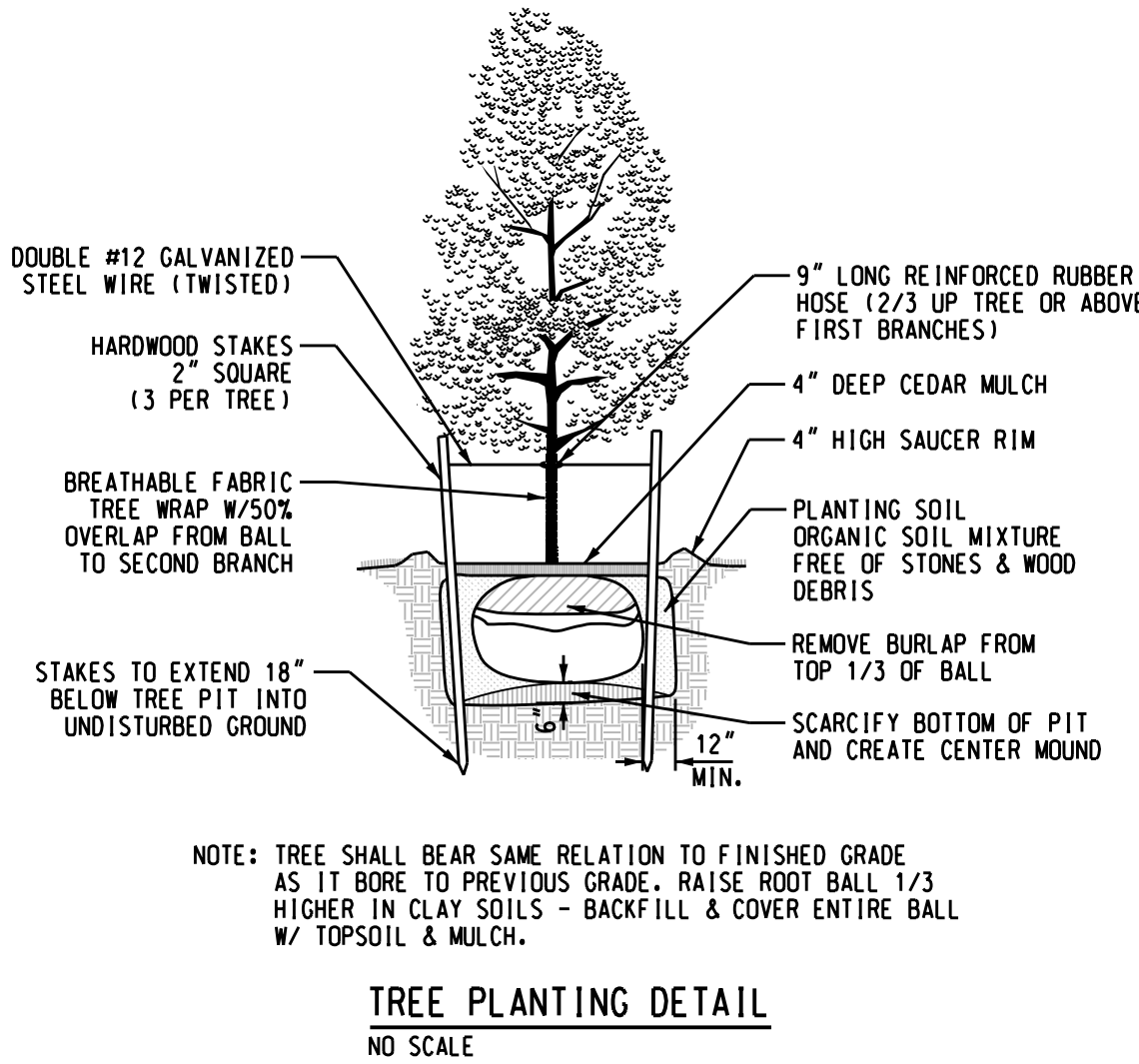
C301

LANDSCAPING NOTES:

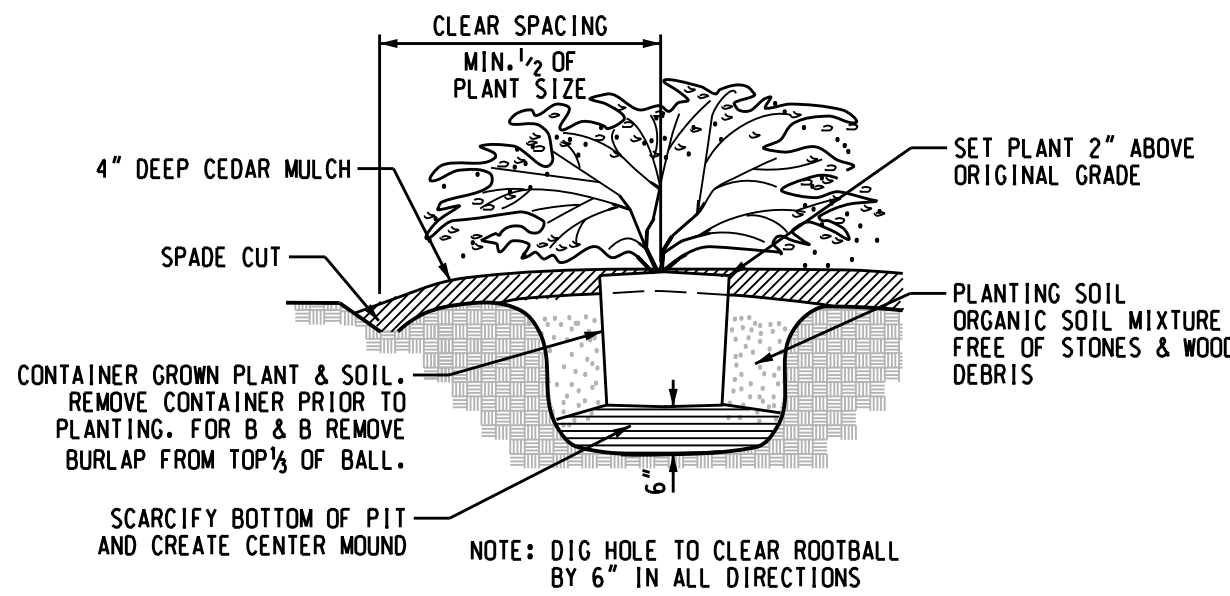
1. INSTALLATION OF PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS LATEST EDITION.
2. PRIOR TO BEGIN OF LANDSCAPE WORK, CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES. CONTRACTOR SHALL CONTACT MISS DIG (811) FOR LOCATIONS OF ALL PRIVATE UTILITIES. ANY DAMAGE OR INTERRUPTIONS OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE WORK CONDITIONS TO OWNER PRIOR TO COMMENCING WORK.
3. NUMERICAL VALUE OF PLANT MATERIAL SHOWN SHALL TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. VERIFY AND REPORT ANY DISCREPANCIES WITH LANDSCAPE ARCHITECT.
4. SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY THE MUNICIPALITY AND/OR GOVERNING AGENCY PRIOR TO COMMENCING.
5. NEW LANDSCAPE BEDS WITHIN PREVIOUS BUILDING AND PAVEMENT AREAS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR SOILS TO A MINIMUM DEPTH OF 24" AND BACKFILLED WITH GOOD MEDIUM TEXTURED ORGANIC PLANTING SOIL FREE OF ROCKS LARGER THAN 1".
6. PROTECT EXISTING TREES TO REMAIN WITH TEMPORARY FENCING PLACED AT THE DRIP LINE. NO GROUND DISTURBANCE OR STORAGE OF MATERIAL SHALL OCCUR WITHIN THE DRIP LINE LIMITS.
7. COORDINATE PLACEMENT OF PLANTS WITH UNDERGROUND UTILITY LOCATIONS. MAKE ADJUSTMENTS AS REQUIRED TO AVOID PLANTING OVER THE UTILITIES. DO NOT PLANT SHADE OR EVERGREEN TREES BELOW OVERHEAD WIRES. IF CONFLICT OCCURS, CONTACT LANDSCAPE ARCHITECT TO ADJUST LOCATION OF TREES.
8. BACKFILL ISLANDS FROM SUBGRADE TO THE TOP OF CURB WITH ON-SITE TOPSOIL UNLESS OTHERWISE NOTED ON PLAN. FINISHED GRADE IN CENTER OF ISLAND SHALL BE 4" TO 6" HIGHER THAN TOP OF CURB TO PROVIDE POSITIVE DRAINAGE TO PERIMETER OF CURB ISLAND.
9. PLACE 4" THICK BY 4' DIAMETER SHREDDED CEDAR OR CYPRESS BARK MULCH RING AT THE BASE OF ALL NEW TREES IN LAWN AREA. CUT LAWN AREA IN A SMOOTH UNIFORM CIRCULAR LINE.
10. ALL GREEN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WITH SIDE SLOPES 3:1 AND LESS, SHALL BE GRADED AND TOPPED WITH MINIMUM 4" DEEP TOPSOIL AND SEEDED & MULCHED. REFER TO PLAN FOR SEED MIXTURE AND APPLICATION RATE.
11. ALL EXISTING TREES AND SHRUBS NOTED TO REMAIN SHALL BE PROPERLY PRUNED, TRIMMED, THINNED AND SHAPED BY A QUALIFIED NURSEYMAN OR ARBORIST. ALL DEAD LIMBS AND BRANCHES SHALL BE REMOVED FROM SITE.
12. UNLESS NOTED OTHERWISE, LANDSCAPE BEDS ADJACENT TO LAWN AREAS SHALL RECEIVE LANDSCAPE EDGING AS DETAILED ON PLAN.
13. ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF COMPLETION OF BUILDING.
14. ALL STAKING MATERIALS AND WRAPPING SHALL BE REMOVED OFF SITE WITHIN ONE YEAR AFTER INSTALLATION.
15. LANDSCAPING ITEMS SHALL NOT INTERFERE WITH THE CLEAR VISION AREAS. TREES WITHIN PARKING LOT ISLANDS SHALL HAVE A CLEAR VIEW OF 4'-6" MINIMUM TO THE FIRST BRANCH AT MATURITY.
16. ALL PLANT MATERIALS INCLUDING LAWN AREAS SHALL BE WATERED, FERTILIZED, TRIMMED, MOWED AND GENERALLY MAINTAINED BY THE CONTRACTOR IN A HEALTHY GROWING CONDITION FOR A PERIOD OF 30 DAYS AFTER FINAL COMPLETION AND AFTER LAWN IS CUT FOR FIRST TIME. CONTRACTOR SHALL SUBMIT A ONE (1) YEAR WARRANTY FROM COMPLETION DATE AND BE RESPONSIBLE TO REPLACE ANY DISEASED OR DEAD PLANT MATERIAL WITHIN THAT PERIOD OF TIME WITHOUT ANY COST TO THE OWNER.
17.  CEDAR MULCH - REFER TO DETAILS BELOW

TREE SCHEDULE				
KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
AJ	ACER X FREEMANII 'JEFFERSRED'	AUTUMN BLAZE MAPLE	2.5" CAL	2
AS	ACER SACCHARUM 'COMMEMORATION'	COMMEMORATION SUGAR MAPLE	2.5" CAL	2
CA	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2.5" CAL	2
PG	PICEA GLAUCA	WHITE SPRUCE	6'-8" HT	3
PP	PICEA PUNGENS	COLORADO SPRUCE	6'-8" HT	4
PR	PYRUS CALLARYANA 'REDSPIRE'	REDSPIRE PEAR	2.5" CAL	2

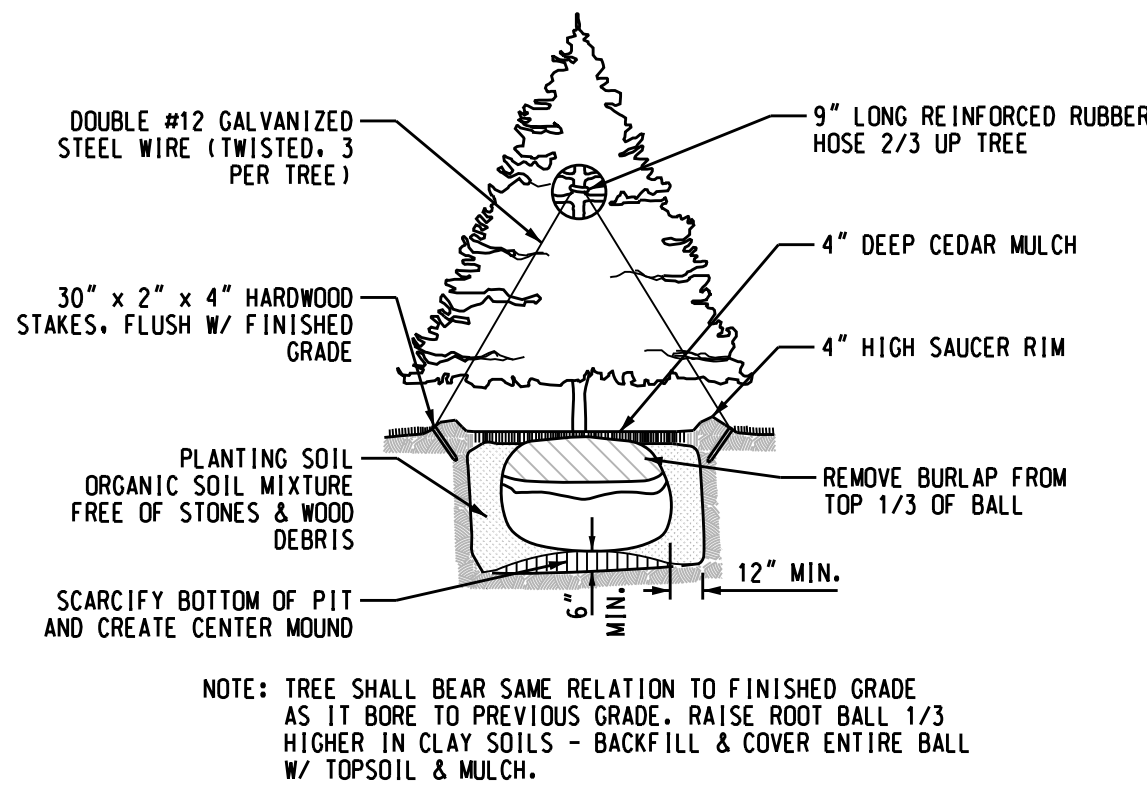
SHRUB SCHEDULE				
KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
PB	POTENTILLA FRUTICOSA 'GOLDFINGER'	GOLDFINGER POTENTILLA	NO. 3 CONT	3
SF	SPIREA JAPONICA 'GOLDMOUND'	GOLD MOUND SPIREA	NO. 3 CONT	5
SL	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	NO. 3 CONT	4
TE	THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN ARBORVITAE	5' HT	10



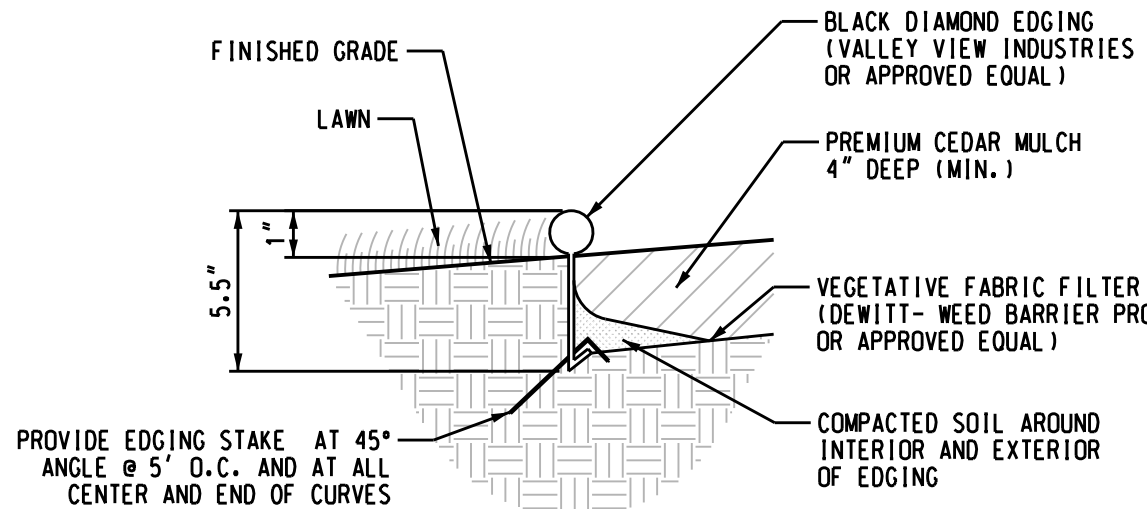
TREE PLANTING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE

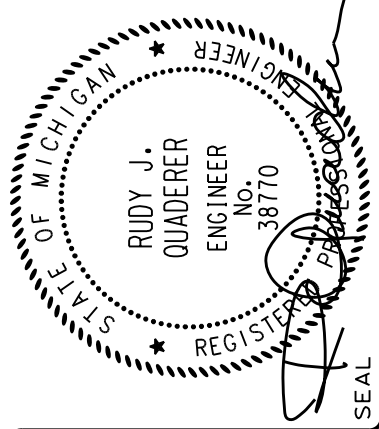
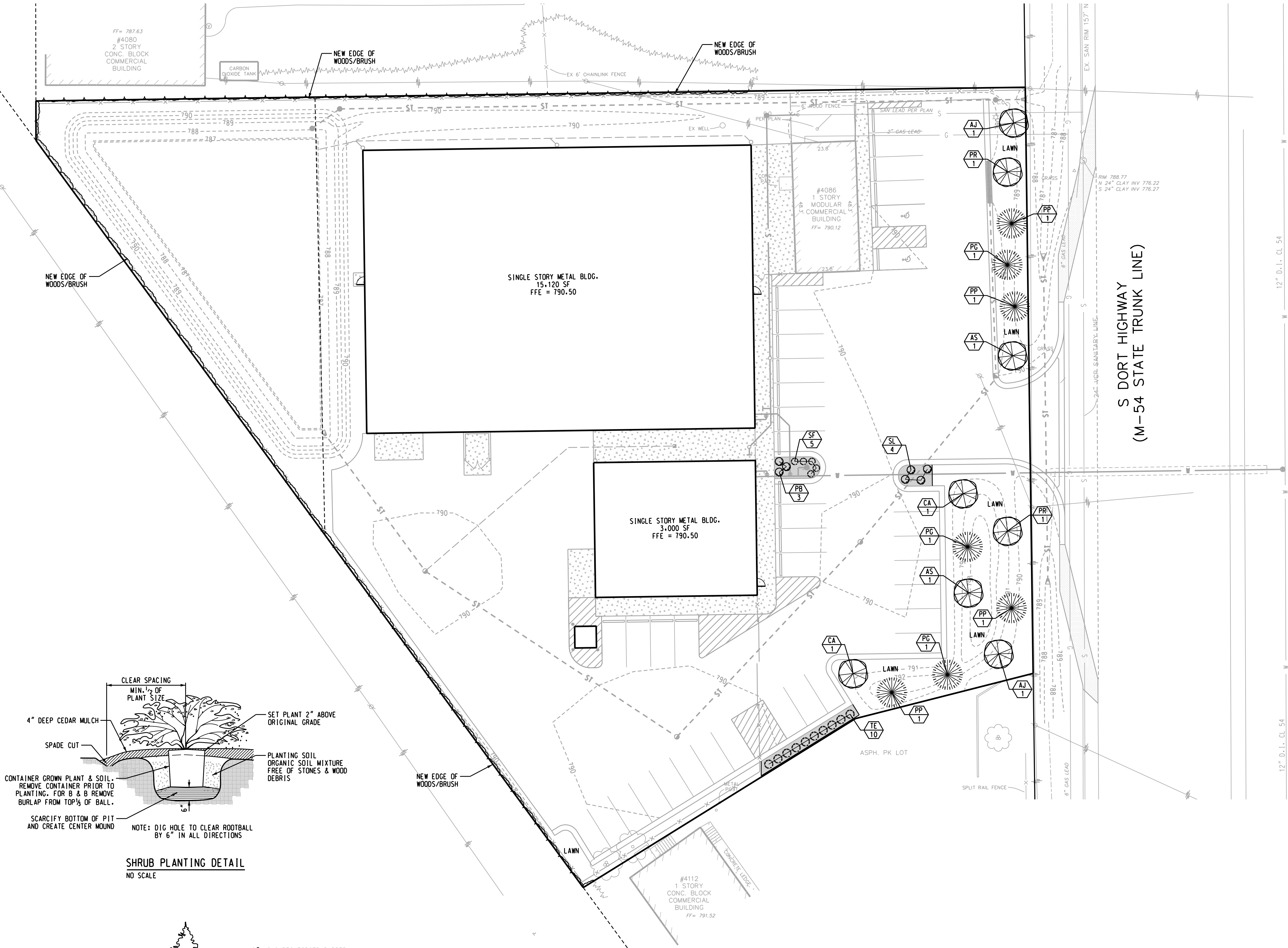
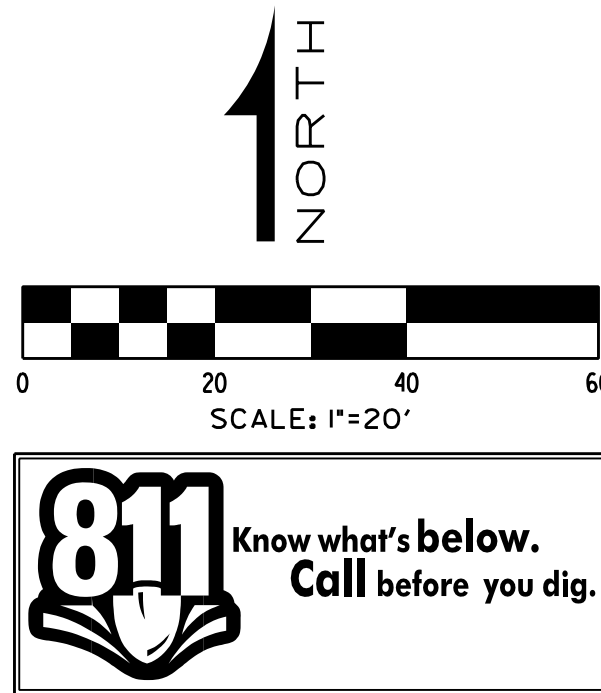


EVERGREEN TREE DETAIL
NO SCALE



CEDAR MULCH AND EDGING DETAIL
NO SCALE

SEED MIXTURE			
COMMON NAME	PROPT BY WGT.	PERCENT OF PURITY	PERCENT GERMINATION
KENTUCKY BLUE GRASS	20%	97%	80%
RED FESCUE	60%	97%	80%
PERENNIAL RYE GRASS	20%	97%	80%
TOTAL SEEDING RATE:	100%	8 LBS./1000 SQ. FT.	



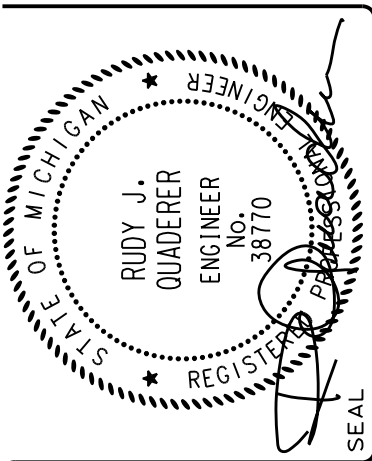
NO.	DATE	REVISION OR ISSUE
10-30-18	TO CITY - SITE PLAN APPROVAL	SUBJECT

DRAWN	DESIGNED	CHECKED	FIELD CREW
BRZEZINSKI	QUADERER		

GP40 CAMPUS
4086 S DORT HIGHWAY
CITY OF BURTON, COUNTY OF GENESEE, STATE OF MICHIGAN
SITE LANDSCAPE PLAN

Griggs Quaderer, Inc.
8308 OFFICE PARK DRIVE
GRAND BLANC, MI 48439
PH: (810) 695-0154
FX: (810) 695-0158
CIVIL ENGINEERING - LAND SURVEYING
SITE PLANNING
Griggs Quaderer Inc. Established 2004

PHASE: SPA
JOB NO.: 180905
C500

[illegible]

DRAWN	
DESIGNED	BRZEZINSKI
CHECKED	QUADERER
FIELD CREW	

4088 S. DORT HIGHWAY
CITY OF BURTON. COUNTY OF GENESEE. STATE OF MICHIGAN

SITE DETAILS

Attachment: Back up 18-51 (4090 : SPR #18-51)

Griggs Quaderer, Inc.

3308 OFFICE PARK DRIVE
GRAND BLANC, MI 48439
WWW.GQINCORP.COM
PH: (810) 695-0154
FX: (810) 695-0158

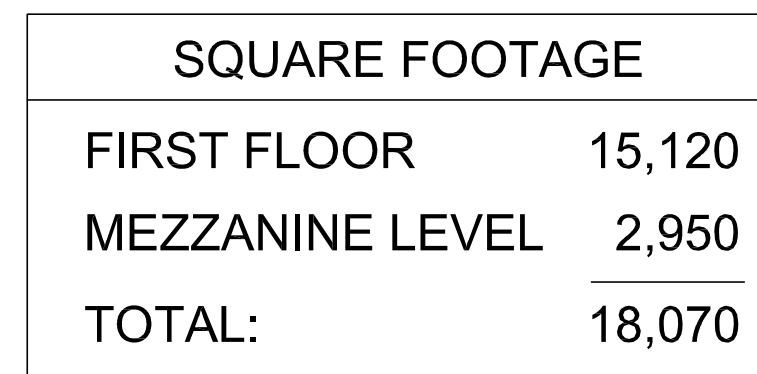
CIVIL ENGINEERING · LAND SURVEYING
SITE PLANNING

Griggs Quaderer Inc.
Established 1904



JOB NO.: 180905 PHASE: SPA

0090



GENERAL INFORMATION	
CONSTRUCTION TYPE:	TYPE 2B / NON COMBUSTIBLE / PRE-ENGINEERED STEEL BUILDING
FIRE PROTECTION:	100% FIRE SUPPRESSION PROVIDE THROUGH OUT BOTH FLOOR AREAS
USE GROUP:	NON-SEPARATED MIXED USES: GROWING AREA = "F-1" MANUFACTURING STORAGE AREA = "S-1" MODERATE HAZARD STORAGE

GAZALL, LEWIS & ASSOCIATES ARCHITECTS, INC.

MOTT FOUNDATION BUILDING
503 SOUTH SAGINAW STREET SUITE 100
FLINT, MICHIGAN 48502

• PHONE (810) 238-4681
• FAX (810) 238-5191
• GAZALL-LEWIS.COM



COMMISSION

1815

SHEET

A1.0



SCALE: 1/8" = 1'-0"

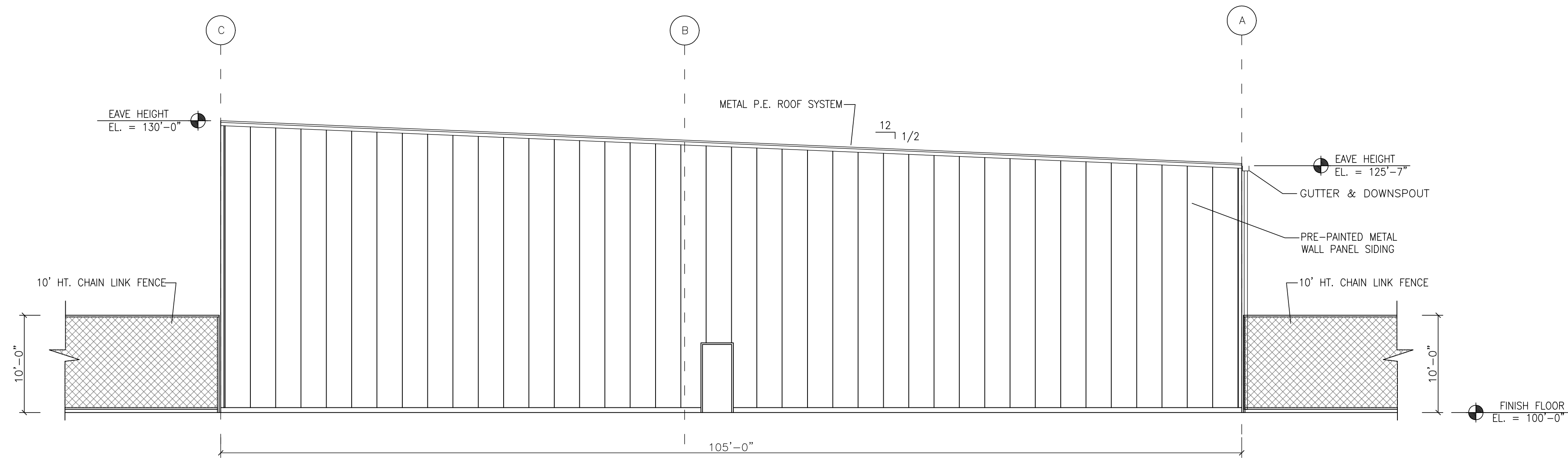


A2.0

GAZZALL, LEWIS & ASSOCIATES ARCHITECTS, INC.

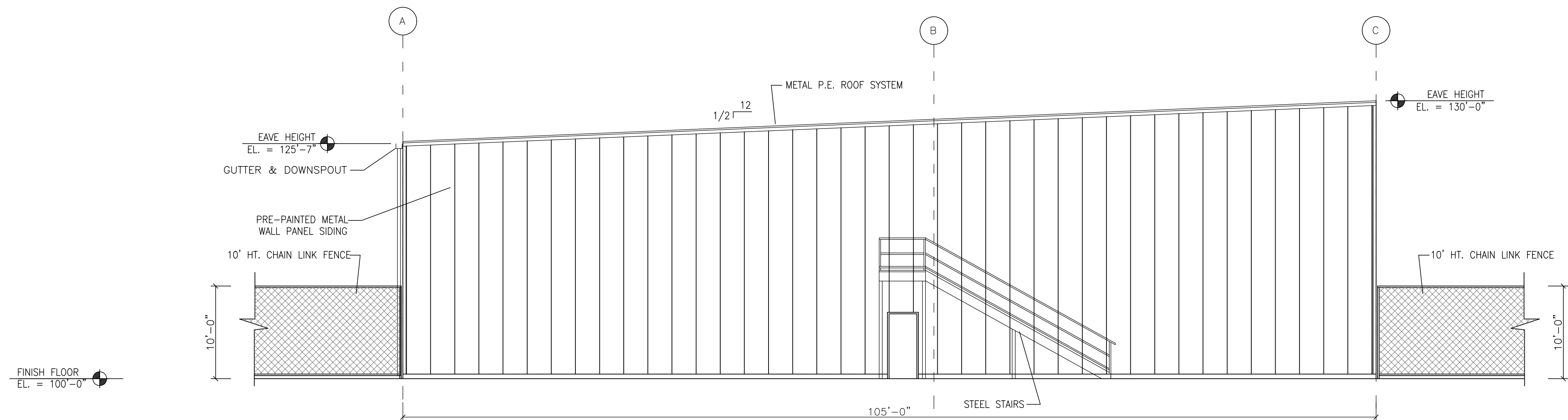
MOTT FOUNDATION BUILDING
503 SOUTH SAGINAW STREET SUITE 100
FLINT, MICHIGAN 48502

• PHONE (810) 238-4691
• FAX (810) 238-5191
• GAZZALL-LEWIS.COM



PRIMARY BUILDING
PROPOSED EAST (FRONT) ELEVATION

SCALE: 1/8" = 1'-0"



PRIMARY BUILDING
PROPOSED WEST (BACK) ELEVATION

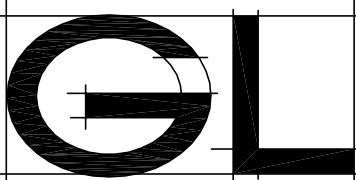
SCALE: 1/8" = 1'-0"

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DRAWN	CHECKED	REVISED DATE	DATE
			10/17/18

REVISIONS

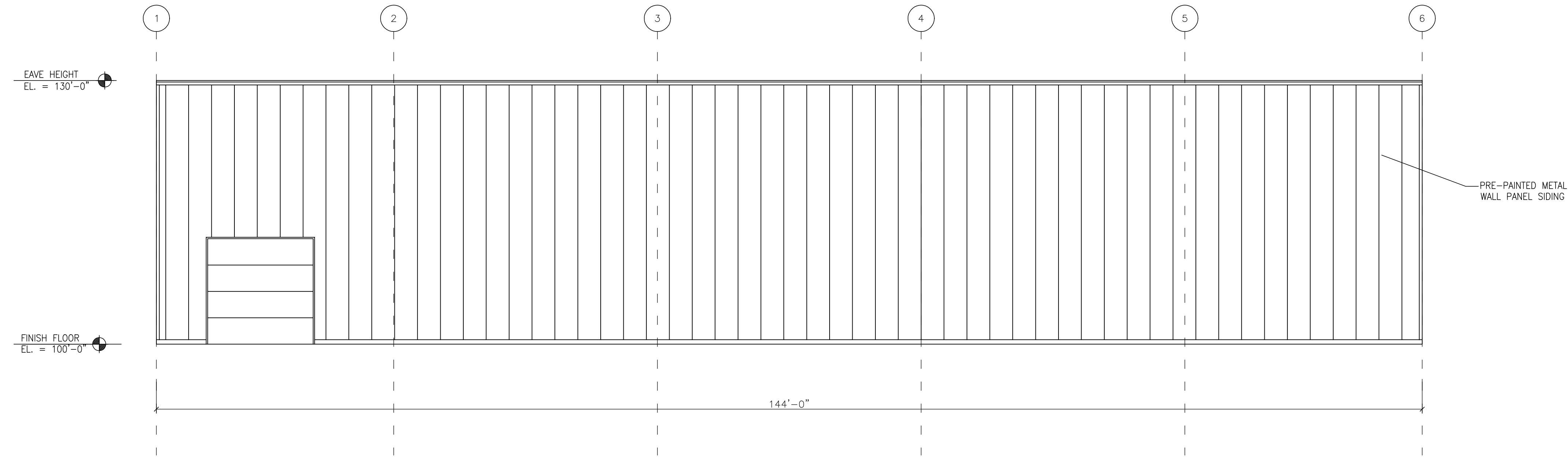
GAZALL, LEWIS & ASSOCIATES ARCHITECTS, INC.
MOTT FOUNDATION BUILDING
503 SOUTH SAGINAW STREET SUITE 100
FLINT, MICHIGAN 48502
• PHONE (810) 238-4681
• FAX (810) 238-5191
• GAZALL-LEWIS.COM



NEW DEVELOPMENT FOR
TITAN PROPERTIES
4086 S. DORT HWY, CITY OF BURTON, MI

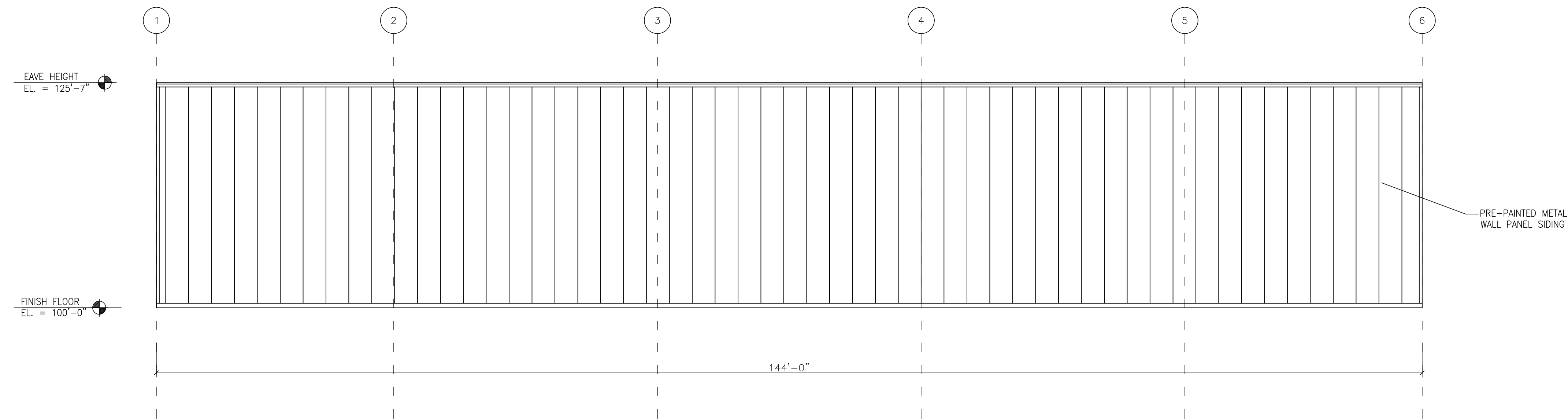
COMMISSION
1815

SHEET
A3.0



PRIMARY BUILDING
PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

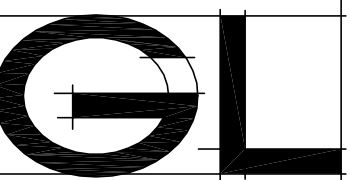


PRIMARY BUILDING
PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"

DRAWN	CHECKED	REVISED DATE	DATE
			10/17/18
REVISIONS			
▲			
▲			
▲			
▲			
▲			

GAZALL, LEWIS & ASSOCIATES ARCHITECTS, INC.
MOTT FOUNDATION BUILDING
503 SOUTH SAGINAW STREET SUITE 100
FLINT, MICHIGAN 48502
• PHONE (810) 238-4681
• FAX (810) 238-5191
• GAZALL-LEWIS.COM



NEW DEVELOPMENT FOR
TITAN PROPERTIES
4086 S. DORT HWY, CITY OF BURTON, MI

COMMISSION
1815

SHEET
A4.0

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SECONDARY BUILDING

PROPOSED FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



SECONDARY BUILDING

PROPOSED SECOND FLOOR PLAN

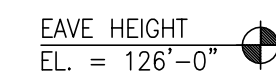
SCALE: 1/8" = 1'-0"



SCALE: $1/8" = 1'-0"$

SQUARE FOOTAGE	
FIRST FLOOR	3,000
SECOND FLOOR	2,000
TOTAL:	5,000

GENERAL INFORMATION	
CONSTRUCTION TYPE:	TYPE 2B / NON COMBUSTIBLE / PRE-ENGINEERED STEEL BUILDING
FIRE PROTECTION:	100% FIRE SUPPRESSION PROVIDE THROUGH OUT BOTH FLOOR AREAS
USE GROUP:	STORAGE AREA = "S-1" MODERATE HAZARD STORAGE

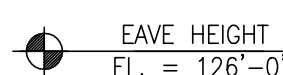


PRE-PAINTED METAL-
WALL PANEL SIDING

FINISH FLOOR
EL. = 100'-0" 

SECONDARY BUILDING
PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

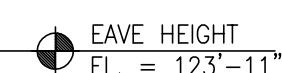


— PRE-PAINTED METAL
WALL PANEL SIDING

FINISH FLOOR
EL. = 100'-0"

SECONDARY BUILDING
PROPOSED NORTH ELEVATION

SCALE: $1/8" = 1'-0"$



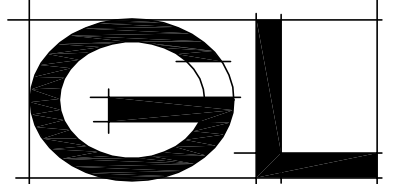
PREF-PAINTED METAL

FINISH FLOOR
= 100'-0"

SECONDARY BUILDING
PROPOSED WEST (BACK) ELEVATION

SCALE: 1/8" = 1'-0"

GAZALL, LEWIS & ASSOCIATES ARCHITECTS, INC. MOTT FOUNDATION BUILDING 503 SOUTH SAGINAW STREET SUITE 100 FLINT, MICHIGAN 48502	• PHONE (810) 238-4891 • FAX (810) 238-5191 • GAZALL-LEWIS.COM		DRAWN CHECKED REVISED DATE DATE 10/17/18
	REVISIONS		



NEW DEVELOPMENT FOR
TITAN PROPERTIES
4086 S. DORT HWY, CITY OF BURTON, MI

COMMISSION	1815
SHEET	A5.0



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 4087)

Meeting: 11/13/18 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Amber Abbey

Department Head: Charles Abbey

F.1

DOC ID: 4087

SPR #18-48

By: Chester Harvey
5186 Fern Ave.
Grand Blanc, MI 48439

Re: 3048 E. Hemphill Rd. Burton, MI 48529
59-28-300-009 M-1 Zone

For: Air Compressor Sales

COMMENTS - Current Meeting:

No discussion.

ATTACHMENTS:

- Back up 18-48 (PDF)



City of Burton
Department of Public Works
4093 Manor Drive
Genesee County, Burton, Michigan 48519
(810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 10-16-18

FEE: \$75.00

RECEIPT NO: _____

CHECK NO: 8835

SPR #: 18-48

PLEASE PRINT

DATE: 10-16-18

APPLICANTS NAME: Chester F. Harvey

APPLICANTS ADDRESS: 5186 Fern Ave, Grand Blanc, MI 48439

APPLICANTS PHONE NO: 810-730-7213

PROPOSED NAME OF BUSINESS: CTB Air Compressors

SITE ADDRESS: 3048 E. Hemphill

SUBDIVISION & LOT # OR PARCEL NUMBER: _____

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: Air Compressor Sales, Parts + Repairs

SQ FOOTAGE OF PROPERTY: ~~5200~~

SQ FOOTAGE OF STRUCTURE: 5200 Sq Ft

NUMBER OF EMPLOYEES/SEATS: 4

APPLICANTS SIGNATURE: Chester F. Harvey

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Back up 18-48 (4087 : SPR #18-48)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 4088)

Meeting: 11/13/18 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Amber Abbey

Department Head: Charles Abbey

F.2

DOC ID: 4088

SPR #18-49

By: Prestige Promotions, LLC.
4288 S. Saginaw St.
Burton, MI 48529

Re: 4288 S. Saginaw St. Burton, MI 48529

For: Business Office

COMMENTS - Current Meeting:

No discussion.

ATTACHMENTS:

- Back up 18-49 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 10-22-18

FEE: \$75.00

RECEIPT NO: _____

CHECK NO: _____

SPR #: 18-49

PLEASE PRINT

DATE: 10/22/18

APPLICANTS NAME: Prestige Promotions, LLC

APPLICANTS ADDRESS: G 4288 S. Saginaw St., Burton, MI 48529

APPLICANTS PHONE NO: (810) 953-0782

PROPOSED NAME OF BUSINESS: Prestige Promotions powered by Proforma

SITE ADDRESS: G 4288 S. Saginaw St., Burton, MI 48529

SUBDIVISION & LOT # OR PARCEL NUMBER: _____

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: Business Office

SQ FOOTAGE OF PROPERTY: 1800 sq. ft. + surrounding area(?)

SQ FOOTAGE OF STRUCTURE: 1800 sq. ft.

NUMBER OF EMPLOYEES/SEATS: 4

APPLICANTS SIGNATURE: Janet C. Kelly

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: Back up 18-49 (4088 : SPR #18-49)



Burton Planning Commission
4303 S. Center Road
Burton, MI 48519

Meeting: 11/13/18 05:00 PM
Department: Clerk's Office
Category: Events
Prepared By: Marcy Kimball
Department Head: Bette Bigsby

H.1

SCHEDULED

AGENDA ITEM (ID # 3771)

DOC ID: 3771

Master Plan Update

COMMENTS - Current Meeting:

No discussion.