



CITY OF BURTON
BURTON PLANNING COMMISSION MEETING
OCTOBER 11, 2016
AGENDA

Council Chambers

Regular Meeting

5:00 PM

4303 S. CENTER ROAD
BURTON, MI 48519

A. PLEDGE OF ALLEGIANCE

B. ROLL CALL

C. STAFF PRESENT

D. APPROVAL OF MINUTES

1. Planning Commission - Regular Meeting - Sep 13, 2016 5:00 PM

E. PUBLIC HEARING

1. SPR #16-47 / ZC# 317

By: Wilson Boji 3761 Coolidge Troy, MI 48084,
Andrew Boji 22100 Corrine Southfield, MI 48034, and
Intisar Boji 220 Winding Brook Commerce Twp., MI 48390

Re: 4312 S. Dort Hwy., Burton, MI 48529
Parcel # 59-32-400-030

For: Zoning change from R-1C Single Family Residential to C-2 General Business

F. SITE PLAN REVIEW

1. SPR #16-50

By: Burtucky Investments, LLC.
P.O. Box 597
Genesee, MI 48437

Re: 3380 Warehouse Dr. Burton, MI 48529
59-28-553-023 M-2 Zoned

For: Construction of a 4,000 sq ft Industrial Building for Medical Marijuana
Grow Facility

2. SPR #16-52

By: Michigan Health Specialist
2298 S. Center Rd.
Burton, MI 48519

Re: 2298 S. Center Rd. Burton, MI 48519
59-21-529-046, RO Zoned

For: Addition to Building

G. ADMINISTRATIVE SITE PLAN REVIEW

1. SPR #16-46

By: Bethel Assembly of God – Pastor John Backes
6029 Lapeer Rd.
Burton, MI 48509

Re: 6029 Lapeer Rd. Burton, MI 48509

For: Expansion of parking for overflow

2. SPR #16-48

By: George Franczyk
770 Wagner Dr.
Rochester Hills, MI 48307

Re: 3390 Warehouse Dr. Burton, MI 48529

For: Construction of an overflow parking lot

3. SPR #16-49

By: Michael George
7003 Clintonville Rd.
Clarkston, MI 48348

Re: 3323 Associates Dr. Burton, MI 48529

For: Medical Marijuana Grow Facility

H. AUDIENCE PARTICIPATION

Now is the time set-aside for members of the audience to address the Burton Planning Commission. I would ask each individual to give their name and address for the record and to limit their comments to three (3) minutes and to speak on the topics germane to City business.

I. BOARD DISCUSSION

The next regularly scheduled meeting will be held on Tuesday, November 15, 2016 at 5:00 p.m.



CITY OF BURTON
BURTON PLANNING COMMISSION MEETING
SEPTEMBER 13, 2016
MINUTES

Council Chambers

Regular Meeting

5:00 PM

4303 S. CENTER ROAD
BURTON, MI 48519

This meeting was opened by Chairman Deb Walton at 5:00 PM.

A. PLEDGE OF ALLEGIANCE

B. ROLL CALL

Attendee Name	Title	Status	Arrived
Robert Johnson	Commissioner	Present	
John Benthall	Commissioner	Present	
Deb Walton	Chairman	Present	
Tom Gorang	Commissioner	Present	
Kevin Burge	Vice Chairman	Present	
Mary Ann White	Commissioner	Present	
Kris Johns	Commissioner	Present	
Ellen Ellenburg	Councilwoman	Present	

C. STAFF PRESENT

Amber Abbey, Planning/Zoning

Racheal Boggs, Clerk's Office

D. APPROVAL OF MINUTES

1. Planning Commission - Regular Meeting - Aug 9, 2016 5:00 PM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Robert Johnson, Commissioner
SECONDER:	John Benthall, Commissioner
AYES:	Johnson, Benthall, Walton, Gorang, Burge, White, Johns, Ellenburg

E. SITE PLAN REVIEW

1. SPR #16-43

By: Kirby Steel, Inc.
 4072 Flint Asphalt Dr.
 Burton, MI 48529

Re: 4072 Flint Asphalt Dr. Burton, MI 48529
 59-33-100-011, M-2 Zoned

For: 64' x 64' Office Addition and 75' x 180' Shop Addition

Shawn Sage of Fenton stated he is here to answer any questions on behalf of the applicant.

Mrs. Abbey stated the administration recommends approval.

Mrs. Ellenburg stated they came before City Council. Kirby Steel has been in our community for many years and have always set a good precedence.

RESULT:	CARRIED [UNANIMOUS]
MOVER:	Kevin Burge, Vice Chairman
SECONDER:	Tom Gorang, Commissioner
AYES:	Johnson, Benthall, Walton, Gorang, Burge, White, Johns, Ellenburg

2. SPR #16-45

By: Creekwood Architecture, Inc.
1111 Creekwood Trl.
Burton, MI 48509

Re: 3495 S. Center Rd. Burton, MI 48519
59-27-651-002, 59-27-651-001
C-2 General Business Zoned

For: Addition to the Building

Rick Swihart with Creekwood Architecture of Burton is here to represent Genesys, PHO who is proposing a 2 story, 5,000 square foot addition to the existing office on Center Road. They are bringing their executive offices from Flint to consolidate here in Burton.

Mrs. Abbey stated the administration recommends approval.

Mr. Gorang appreciates and is impressed with the detail of the plans; he will be supporting the addition.

Mrs. Ellenburg asked if sidewalks will be required.

Mrs. Abbey stated if sidewalks are not already in place, they will be a requirement and should be in the plan.

Mr. Burge asked if the area where the road collapsed will propose any issues.

Mrs. Abbey stated the culvert had a hole in it, it has been repaired and has nothing to do with this addition.

Ms. White asked if there is an elevator requirement for a two story building.

Mrs. Abbey stated the building is already a two story. She asked Mr. Swihart if they intend to have an elevator put in.

Mr. Swihart said because the addition is so small, it doesn't require an elevator by code.

RESULT:	CARRIED [UNANIMOUS]
MOVER:	Kevin Burge, Vice Chairman
SECONDER:	Ellen Ellenburg, Councilwoman
AYES:	Johnson, Benthall, Walton, Gorang, Burge, White, Johns, Ellenburg

F. ADMINISTRATIVE SITE PLAN REVIEW

1. SPR #16-40

By: Burton Bee, LLC.
19700 Hall Rd., Suite 790
Clinton Twp., MI 48038

Re: 2350 S. Center Rd. Burton, MI 48529

For: AT&T Retail Store

2. SPR #16-41

By: Matthew Church
16048 Silvercrest Dr.
Fenton, MI 48430

Re: 4507 Davison Rd. Burton, MI 48509

For: Used Vehicle Sales

Mr. Burge would like to see some kind of restrictions on the number of used car businesses in Burton; they are coming up all over the city.

Mrs. Abbey said the City Council would approve that through an ordinance.

3. SPR #16-42

By: Hani Poorsaber
6220 Wilderness Pte.
Grand Blanc, MI 48439

Re: 5516 Atherton Rd. Burton, MI 48519

For: Balloon Shop

4. SPR #16-44

By: Ken Lewaar
1409 10th St.
Bay City, MI 48708

Re: 1245 S. Center Rd. Burton, MI 48509

For: Spirit Halloween Store

G. AUDIENCE PARTICIPATION

Rick Sadler of Burton spoke regarding the safety hazards of Atherton and Lippincott area. He suggested lower speed limits in that area for the safety of walkers and bikers.

Mrs. Ellenburg would like a copy of what Mr. Sadler is requesting.

Mr. Sadler will give a copy to Ms. Boggs after the meeting.

Mr. Johns stated there are grant funds available for bike lanes and Burton would be a good candidate for these funds. He will check into it.

Mrs. Ellenburg stated she almost hit someone the other day that was biking down that area. She encouraged Mr. Sadler to attend more meetings.

Mr. Benthall stated the speed limits are looked at in some detail before being set by the state.

Mr. Johns stated the Genesee County Metropolitan Alliance is requesting non-motorized projects for 2017-2020. There is about \$432,000 available for Transportation Alternative Programs (TAP) for the year 2020. He will share this information with Deb Walton, Planning Chair.

H. PRESENTATION

Mr. Piggot went over the master plan schedule. He is proposing to move the master plan open house to January to maximize attendance and public input due to the Holidays.

The board is in agreement with having the open house in January.

Mr. Piggot asked if everyone was comfortable with the information presented by Sharon Woods from Land Use, USA. He has digital and paper copies available if anyone is interested.

Board discussion about contacting Superintendent's of Burton schools to schedule the youth charettes.

Mr. Piggot stated the visioning session is scheduled for September 29th, Scott and Caitlyn are working on scheduling the open house and there is a stakeholder meeting tentatively

scheduled with the Veteran's group at the VFW on October 15th. The Rotary luncheon is this Thursday at Brookwood Golf Course at noon.

Caitylyn discussed stakeholder and focus group discussion results including creating a walkable community, bike trails, a unified identity of Burton, a community gathering place such as a park or amphitheater, combining the school districts, blight, homeowner assistance, and road improvement.

Mr. Piggot summarized the city's utilities, transportation, sanitary sewer and street and highway network, Transportation Improvement Plan (TIP) projects for 2016-2020, mass transportation, bus stops, MTA strategic plan and railroads.

Board discussion regarding the master plan Facebook page results, cost of boosting posts and the impact of boosts. The board agreed to boost events on the page for \$7.00.

Board discussed receiving a hard copy of the online survey for those people who do not use Facebook.

Mrs. Abbey volunteered to input the surveys for these individuals.

Board discussion on the details of visioning session scheduled for September 29th.

Mr. Piggot suggested picking an additional date for a meeting in October as we will be covering a large amount of information regarding the master plan.

The board discussed potential dates and agreed to Monday, October 24, 2016 at 5:00 PM.

1. Progress Report on Master Plan

Presentation on the progress of the Master Plan by ROWE Professional Services Company

I. BOARD DISCUSSION

Mr. Burge thanked the members of the audience for their input tonight and encouraged them to come back at future meetings.

Mrs. Abbey reminded Mr. Johnson and Mr. Johns that their terms expire at the end of September. They will need to send a letter of interest to the Mayor's office.

Mrs. Walton stated Mr. Johns and Mr. Benthall are both in need of Planning Commission identification cards.

Ms. Boggs will coordinate the ID cards if Mr. Johns and Mr. Benthall would like to meet after the meeting tonight.

The next regularly scheduled meeting will be held on Tuesday, October 11, 2016 at 5:00 p.m.

Meeting was adjourned at 6:10 PM.



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 2695)

Meeting: 10/11/16 05:00 PM
Department: Department of Public Works
Category: Public Hearing
Prepared By: Amber Abbey
Department Head: Robert Slattery

E.1

DOC ID: 2695

SPR #16-47 / ZC# 317

By: Wilson Boji 3761 Coolidge Troy, MI 48084,
Andrew Boji 22100 Corrine Southfield, MI 48034, and
Intisar Boji 220 Winding Brook Commerce Twp., MI 48390

Re: 4312 S. Dort Hwy., Burton, MI 48529
Parcel # 59-32-400-030

For: Zoning change from R-1C Single Family Residential to C-2 General Business

ATTACHMENTS:

- 16-47 (ZC 317) (PDF)



City of Burton

Building Department
4093 Manor Drive
Burton, MI 48519
(810) 742-9230

DATE FILED : 9-8-16
FEE PAID : \$600.00
CHECK NO: 5442
RECEIVED BY: JR

PETITION FOR ZONING CHANGE

CASE NO. 317 SPR#: 16-47

We the Owners, Contract Purchasers, Optionees and Leaseholders of the hereinafter described property do hereby petition your Honorable Body to rezone property described as:

Attached

Parcel ID#: 59-32-400-030

Located at: 4312 S Dort Hwy, Burton MI 48529

(address of property to be rezoned)

and change the zoning district classification from R1C to C2 for the purpose of correcting zoning for current use and potential future commercial development and such other uses permitted by the proposed zoning district.

ALL OWNERS, CONTRACT PURCHASERS, OPTIONEES AND LESSEES OF THE LAND PROPOSED FOR REZONING SIGN HERE:

Name: Wilson Boji

Signature: Wilson Boji

3761 Coolidge, Troy MI 48084
Address

248.520.9151
Phone

Name: Andrew Boji

Signature: Andrew D. Boji

22100 Corrine, Southfield MI 48034
Address

248.467.6353
Phone

Name: Intisar Boji

Signature: Intisar Boji

220 Winding Brook, Commerce Twp MI 48390
Address

248.229.9900
Phone

1st Public Hearing

Planning Commission Meeting: October 11th Time: 5:00pm Action: _____

2nd Public Hearing / 1st Reading

Date of City Council Meeting: October 17th Time: 6:30pm Action: _____

2nd Reading

Date of City Council Meeting: November 10th Time: 7:00pm Action: _____

Attachment: 16-47 (ZC 317) (2695 : SPR #16-47 / ZC# 317)

G 4312 S DORT HWY BURTON, MI 48529 (Property Address)

Parcel Number: 59-32-400-030

No Images Found

Property Owner: DSB GOLF LLC**Summary Information**

> Residential Building Summary

- Year Built: 1965
- Bedrooms: 0
- Full Baths: 1
- Half Baths: 0
- Sq. Feet: N/A
- Acres: 92.950

- > Assessed Value: \$444,900 | Taxable Value: \$437,007
- > Property Tax Information found
- > 1 Utility Billing Account found

Owner and Taxpayer Information**Owner**DSB GOLF LLC
3761 COLLIDGE
TROY, MI 48084**Taxpayer**DSB GOLF LLC
3761 COLLIDGE HWY
TROY, MI 48084**Amount Due**Current Taxes: **\$25,680.38**[Pay Now](#)**Legal Description**

A PARCEL OF LAND BEG AT E 1/4 COR OF SEC TH S 1 DEG 12 MIN W 1308.21 FT TH N 88 DEG 44 MIN W 493.75 FT TH S 1 DEG 12 MIN W 724.97 FT TH N 88 DEG 46 MIN 30 SEC W 329.91 FT TH N 1 DEG 11 MIN E 125 FT TH N 88 DEG 46 MIN 30 SEC W 549.96 FT TH S 1 DEG 09 MIN 20 SEC W 323 FT TH N 88 DEG 46 MIN 30 SEC W 494.76 FT TH N 1 DEG 07 MIN 30 SEC E 82.50 FT TH N 88 DEG 44 MIN W 440.04 FT TH N 1 DEG 06 MIN 10 SEC E 841.50 FT TH S 88 DEG 50 MIN E 660.50 FT TH N 1304.18 FT TH S 88 DEG 50 MIN E 1651.47 FT TO PL OF BEG & S 981.18 FT OF E 1/2 OF W 1/2 OF NW 1/4 OF SE 1/4 & W 1/2 OF E 1/2 OF NW 1/4 OF SE 1/4 EXCEPT N 381 FT SEC 32 T7N R7E (86) FR 5900026001

Recalculate amounts using a different Payment Date

You can change your anticipated payment date in order to recalculate amounts due as of the specified date for this property.

Enter a Payment Date **Tax History**+ ****Note:** On March 1 at 12:00 AM, local taxes become ineligible for payment at the local unit.

Year	Season	Total Amount	Total Paid	Last Paid	Total Due	
2016	Summer	\$25,680.38	\$0.00		\$25,680.38	Pay Now
2015	Winter	\$7,654.38	\$7,654.38	02/18/2016	\$0.00	
2015	Summer	\$29,357.74	\$29,357.74	09/30/2015	\$0.00	
2014	Winter	\$7,450.16	\$0.00		\$7,450.16	** Read Note Above
2014	Summer	\$23,717.59	\$23,717.59	09/30/2014	\$0.00	
2013	Winter	\$6,869.72	\$0.00		\$6,869.72	** Read Note Above
2013	Summer	\$15,816.39	\$15,816.39	09/20/2013	\$0.00	
2012	Winter	\$6,903.50	\$0.00		\$6,903.50	** Read Note Above
2012	Summer	\$31,879.01	\$0.00		\$31,879.01	** Read Note Above
2011	Winter	\$12,141.10	\$0.00		\$12,141.10	** Read Note Above
2011	Summer	\$36,239.47	\$0.00		\$36,239.47	** Read Note Above
2010	Winter	\$11,959.42	\$11,959.42	02/16/2011	\$0.00	
2010	Summer	\$27,234.66	\$27,234.66	09/22/2010	\$0.00	
2009	Winter	\$12,032.11	\$12,032.11	02/22/2010	\$0.00	
2009	Summer	\$27,326.49	\$27,326.49	09/23/2009	\$0.00	
2008	Winter	\$20,258.62	\$0.00		\$20,258.62	** Read Note Above
2008	Summer	\$27,266.49	\$27,266.49	09/19/2008	\$0.00	
2007	Winter	\$12,051.71	\$12,051.71	02/28/2008	\$0.00	
2007	Summer	\$27,417.75	\$27,417.75	11/13/2007	\$0.00	

Case No. 317

TO THE RESIDENTS OF THE CITY OF BURTON

PLEASE BE NOTIFIED there will be a public hearing of the Burton City Planning commission on Tuesday October 11, 2016 at 5:00 p.m. at the Burton City Hall, 4303 S. Center Road Burton, Michigan.

The following change of zoning will be considered:

Case No. 317

Wilson Boji 3761 Coolidge Troy, MI 48084, Andrew Boji 22100 Corrine Southfield, MI 48034, and Intisar Boji 220 Winding Brook Commerce Twp., MI 48390 requests a zoning change from R-1C Single Family Residential to C-2 General Business on the following described parcel: being located at 4312 S. Dort Hwy. as follows:

59-32-400-030 described as:

A PARCEL OF LAND BEG AT E 1/4 COR OF SEC TH S 1 DEG 12 MIN W 1308.21 FT TH N 88 DEG 44 MIN W 493.75 FT TH S 1 DEG 12 MIN W 724.97 FT TH N 88 DEG 46 MIN 30 SEC W 329.91 FT TH N 1 DEG 11 MIN E 125 FT TH N 88 DEG 46 MIN 30 SEC W 549.96 FT TH S 1 DEG 09 MIN 20 SEC W 323 FT TH N 88 DEG 46 MIN 30 SEC W 494.76 FT TH N 1 DEG 07 MIN 30 SEC E 82.50 FT TH N 88 DEG 44 MIN W 440.04 FT TH N 1 DEG 06 MIN 10 SEC E 841.50 FT TH S 88 DEG 50 MIN E 660.50 FT TH N 1304.18 FT TH S 88 DEG 50 MIN E 1651.47 FT TO PL OF BEG & S 981.18 FT OF E 1/2 OF W 1/2 OF NW 1/4 OF SE 1/4 & W 1/2 OF E 1/2 OF NW 1/4 OF SE 1/4 EXCEPT N 381 FT SEC 32 T7N R7E

File may be examined at the Department of Public Works, 4093 Manor Drive, Burton, Michigan during regular business hours.

If you are interested you may attend the meeting and be heard.

/s/ Teresa Karsney

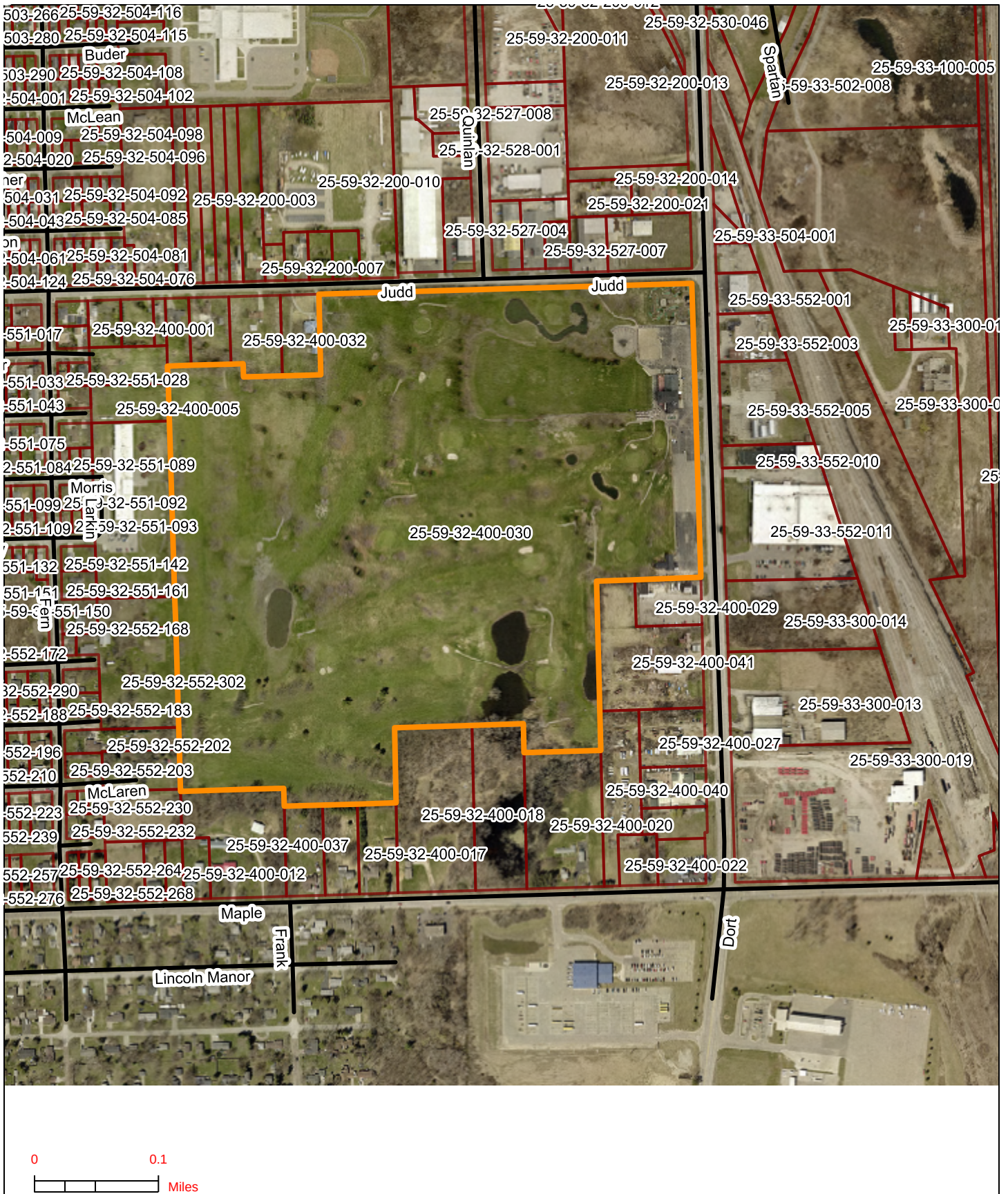
Prepared by:

Amber Abbey,
Deputy Planning Official

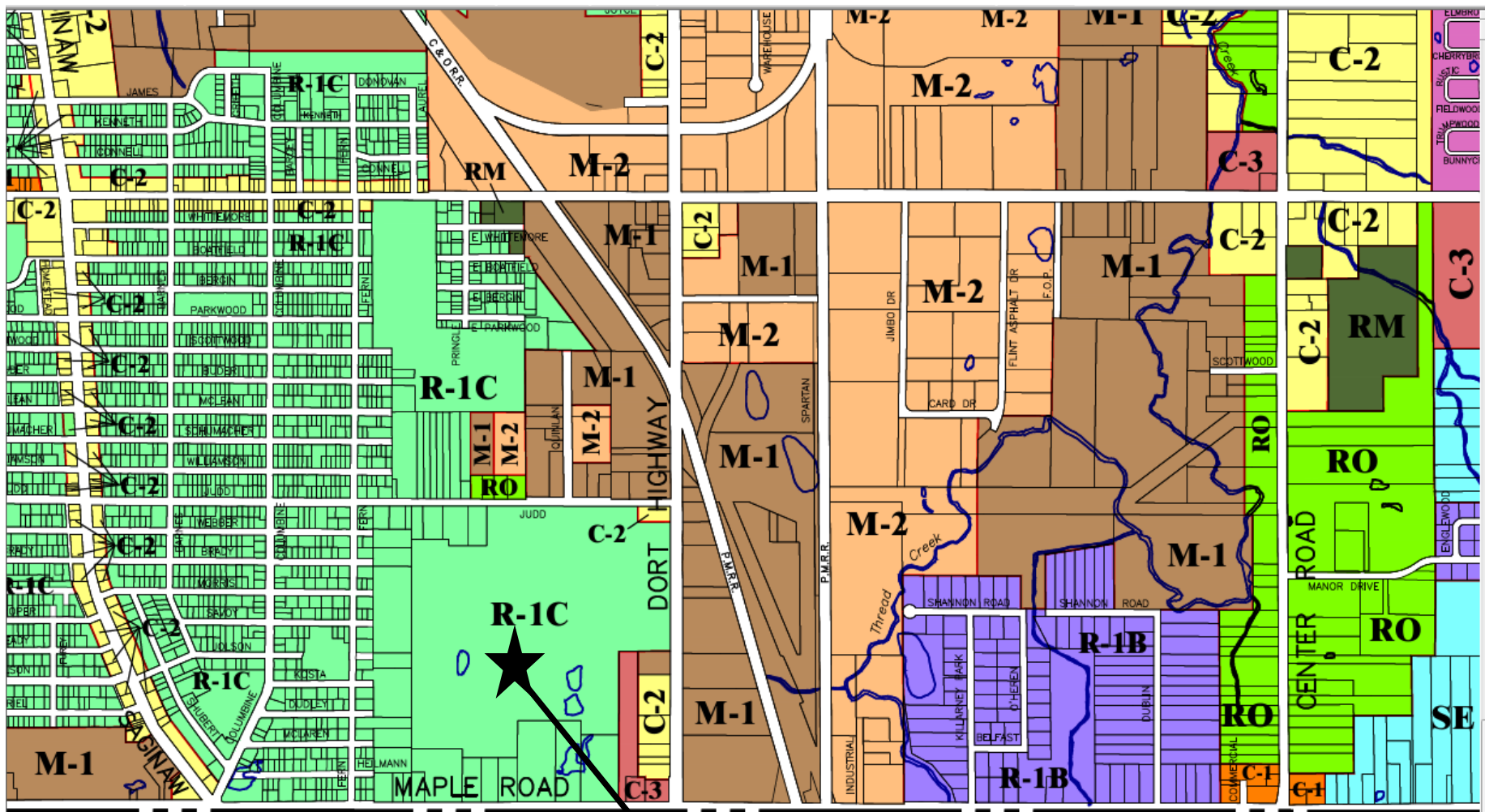
Attachment: 16-47 (ZC 317) (2695 : SPR #16-47 / ZC# 317)

PATTEST

E.1.a



Attachment: 16-47 (ZC 317) (2695 : SPR #16-47 / ZC# 317)



Property that is requesting the zoning change to C-2



Attachment: 16-47 (ZC 317) (2695 : SPR #16-47 / ZC# 317)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 2698)

Meeting: 10/11/16 05:00 PM
Department: Department of Public Works
Category: Site Plan Review
Prepared By: Amber Abbey
Department Head: Robert Slattery

F.1

DOC ID: 2698

SPR #16-50

By: Burtucky Investments, LLC.
P.O. Box 597
Genesee, MI 48437

Re: 3380 Warehouse Dr. Burton, MI 48529
59-28-553-023 M-2 Zoned

For: Construction of a 4,000 sq ft Industrial Building for Medical Marijuana Grow Facility

ATTACHMENTS:

- 16-50 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR SITE PLAN REVIEW

DATE FILED: 9-27-16
 FEE: \$400.00
 RECEIPT NO: _____
 CHECK NO: 1185

SPR #: 16-50

PLEASE PRINT

DATE OF PLANNING COMMISSION MEETING: October 11, 2016

APPLICANTS NAME: Burtucky Investments, LLC, Attn: Thomas Joubran

APPLICANTS ADDRESS: P.O. Box 597, Genesee, MI 48437

APPLICANTS PHONE NO: 810-938-8797

PROPOSED NAME OF BUSINESS: Burtucky Investments

SITE ADDRESS: Warehouse Drive, Burton, MI 48529

SUBDIVISION & LOT # OR PARCEL NUMBER: Parcel #-59-28-553-023: Part of Lot 64 and all of Lot 65
of Hemphill-Dort Commercial Sites No. 2

RE: Construct a 4,000 sft industrial building and related site improvements under the existing M-2 General
Industrial District Site Zoning.

APPLICANT: IT IS TO YOUR ADVANTAGE TO ATTEND THE ABOVE SCHEDULED MEETING. THE PLANNING COMMISSION MAY HAVE QUESTIONS THAT DIRECTLY AFFECT APPROVAL, DENIAL, OR POSTPONING UNTIL THESE QUESTIONS CAN BE ANSWERED.

APPLICANTS SIGNATURE: _____

NOTE: All site plans must be filed at least two (2) weeks prior to the Planning Commission hearing and **MUST** comply with the procedures set forth in Section 157.092 of Codified Ordinance as attached. Must include **twelve (12) sets** of prints in order to process the application.

* 6-27-16 Approved Plan by Amanda Doyle, City Attorney.
 meets the deadline for submittal before the
 moratorium - Per Amanda.

Attachment: 16-50 (2698 : SPR #16-50)

LEGAL DESCRIPTION (PER TITLE COMMITMENT):

PART OF LOT 64 AND LOT 65 OF HEMPHILL-DORT COMMERCIAL SITES, BLDG. 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827,



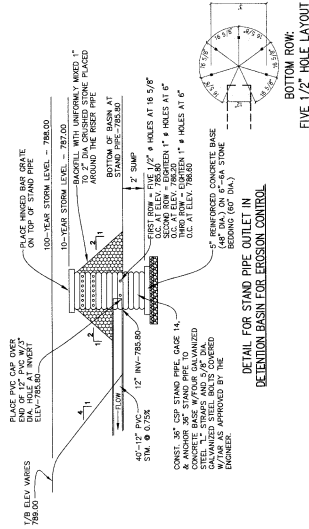


**RATIONAL METHOD Q=CIA
DETENTION POND VOLUME CALCULATIONS**

Area= 4.490 acres
C= 0.460
Qout= 0.900 cfs

Time conc min	I 100	CwA	Qin	Qout/Callow	Qin-Qout Ft³/S	V=(Qin-Qout)*t*c'60 Ft³	RETENTION (% OF DET.)
10	5.77	2.07	11.92	0.90	11.02	6,610.41	13,220.83
20	4.60	2.07	9.50	0.90	8.60	10,321.01	20,642.02
30	3.90	2.07	8.06	0.90	7.16	12,879.11	25,758.22
40	3.40	2.07	7.02	0.90	6.12	14,693.66	29,387.33
50	3.00	2.07	6.20	0.90	5.30	15,888.60	31,777.20
60	2.70	2.07	5.58	0.90	4.68	16,835.69	33,671.38
70	2.50	2.07	5.16	0.90	4.26	17,906.70	35,581.40
80	2.30	2.07	4.75	0.90	3.85	18,482.02	36,964.03
90	2.10	2.07	4.34	0.90	3.44	18,561.64	37,123.27
100	1.90	2.07	3.92	0.90	3.02	18,145.56	37,193.90
110	1.80	2.07	3.72	0.90	2.82	18,596.95	37,193.90
120	1.70	2.07	3.51	0.90	2.61	18,800.50	37,512.38
130	1.60	2.07	3.30	0.90	2.40	18,756.19	37,512.38
140	1.50	2.07	3.10	0.90	2.20	18,464.04	36,928.08
150	1.45	2.07	2.99	0.90	2.09	18,853.47	37,706.94
160	1.40	2.07	2.89	0.90	1.99	19,118.88	38,237.95
170	1.30	2.07	2.69	0.90	1.79	18,207.20	36,414.41
180	1.25	2.07	2.58	0.90	1.68	18,162.90	36,325.80
190	1.20	2.07	2.48	0.90	1.58	17,984.67	35,989.34
200	1.15	2.07	2.38	0.90	1.48	17,702.52	35,405.04
210	1.10	2.07	2.27	0.90	1.37	17,286.44	34,572.89
220	1.00	2.07	2.07	0.90	1.17	15,383.28	30,786.56
230	0.95	2.07	1.96	0.90	1.06	14,657.39	29,314.79
240	0.93	2.07	1.92	0.90	1.02	14,659.84	29,399.67
270	0.83	2.07	1.71	0.90	0.81	13,191.37	26,382.74
300	0.73	2.07	1.51	0.90	0.61	10,939.36	21,878.71
330	0.66	2.07	1.36	0.90	0.46	9,170.65	18,341.29
360	0.62	2.07	1.28	0.90	0.38	8,219.84	16,439.67
390	0.59	2.07	1.22	0.90	0.32	7,454.91	14,909.82
420	0.55	2.07	1.14	0.90	0.24	5,946.44	11,892.89
450	0.53	2.07	1.09	0.90	0.19	5,255.87	10,511.75
480	0.50	2.07	1.03	0.90	0.13	3,821.76	7,643.52
510	0.48	2.07	0.99	0.90	0.09	2,796.60	5,593.19
540	0.45	2.07	0.93	0.90	0.03	953.53	1,907.06
570	0.43	2.07	0.89	0.90	-0.01	-406.23	-812.46

- DRAINAGE AREA = 4.49 ACRES
- ALLOWABLE OUTFLOW = 0.20 CFS/ACRES = 0.90 CFS
- DEVELOPED AVERAGE RUNOFF COEFFICIENT= 0.46
- REQUIRED 100 YEAR STORM STORAGE VOLUME = 19,119 CFT
- PROVIDED DETENTION BASIN STORAGE VOLUME = 21,688 CFT



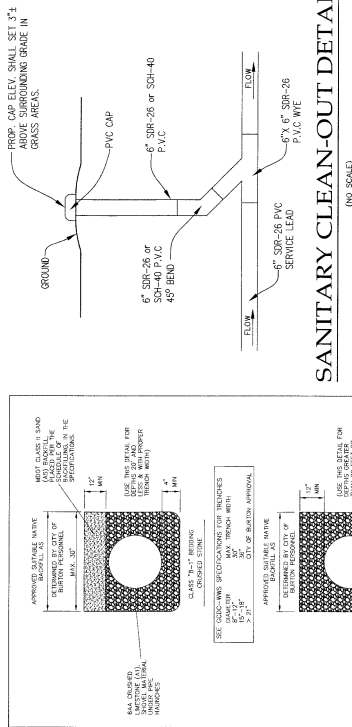
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SCALE: NONE	APPLICANT/DEVELOPER: BURLINGTON INVESTMENTS, LLC. BURLINGTON, MI 48329 PHONE: 810-598-8797 FAX: 810-598-8797 EMAIL: burlingtoninvestments.com	DESIGNER: KRAFT ENGINEERING & SURVEYING, INC. 409 WEST SEVENTH STREET, SUITE 200 BURTON, MI 48329 PHONE: 810-598-8797 FAX: 810-598-8797 EMAIL: kraftengineering.com	PROPOSED INDUSTRIAL BUILDING WAREHOUSE DRIVE, BURTON, MI 48329 PART OF THE SOUTHWEST 1/4 OF SECTION 28, T7N-R7E CITY OF BURTON, GENESSEE COUNTY, MICHIGAN	STORM WATER DETENTION BASIN DETAILS & CALCULATIONS	REVISIONS: DSN. BY: T.A.B. CHKD. BY: M.G.M. APP. BY: M.G.M.	DATE: 09/27/2016	SHEET NO.: C-4
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GENERAL NOTES:

1. UNDERPINNING UTILITY LOCATIONS AS SHOWN ON THE PLANS WERE OBTAINED FROM UTILITY OWNERS AND WERE NOT FIELD LOCATED. A MINIMUM OF 72 HOURS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY MISS O'D (800-482-7177) OR 811 FROM THE PROJECT SITE TO REQUEST A UTILITY LOCATING SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND LOCATION OF ALL UTILITY LOCATIONS THAT MAY INTERFERE WITH CONSTRUCTION. 72 HOURS BEFORE YOU DIG-CALL MISS O'D (800-482-7177).
2. THERE SHALL BE NO PERMANENT STRUCTURE BUILT ON ANY UTILITY EASEMENTS.
3. ALL SANITARY SEWER LAID, CONSTRUCTION, AND ALL WORK CONNECTING TO EXISTING SANITARY SEWER SHALL BE IN ACCORDANCE WITH THE CITY OF WASHINGTON AND/OR GEORGETOWN (BAY) CANAL COMMISSION DIVISION OF WATER AND SEWER SERVICES (COWWSS) STANDARD SPECIFICATIONS AND STANDARD DETAILS, AS APPLICABLE.
4. ALL SANITARY LAID UNDER PROPOSED DRIVEWAYS SHALL BE DRIVEN WITH MOIST CLASS II SAND FOR THE FULL DEPTH OF THE TRENCH COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MOVED PROCTOR.
5. SANITARY CLEANOUTS SHALL HAVE FABRICATED WATERPROOF DOD CAPS. DOD CAPS SHALL BE GALVANIZED OR STAINLESS STEEL WHEN LOCATED IN PAVED AREAS.
6. ALL SANITARY SEWER SERVICE LAID PIPE SHALL BE 6" SDR-26 PVC WITH STONE BEDDING TO BE INSTALLED AT A MIN. SLOPE OF 1/8" PER 100'.
7. CONDUIT/CABLE SHALL BE CAST COMPACTED AND AS PROVIDED UNLESSING BURELLET AT ALL UTILITY CROSSINGS BETWEEN THE BOTTOM OF THE LOWER UTILITY AND THE BOTTOM OF THE HIGHER UTILITY (PLACE STONE TO TOP OF LOWER UTILITY INSTEAD OF BOTTOM ONLY WHEN IT IS AN EXISTING UTILITY, UNLESS DIRECTED OTHERWISE BY THE ENGINEER).
8. SEE THIS SHEET FOR SANITARY SEWER STANDARD DETAILS AND NOTES.
9. NO SANITARY SEWER LAID WORK SHALL BEGIN UNTIL APPROVAL HAS BEEN RECEIVED FROM THE CITY OF WASHINGTON AND/OR GEORGETOWN (BAY) CANAL COMMISSION. PERMITS AND APPROVALS HAVE BEEN OBTAINED BY THE CONTRACTOR.
10. THE DOMESTIC WATER SERVICE FOR THE PROPOSED DRILLING WILL BE PROVIDED BY A CONTRACTOR AT THE PROJECT SITE AS DIRECTED BY THE GEORGETOWN COUNTY ENVIRONMENTAL HEALTH DEPARTMENT.

SANITARY CLEAN-OUT DETAIL

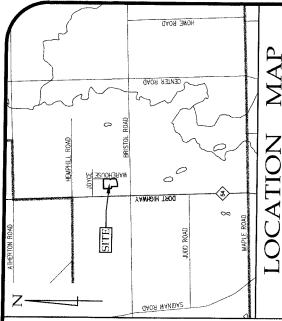


BENCHMARKS:

BENCHMARK 1:
SET DOUBLE HEADED NAIL, SOUTH FACE OF
POWER POLE @ NORTHEAST CORNER OF
PROPERTY. WEST SIDE OF WAREHOUSE DRIVE.
ELEVATION = 791.01 (N.A.V. DATUM)

BENCHMARK 2:
SET DOUBLE HEADED NAIL/1"AG. EAST FACE OF
POWER POLE, 75'± SOUTH OF NORTHWEST
PROPERTY CORNER.
ELEVATION = 790.75 (N.A.V. DATUM)

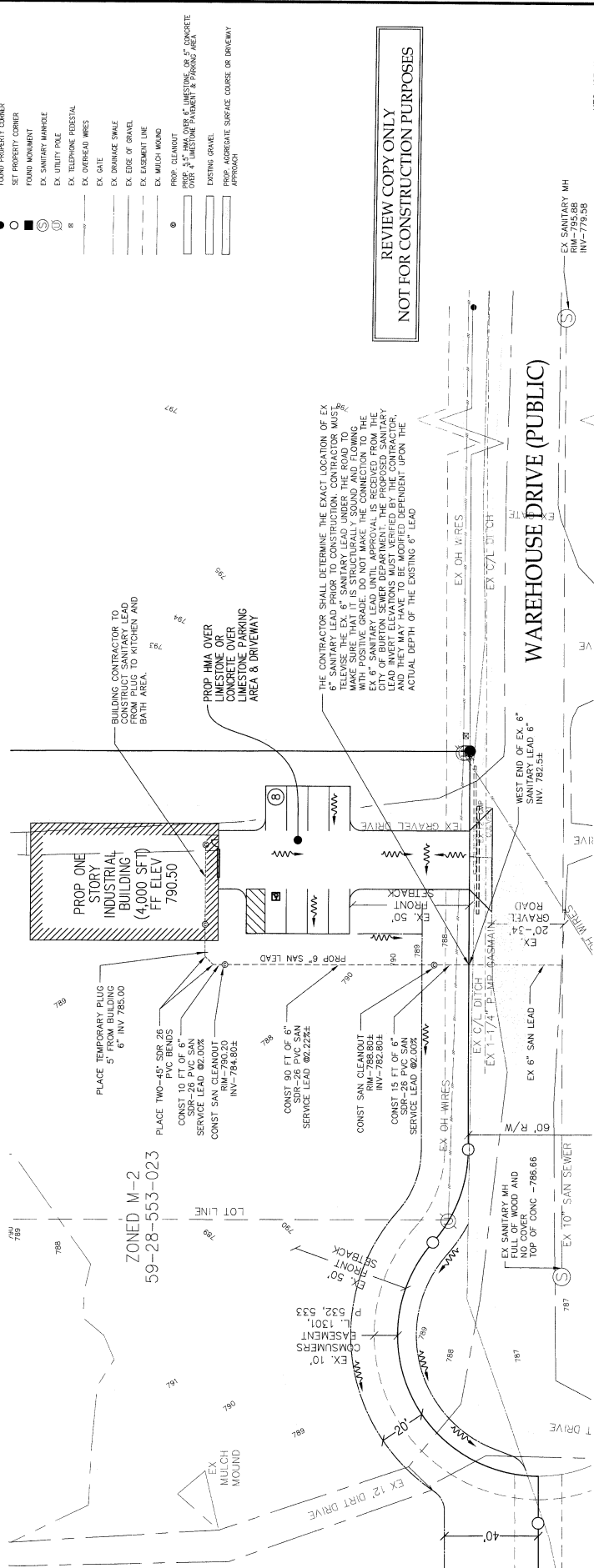
LOCATION MAP



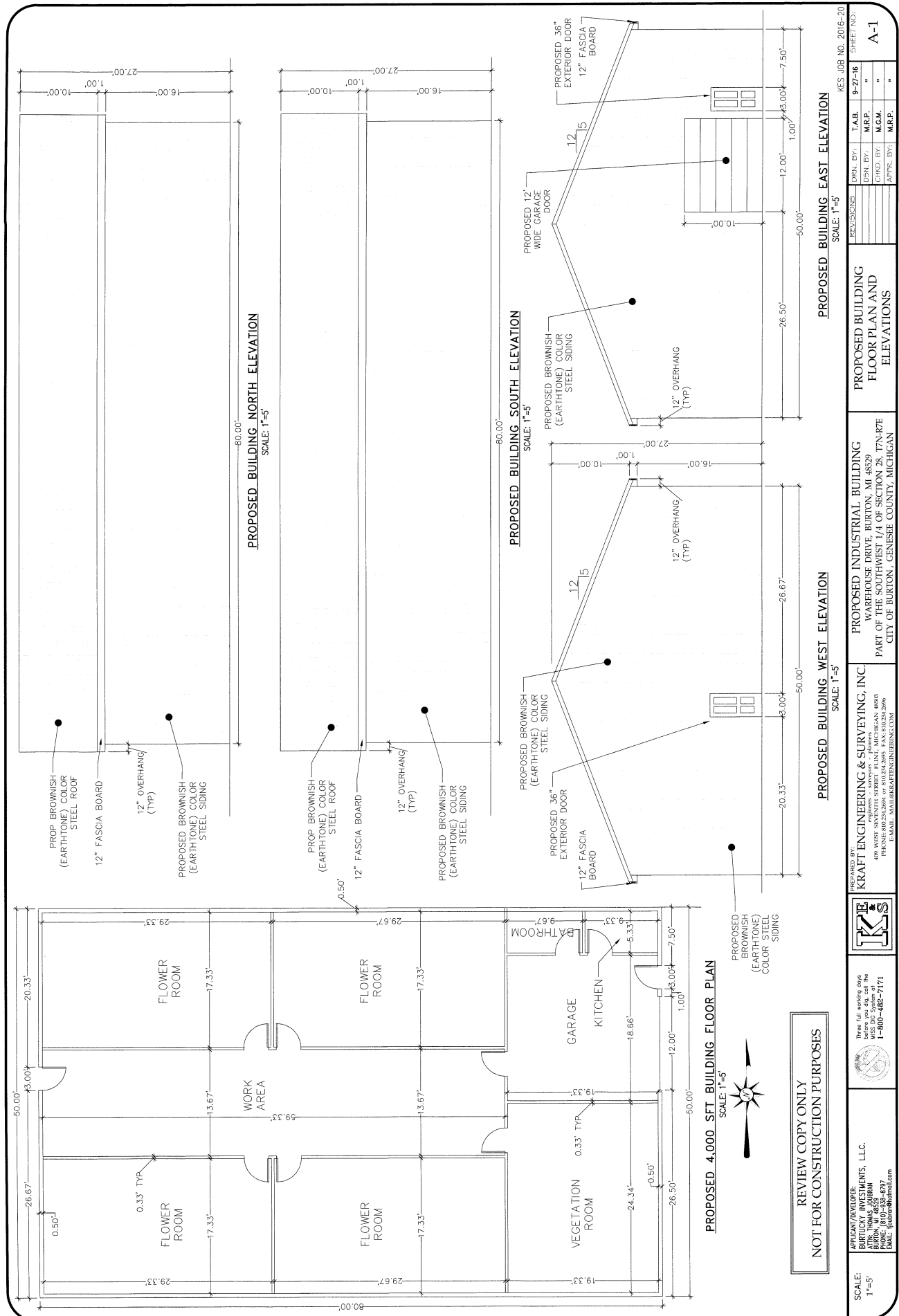
LEGEND

- | | |
|--------------------------|----------------------------|
| ☐ | FOUND PROPERTY CORNER |
| ☐ | SET PROPERTY CORNER |
| ☐ | FOUND MONUMENT |
| ☐ | EX. SANITARY MANHOLE |
| ☐ | EX. UTILITY POLE |
| ☐ | EX. TELEPHONE PEDIESTAL |
| ☐ | EX. OVERHEAD WIRES |
| ☐ | EX. GATE |
| ☐ | EX. DRAINAGE SWALE |
| ☐ | EX. EDGE OF GRAVEL |
| ☐ | EX. EASEMENT LINE |
| ☐ | EX. MUD-CRACK |
| ☐ | PROP. - CLEANTO |
| ☐ | PROP. 5.5" DIA. OVER 6" L |
| ☐ | OVER 4" LIMESTONE PAVEMENT |
| ☐ | EXISTING GRAVEL |
| ☐ | PROP. AGGREGATE SURFACE |
| ☐ | APPROXIMATE |

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SCALE: 1"=20' APPLICATION/PROPOSER: BUTTERICK INVESTMENTS, LLC. ATTN: THOMAS JOUBAN BOSTON, MA 02259 637 E-MAIL: tjouban@gmail.com	 Please fill working days before you dig, call the 1-800-482-7171		PREPARED BY: KRAFT ENGINEERING & SURVEYING, INC. ENGINEERS 409 WEST SEVENTH STREET FLEET, MICHIGAN 48503 PHONE 810.234.3064 / 810.234.2695 FAX 810.234.2696 E-MAIL: KRAFTENGINEERING@GMAIL.COM	PROPOSED INDUSTRIAL BUILDING WAREHOUSE DRIVE, BURTON, MI 48529 PART OF THE SOUTHWEST 1/4 OF SECTION 28, 17N-42E CITY OF BURTON, GENESSEE COUNTY, MICHIGAN	REVISIONS DSNL BY: T.A.B. 08.27.2016 DSNL BY: M.R.P. " " CKED BY: M.C.M. " " APPR. BY: M.R.P. " "	SHEET NO.: C-5 K&S JOB NO. 2016-20
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Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 2709)

Meeting: 10/11/16 05:00 PM
Department: Department of Public Works
Category: Site Plan Review
Prepared By: Amber Abbey
Department Head: Robert Slattery

F.2

DOC ID: 2709

SPR #16-52

By: Michigan Health Specialist
2298 S. Center Rd.
Burton, MI 48519

Re: 2298 S. Center Rd. Burton, MI 48519
59-21-529-046, RO Zoned

For: Addition to Building

ATTACHMENTS:

- 16-52 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR SITE PLAN REVIEW

DATE FILED: 10-6-16
 FEE: \$ 200
 RECEIPT NO: _____
 CHECK NO: 27872

SPR #: 16-52

PLEASE PRINT

DATE OF PLANNING COMMISSION MEETING: 10-11-16 TIME: 5:00pm

APPLICANTS NAME: MICHIGAN HEALTH SPECIALIST

APPLICANTS ADDRESS: 2298 S. CENTER ROAD

BURTON, MI 48519

APPLICANTS PHONE NO: 615-5910

PROPOSED NAME OF BUSINESS: SAME

SITE ADDRESS: SAME

SUBDIVISION & LOT # OR PARCEL NUMBER: #59-21-529-046

RE: Add-on

APPLICANT: IT IS TO YOUR ADVANTAGE TO ATTEND THE ABOVE SCHEDULED MEETING. THE PLANNING COMMISSION MAY HAVE QUESTIONS THAT DIRECTLY AFFECT APPROVAL, DENIAL, OR POSTPONING UNTIL THESE QUESTIONS CAN BE ANSWERED.

APPLICANTS SIGNATURE: K. E. Cook

KORAN COOK, AGENT
 CTRP, INC.

NOTE: All site plans must be filed at least two (2) weeks prior to the Planning Commission hearing and **MUST** comply with the procedures set forth in Section 157.092 of Codified Ordinance as attached. Must include **twelve (12) sets** of prints in order to process the application.

Attachment: 16-52 (2709 : SPR #16-52)

GENERAL NOTES

1. THREE (3) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL TELEPHONE MISS DIG (800-482-7171) FOR LOCATION OF UNDERGROUND GAS AND CABLE FACILITIES AND SHALL NOTIFY REPRESENTATIVES OF OTHER UTILITIES LOCATED IN THE VICINITY OF THE WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES THAT AFFECT THIS JOB.
2. CHMP, INC. SHALL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION, NOR THE SAFETY ON THE JOB SITE, NOR SHALL CHMP, INC. BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DOCUMENTS.
3. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, ENGINEER, CITY OF BURTON, GENESEE COUNTY, AND THE STATE OF MICHIGAN FROM ALL LIABILITIES FOR INJURY TO PERSONS, OR DAMAGE TO OR LOSS OF PROPERTY, OR ANY OTHER LOSS, COST OR EXPENSE, AS A RESULT OF THE ACTIONS OF THE CONTRACTOR, HIS EMPLOYEES, AGENTS, OR SUBCONTRACTORS.
4. THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. FURTHER, THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
5. THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE CITY OF BURTON FOR ALL WORK PERFORMED WITHIN THE PUBLIC ROAD RIGHT-OF-WAY, INCLUDING APPLICATION, FEES, BONDS, AND INSURANCE.
6. THE CONTRACTOR SHALL NOTIFY THE PERMIT ISSUING AGENCIES THREE (3) DAYS PRIOR TO CONSTRUCTION FOR REQUIRED INSPECTIONS. THE CONTRACTOR SHALL PAY FOR ALL NECESSARY PERMITS, BONDS, AND INSURANCE.
7. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE CITY OF BURTON, GENESEE COUNTY DRAIN COMMISSION, AND MICHIGAN DEPARTMENT OF TRANSPORTATION. WORKMANSHIP AND MATERIALS FOR ALL BITUMINOUS PAVING SHALL BE IN ACCORDANCE WITH MDOT STANDARD SPECIFICATIONS, 2012 EDITION.
8. CONTRACTOR SHALL KEEP ALL PHASES OF CONSTRUCTION CLEAN OF CONSTRUCTION MATERIALS, STOCKPILES, AND DEBRIS.
9. THE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF ACT 451 OF 1994 SOIL EROSION AND SEDIMENTATION, AND WILL BE RESPONSIBLE FOR ALL MAINTENANCE UNTIL THE FINAL ACCEPTANCE OF THE PROJECT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP THE PREMISES, AND UPON COMPLETION OF THE PROJECT, LEAVE THE SITE IN AN ACCEPTABLE CONDITION AS DETERMINED BY THE LOCAL MUNICIPALITY.

SOIL EROSION/SEDIMENT CONTROL NOTES

1. CONSTRUCTION OPERATION SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE SOIL EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION IN CRITICAL AREAS AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING OPERATIONS.
2. SPECIAL PRECAUTIONS SHALL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
3. CLEANUP SHALL BE DONE IN A MANNER TO ENSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
4. THE PROJECT SHALL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENT CONTROL COMPLIANCE. DEFICIENCIES SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS.
5. PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN 5 DAYS OF FINAL GRADE. IF PERMANENT STABILIZATION CANNOT BE COMPLETED WITHIN 5 DAYS, TEMPORARY SOIL EROSION CONTROL MEASURES MUST REMAIN IN PLACE AND BE MAINTAINED UNTIL PERMANENT STABILIZATION IS ACHIEVED.
6. THE CONTRACTOR SHALL CONFORM TO PART 91 OF ACT 451 OF THE PUBLIC ACTS OF 1994 OF THE MICHIGAN COMPILED LAWS ENTITLED "THE SOIL EROSION AND SEDIMENT CONTROL ACT" DURING CONSTRUCTION AND CURRENT LOCAL ORDINANCES FOR EROSION AND SEDIMENTATION CONTROL.
7. SILT FENCE LOCATION IS ALSO THE PHYSICAL LIMITS OF THE PROPOSED EARTH CHANGE.
8. BURLAP IS NOT ALLOWED AND STRAW BALES CAN ONLY BE USED TO BACKUP SILT FENCES.
9. THE GROSS AREA OF THE SITE IS 1.05 ACRES. THE DISTURBED AREA IS 0.10 ACRES.
10. THE CONTRACTOR SHALL PAY A FEE AND A BOND IS REQUIRED PRIOR TO ISSUANCE OF THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT.
11. THE BOND RELEASE CONDITIONS FOR VEGETATIVE STABILIZATION ARE 97% COVER AND ONE INCH IN GROWTH. THE BOND SHALL NOT BE RELEASED UNTIL THE SITE IS PERMANENTLY STABILIZED.
12. EXISTING CATCH BASINS SHALL BE PROTECTED.

SOIL EROSION CONTROL SEQUENCE

1. INSTALL ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES.
2. EXCAVATE SITE TO REMOVE ORGANIC MATERIALS.
3. MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES, AS REQUIRED.
3. BACKFILL SITE WITH ENGINEERED FILL.
4. FINISH GRADE, DISTRIBUTE TOP SOIL, SEED AND MULCH ALL DISTURBED AREAS (PERMANENT STABILIZATION) WITHIN 5 DAYS OF FINAL GRADE.
5. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.

SOIL EROSION/SEDIMENT CONTROL MAINTENANCE

1. CONTRACTOR SHALL INSPECT THE SOIL EROSION/SEDIMENT CONTROL DEVICES ONCE EACH WEEK AND/OR WITHIN 24 HOURS OF A PRECIPITATION EVENT WHICH RESULTS IN A STORM DISCHARGE FROM THE SITE. THE FOLLOWING STEPS SHALL BE IMPLEMENTED IF ANY DAMAGE HAS RESULTED FROM CONSTRUCTION OR WEAR.
2. SEEDING SHALL BE PREPARED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR/INSPECTOR SHALL INSPECT THE AREA AFTER SEEDING IS COMPLETED. AREAS THAT ARE BARE OR NOT MULCHED PROPERLY SHALL BE SPOT SEEDDED AND/OR RE-MULCHED.
3. SILT FENCE SHALL BE TRENCHED IN, BACK-FILLED, AND STAPLED OR STAKED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. MAINTENANCE INCLUDES THE REMOVING OF BUILT-UP SEDIMENT WHEN THE SEDIMENT ACCUMULATES TO 1/3 THE HEIGHT OF THE FENCE. CONTRACTOR SHALL REMOVE, REPLACE, RETRENCH, OR RE-BACKFILL THE FENCE IF IT FAILS. CONTRACTOR SHALL RE-INSTALL IF ANY PORTION OF THE FENCING WAS DAMAGED BY CONSTRUCTION MACHINERY.
4. STOCK PILES SHALL BE SEEDDED AND MULCHED AND RESEEDDED IF SEEDING DOES NOT TAKE.
5. ACCESS ROADS SHALL BE MAINTAINED AS NECESSARY. TO KEEP THEM EFFECTIVE, NEW LAYERS OF STONE SHALL BE ADDED AS OLD LAYERS BECOME COMPACTED. STEPS SHALL BE TAKEN TO REPAIR IF RUTS OR POOLING WATER APPEAR.
6. INLET FILTERS SHALL BE INSPECTED FOR BUILD-UP OF SILT AND OTHER DEBRIS. THIS IS EVIDENT IF GEOTEXTILE/STONE STRUCTURE IS CAUSING FLOODING. MAINTENANCE SHALL CONSIST OF REMOVING OF SEDIMENTS WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. IF INLET FILTER IS BEYOND THIS LEVEL OF REPAIR, CONTRACTOR SHALL REPLACE BOTH THE STONE AND GEOTEXTILE FILTER.
7. ANY TRACKING OF MUD OR DIRT ONTO PUBLIC OR PRIVATE ROADS SHALL BE REMOVED PROMPTLY.
8. IF DUST BECOMES A PROBLEM, SPECIAL WATERING TECHNIQUES SHALL BE USED TO CONTROL DUST.

SITE NOTES

1. NO WATER OR SANITARY SEWER EXTENSIONS ARE PROPOSED. EXISTING SERVICES SHALL BE EXTENDED WITHIN EXISTING BUILDING TO PROPOSED ADDITION.
2. EXISTING HARD SURFACE AREA = 14,800 SF (12,400 PAVED PARKING AND 2,400 EXISTING BUILDING). PROPOSED BUILDING EXPANSION = 1,387'. TOTAL HARD SURFACE INCREASE = 9.4% SINCE THE TOTAL HARD SURFACE AREA INCREASE IS LESS THAN 10%, NO STORMWATER DETENTION IS REQUIRED.
3. NO ADDITIONAL SITE LIGHTING IS PROPOSED.
4. EXTEND CONCRETE SIDEWALK PER DETAIL.
5. REMOVE AND REPLACE EXISTING LANDSCAPE MATERIALS TO MATCH AS DIRECTED BY OWNER.
6. MATCH EXISTING FINISH FLOOR ELEVATION AND REGRADE FINISH GROUND SURFACE AWAY FROM TO PROVIDE POSITIVE SURFACE DRAINAGE IN ALL DIRECTIONS.

SOIL EROSION AND SEDIMENTATION CONTROL

MICHIGAN UNIFIED KEYING SYSTEM

KEY	DETAIL	CHARACTERISTICS
2		WATER CAN BE DIVERTED TO MINIMIZE EROSION FLATTER SLOPED EASE EROSION PROBLEMS
7		EFFECTIVE ON LARGE AREAS MATCH FORMING AGENT USED TO PROVIDE IMMEDIATE PROTECTION UNTIL GRASS IS ROOTED. SHOULD INCLUDE PREPARED TOPSOIL BED
36		COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF MAY USE FILTER, CURB OVER INLET
54		USES GEOTEXTILE FABRIC AND POSTS OR POLES FAST TO CONSTRUCT AND LOCATE AS NECESSARY

NONSLIP BROOM FINISH, TYPICAL ON ALL PEDESTRIAN PAVEMENTS

ALL EXTERIOR CONCRETE WALKS SHALL BE AIR ENTRAINED.

TOOLED CONTROL JOINT, 1/4" OF SLAB THICKNESS. SEE PLAN FOR LOCATIONS

4" CONCRETE PAVING REINFORCED WITH 6x6 W 1.4 x W 1.4 W.W.F.

1/2" EXPANSION JOINT, RECESSED 1/4" W/ 1/4" RADIUS ON CONCRETE - 20" O.C. MAX.

M.D.O.T. CLASS II GRANULAR MATERIAL

COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR

EXISTING SUBGRADE COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR

4" CONCRETE PAVING

NOT TO SCALE

LEGEND

- STORM SEWER & MANHOLE
- SANITARY SEWER & MANHOLE
- WATERMAIN, HYDRANT, & VALVE
- GAS MAIN & VALVE
- BURIED TELEPHONE & MANHOLE
- UNDER GROUND ELECTRIC & MANHOLE
- OVERHEAD ELECTRIC, POLE, & GUY WIRE
- CATCH BASIN (CURB & ROUND)
- WATER MANHOLE
- CONTOUR LINE
- FENCE
- GUARD RAIL
- LIGHT POLE
- SON
- STREET SIGN
- MAILBOX
- MONITOR WELL

GRAPHIC SCALE

(IN FEET)

1" = 20' HORIZONTAL



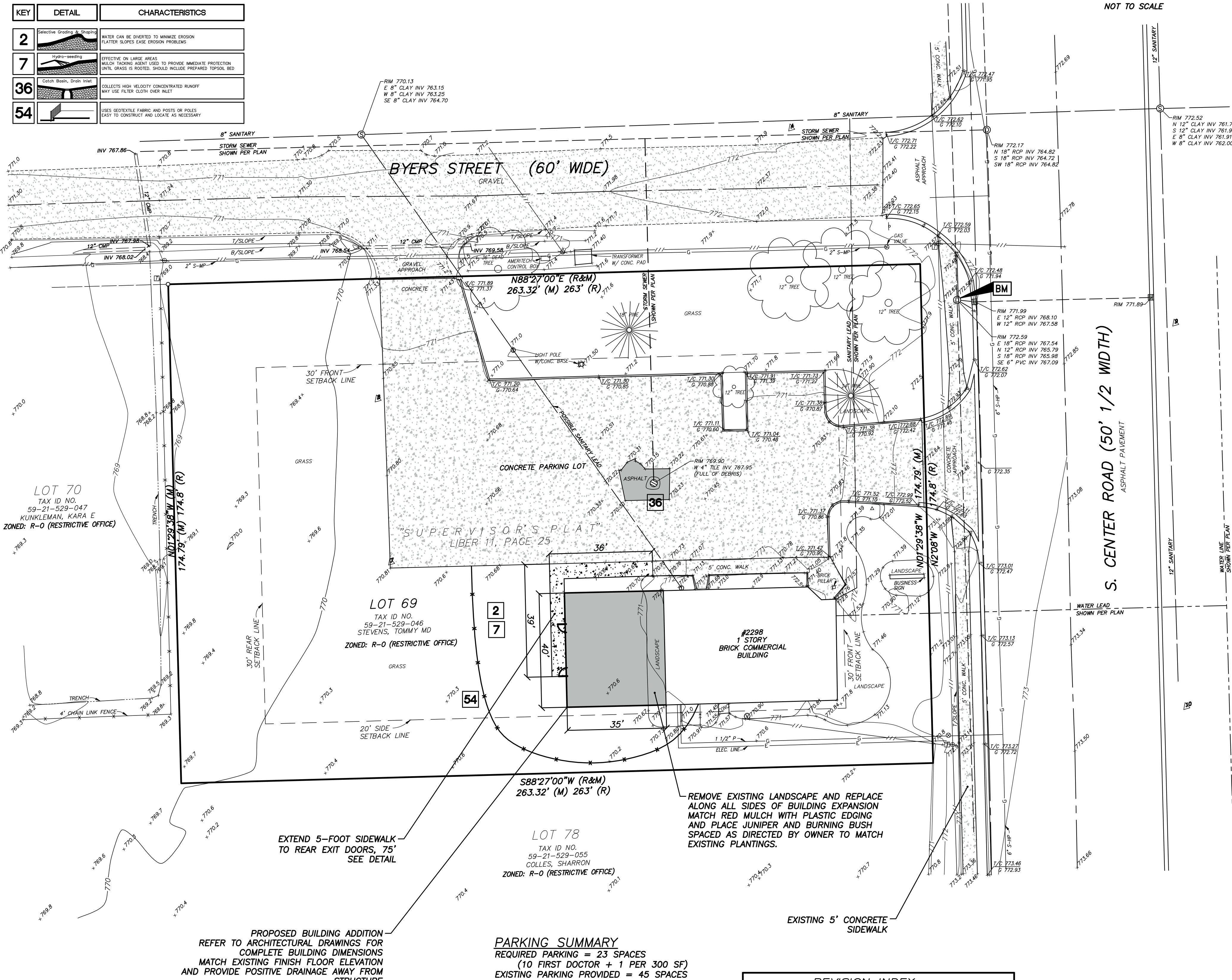
Know what's below.
Call before you dig.

BENCHMARK

RIM OF STORM MANHOLE IN SIDEWALK
AT NORTHEAST CORNER OF SITE
ELEVATION = 772.59 (NAVD88)

SITE LOCATION MAP

NOT TO SCALE



PARKING SUMMARY

REQUIRED PARKING = 23 SPACES
(10 FIRST DOCTOR + 1 PER 300 SF)
EXISTING PARKING PROVIDED = 45 SPACES

REVISION INDEX

SITE PLAN

CHMP INC.
6198 TERRITORIAL ROAD
GRAND BLANC, MI 48439
TELEPHONE 810/696-6910



ARCHITECTURE
ENGINEERING
LANDSCAPE ARCHITECTURE
SURVEYING

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PROPOSED EXPANSION: MICHIGAN HEALTH SPECIALISTS

2298 S. CENTER ROAD

BURTON, MICHIGAN 48519

SECTION 21, T7N, R7E, CITY OF BURTON, GENESEE COUNTY

PREPARED FOR

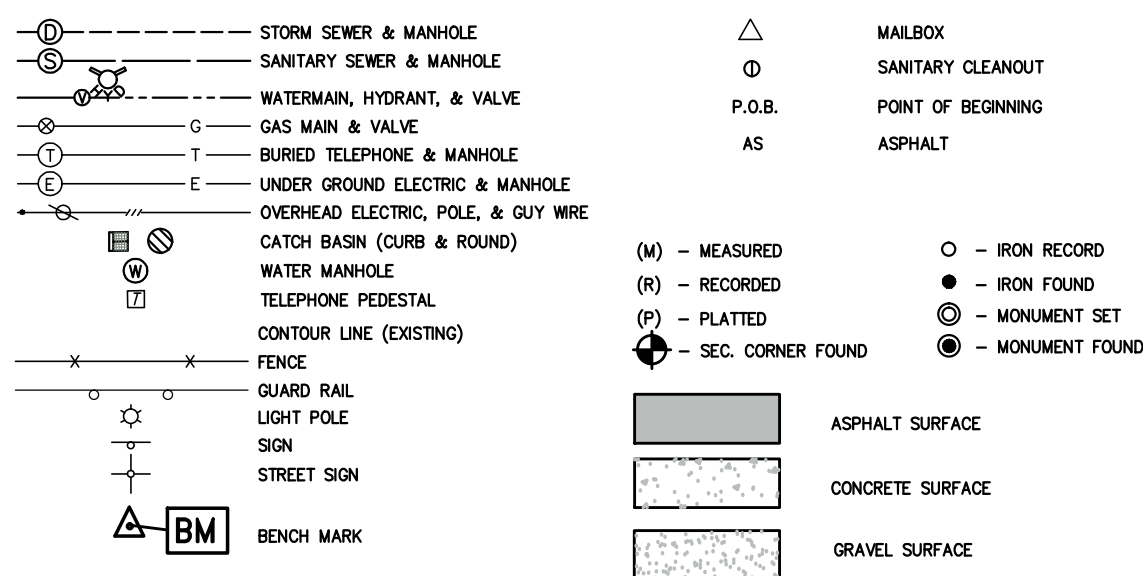
MERIDIAN LAND SURVEYING
300 E FIRST STREET, SUITE 200
FLINT, MICHIGAN 48502
(810) 339-6605

PROJECT NO. 16002200
DATE DRAWN: 9-22-16
DATE REVISED:

SHEET NUMBER

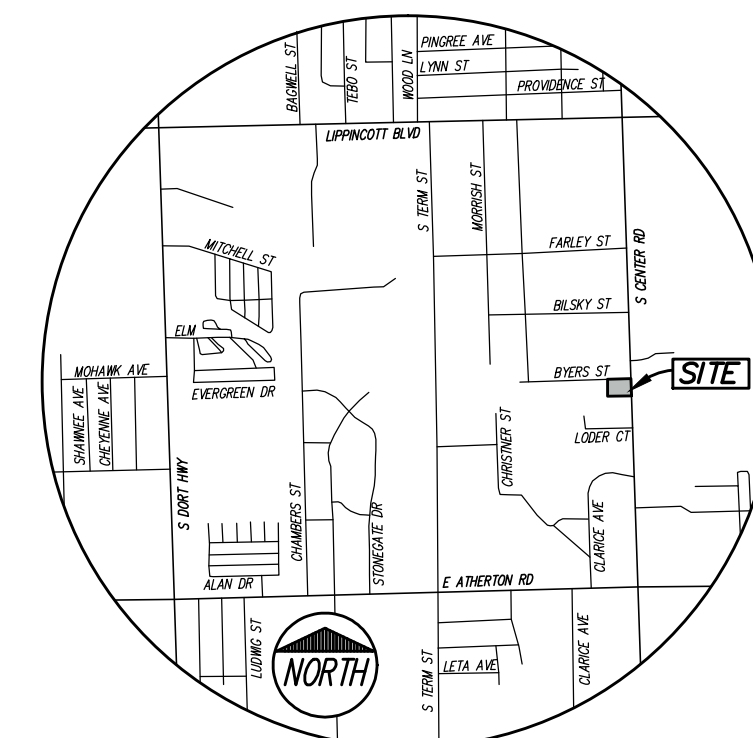
C1

LEGEND



ARCHITECTURAL SURVEY FOR:

LOT 69 OF "SUPERVISOR'S PLAT" OF THE TOWNSHIP OF BURTON,
NOW THE CITY OF BURTON, GENESEE COUNTY, MICHIGAN



LEGAL DESCRIPTION:

Lot 69 of "SUPERVISOR'S PLAT" of the Township of Burton, now city of Burton, according to the plat thereof as recorded in Liber 11, Page 23, Genesee County Records.

FLOOD NOTE:

The subject property lies within flood zone "X" as plotted on the Flood Insurance Rate Map, Community Panel No. 26049C 0307D, which bears an effective date of September 25, 2009 and, based thereon, except as specifically noted on the survey, no part of the subject property lies within any area designated as "flood prone area," "special flood hazard area" or 100-year flood plain by the Federal Emergency Management Agency.

Zone X - Areas determined to be outside of the 0.2% annual chance floodplain.

BENCHMARK:

Rim of Storm Manhole in sidewalk at Northeast corner of site.
ELEVATION = 772.59 (NAVD88)

ZONING:

PARCEL IS ZONED "R-O" (RESTRICTED OFFICE)

"R-O" (RESTRICTED OFFICE)

FRONT SETBACK - 30 FEET

b) The required setback shall not be used for off-street parking, loading, or unloading, and shall remain as open space unoccupied and unobstructed from the ground upward except for landscaping, plant materials, or vehicle access drives, as directed by the Planning Commission.

SIDE SETBACK

1 SIDE - 20 FEET

2 SIDES - 40 FEET

REAR SETBACK - 30'

MINIMUM LOT AREA -

k) Every lot in R-O district, used as a business, shall have an area sufficient in size to comply with the requirements pertaining to the particular use with an adequate and safe water supply and a safe and adequate sewage disposal system established by standards required by the state or County Health Department rules and regulations. In no case shall a business lot be less than 4,000 square feet in area.

MAXIMUM LOT COVERAGE - 40%

MAXIMUM BUILDING HEIGHT - 2 STORIES (30 FEET)

p) The City Council may approve waivers in the regulations for the R-O district in regard to area, height and placement requirements after a written advisory recommendation has been received from the Planning Commission, provided the following conditions are met:

- (1) No structure shall exceed 10 stories or 100 feet in height;
- (2) The location of the proposed site shall reflect the intent and purpose of the land use plan;
- (3) The proposed site plan shall have at least 1 property line abutting a major thoroughfare.
- (4) The minimum yard width between buildings and adjoining lot lines and between unconnected buildings on the same lot shall be at least 40 feet plus 5 feet for each story in the building and;
- (5) Off-street parking shall be provided in accordance with the requirements of 157.110 of this code.

MINIMUM FLOOR AREA PER DWELLING - N/A

ARCHITECTURAL SURVEY FOR:

LOT 69 OF THE "SUPERVISOR'S PLAT"
OF THE TOWNSHIP OF BURTON,
NOW THE CITY OF BURTON, GENESEE COUNTY, MICHIGAN

MERIDIAN
LAND SURVEYING
www.meridianls.com
(610) 339-6605
300 E FIRST STREET • SUITE 200
CITY OF FLINT • MICHIGAN • 48502



0 10 20
SCALE: 1" = 20'

Surveyor does not guarantee that all utilities are shown or their locations. It is the responsibility of the contractor and developer to contact Miss Dig and any other involved agencies to locate all utilities prior to construction. Removal, relocation and/or replacement is the responsibility of the contractor.



3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7771
(TOLL FREE)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 2693)

Meeting: 10/11/16 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Amber Abbey

Department Head: Robert Slattery

G.1

DOC ID: 2693

SPR #16-46

By: Bethel Assembly of God – Pastor John Backes
6029 Lapeer Rd.
Burton, MI 48509

Re: 6029 Lapeer Rd. Burton, MI 48509

For: Expansion of parking for overflow

ATTACHMENTS:

- 16-46 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 8-31-16

FEE: \$75.00

RECEIPT NO: _____

CHECK NO: 22367

SPR #: 16-46

PLEASE PRINT

DATE: _____

APPLICANTS NAME: BETHEL ASSEMBLY OF GOD - PASTOR JOHN M. BACKES

APPLICANTS ADDRESS: 6029 LAPEER ROAD

APPLICANTS PHONE NO: 810-742-5274

PROPOSED NAME OF BUSINESS: BETHEL ASSEMBLY OF GOD

SITE ADDRESS: 6029 LAPEER ROAD

SUBDIVISION & LOT # OR PARCEL NUMBER: _____

TYPE: ☐ CHANGE OF OWNERSHIP/USE ☒ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: PARKING LOT (overflow parking)

SQ FOOTAGE OF PROPERTY: _____

SQ FOOTAGE OF STRUCTURE: _____

NUMBER OF EMPLOYEES/SEATS: _____

APPLICANTS SIGNATURE: John M. Backes

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: 16-46 (2693 : SPR #16-46)



Burton Planning Commission

4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 2696)

Meeting: 10/11/16 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Amber Abbey

Department Head: Robert Slattery

G.2

DOC ID: 2696

SPR #16-48

By: George Franczyk
770 Wagner Dr.
Rochester Hills, MI 48307

Re: 3390 Warehouse Dr. Burton, MI 48529

For: Construction of an overflow parking lot

ATTACHMENTS:

- 16-48 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 9-13-16

FEE: \$75.00

RECEIPT NO: _____

CHECK NO: 0107

SPR #: 16-48

PLEASE PRINT

DATE: 9/13/16

APPLICANTS NAME: GEORGE FRANCZYK

APPLICANTS ADDRESS: 770 WAGNER DR

APPLICANTS PHONE NO: 248-701-0171

PROPOSED NAME OF BUSINESS: R&R FREIGHT LINES

SITE ADDRESS: 3390 WAREHOUSE DR

SUBDIVISION & LOT # OR PARCEL NUMBER: 59-28-553-014

59-28-553-019 (Also known as 3054 Joyce)

TYPE: ☐ CHANGE OF OWNERSHIP/USE ☒ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: TRUCKING TERMINAL (Parking Lot)

SQ FOOTAGE OF PROPERTY: ~~12,000~~

SQ FOOTAGE OF STRUCTURE: 17,000

NUMBER OF EMPLOYEES/SEATS: 3

APPLICANTS SIGNATURE: [Signature]

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

Attachment: 16-48 (2696 : SPR #16-48)



Burton Planning Commission
4303 S. Center Road
Burton, MI 48519

SCHEDULED

AGENDA ITEM (ID # 2697)

Meeting: 10/11/16 05:00 PM
Department: Department of Public Works
Category: Administrative Site Plan Review
Prepared By: Amber Abbey
Department Head: Robert Slattery

G.3

DOC ID: 2697

SPR #16-49

By: Michael George
7003 Clintonville Rd.
Clarkston, MI 48348

Re: 3323 Associates Dr. Burton, MI 48529

For: Medical Marijuana Grow Facility

ATTACHMENTS:

- 16-49 (PDF)



City of Burton
 Department of Public Works
 4093 Manor Drive
 Genesee County, Burton, Michigan 48519
 (810) 742-9230



APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW

DATE FILED: 9-19-16

FEE: \$75.00

RECEIPT NO: Cash

CHECK NO:

SPR #: 16-49

PLEASE PRINT

DATE: 9-19-16

APPLICANTS NAME: MICHAEL GEORGE

APPLICANTS ADDRESS: 7003 CLINTONVILLE RD Clarkston, 48301

APPLICANTS PHONE NO: 248-505-2480

PROPOSED NAME OF BUSINESS:

SITE ADDRESS: 3323 Associates DR.

SUBDIVISION & LOT # OR PARCEL NUMBER:

59-29-551-003

TYPE: ☒ CHANGE OF OWNERSHIP/USE ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: MEDICAL MARIJUANA GROW FACILITY

SQ FOOTAGE OF PROPERTY: UNKNOWN

SQ FOOTAGE OF STRUCTURE: 6,120

NUMBER OF EMPLOYEES/SEATS: 1

APPLICANTS SIGNATURE: Michael George

*** ALSO ATTACH A FLOOR PLAN OF THE PROPOSED BUSINESS.

emailed Amanda 9-21-16 2:27pm