



**CITY OF BURTON**  
**BURTON PLANNING COMMISSION MEETING**  
**OCTOBER 13, 2015**  
**MINUTES**

**Council Chambers**

**Regular Meeting**

**5:00 PM**

**4303 S. CENTER ROAD**  
**BURTON, MI 48519**

**This meeting was opened by Chairman Robert Walls at 5:00 PM.**

**A. PLEDGE OF ALLEGIANCE**

**B. ROLL CALL**

| <b>Attendee Name</b> | <b>Title</b>           | <b>Status</b> | <b>Arrived</b> |
|----------------------|------------------------|---------------|----------------|
| Greg Kray            | Alternate Commissioner | Excused       |                |
| Ellen Ellenburg      | Councilwoman           | Present       |                |
| Robert Walls         | Chairman               | Present       |                |
| Kevin Burge          | Commissioner           | Excused       |                |
| Robert Centilli      | Commissioner           | Present       |                |
| Mary Ann White       | Commissioner           | Present       |                |
| Robert Johnson       | Commissioner           | Present       |                |
| Tom Gorang           | Commissioner           | Present       |                |
| Deb Walton           | Commissioner           | Present       |                |

**C. STAFF PRESENT**

Amber Abbey, Planning/Zoning  
Robert Slattery, DPW Director  
Rik Hayman, Chief of Staff  
Teresa Karsney, Clerk  
Racheal Boggs, Clerk's office

**D. APPROVAL OF MINUTES**

1. Planning Commission - Regular Meeting - Sep 8, 2015 5:00 PM

|                  |                                                            |
|------------------|------------------------------------------------------------|
| <b>RESULT:</b>   | <b>ACCEPTED [UNANIMOUS]</b>                                |
| <b>MOVER:</b>    | Tom Gorang, Commissioner                                   |
| <b>SECONDER:</b> | Robert Johnson, Commissioner                               |
| <b>AYES:</b>     | Ellenburg, Walls, Centilli, White, Johnson, Gorang, Walton |
| <b>EXCUSED:</b>  | Kray, Burge                                                |

**E. SPECIAL USE**

1. SPR #15-39

By: JJRX Enterprises, LLC.  
26041 Blumfield Street

Roseville, MI 48066

Re: 4184 Davison Rd. Burton, MI 48509,  
59-10-501-002, C-2 General Business

For: Special use for a medical marijuana dispensary

Attorney Bernard Jocuns of Lapeer is representing JJRX Enterprises. He stated they have already submitted a business plan and it was approved by City Attorney Amanda Doyle. There is a letter of intent as required we just need approval from the commission in regards to the same. We will comply with the requirements of the City ordinance.

Holly Dubois of Best Car Company stated she has a business across the street from the property. They import cars from Canada. They work with DOT, U.S. Customs as well as other State and Federal agencies. She is against this dispensary opening. There are rental homes nearby where children live. There is a bus stop in the area. She has thousands of cars on her lot and is worried about the customer demographic this business will bring. She is concerned with vandalism and trespassing. Her company is responsible for her customer's vehicles and she doesn't want to be held responsible for something happening to them. Other people in the area are opposed to this business opening as well.

Mr. Walls read a letter of objection into the record from Brady Lane, President of People's Furniture.

Mrs. Abbey read zoning ordinance 157.177 subsection F. It states that no special approval shall be granted by the Planning Commission unless the special use fits seven standards. The first of these standards says the special use will reasonably promote the use of land in a socially and economically desirable manner for those persons who will use the proposed land use or activities, to the land owners who are adjacent, and to the City as a whole. Tonight we have received two objections from two different adjacent businesses and land owners. One of them has been in business for more than 20 years. We don't want to lose our existing businesses. She recommends denial.

Mr. Centilli asked how many dispensaries we have in Burton now?

Mrs. Abbey stated we have a total of five. Two are open and three are under construction.

Mrs. Walton asked why they chose Burton for this business?

Attorney Jocuns said within the last 10 years, Genesee County has had some distraught economic circumstances. Since the Marijuana Act of 2008, it has been opened up to the community. It is his opinion that they can do something positive for the community by turning a rundown building into a business. This is a market that's not flooded here. The owners want to provide a service to their existing patients as well as build new clientele. They have the utmost sincerity for the community and their business. This is not an organized crime element. Burton seems to be an inviting place.

Mr. Gorang stated for the size of our town, 5 dispensaries is a sufficient number. He is opposed to approval.

Mrs. Ellenburg asked if we have set a maximum number of these businesses that we will allow within our City.

Mrs. Abbey said we set distance requirements. We have not set a number of how many can be in our City. We haven't found it to be necessary now.

Mrs. Ellenburg said she hates to discourage new business coming into the City but you have to listen to the people who already have businesses here. She appreciates everyone coming in to state their opinion. That's what these open forums are for. We want to make sure we are getting good businesses in but at the same time keeping the existing ones here. She is not supporting this because of the concerns from the adjacent businesses.

Mr. Walls said we have voted no on these before. We try to respect the businesses that are established in our community.

Mr. Johnson thanked everyone for coming. He stated maybe some of the customers that may visit this business are law abiding, gainfully employed citizens and may be looking for new furniture. He doesn't see how this business will affect the adjacent business owners. He understands the concerns of the furniture store owner.

2. Motion to approve SPR # 15-39 the special use for medical marijuana dispensary at 4184 Davison Road in Burton, MI 48509.

|                  |                                                   |
|------------------|---------------------------------------------------|
| <b>RESULT:</b>   | <b>FAILED [1 TO 6]</b>                            |
| <b>MOVER:</b>    | Robert Johnson, Commissioner                      |
| <b>SECONDER:</b> | Ellen Ellenburg, Councilwoman                     |
| <b>AYES:</b>     | Johnson                                           |
| <b>NAYS:</b>     | Ellenburg, Walls, Centilli, White, Gorang, Walton |
| <b>EXCUSED:</b>  | Kray, Burge                                       |

3. SPR #15-43

By: Parmeet Singh  
6140 Emerald Dr.  
Grand Blanc, MI 48439

Re: 3328 Kleinpell St. Burton, MI 48529,  
59-28-555-006, M-2 General Industrial

For: Special use for outside storage of semi-trucks for a trucking company.

Rick Singh of Grand Blanc stated he has a trucking company. He needs more room. This is as a convenience for the drivers to park trucks on the weekends from Friday until Monday morning.

Bonnie Cheney of Burton lives directly across from the business. She has no problem with the trucks. She asks that they keep water or oil down to control the dust.

Mrs. Abbey said that is an industrial business area. It is an all season road so it's built to satisfy semi-trucks driving down it. If there is a dust issue, please call our office so we can take care of it. The administration recommends approval.

Mrs. Ellenburg asked if the City is responsible for the dust.

Mr. Abbey stated the property owners are responsible. It is treated like a code enforcement violation.

Mrs. Ellenburg asked if the applicant was aware that this could be a problem.

Mr. Singh said he will make sure everything is in working condition. He will be reasonable with the neighbors and do what is convenient for everyone.

Mrs. Ellenburg said that the City's main concern is to make sure it is pleasant for the neighborhood. It is better to fix a problem before the City contacts you saying you have to fix it.

Mr. Singh said the parking area and grass need to be worked on and he intends to complete all of these things before he moves in.

4. Motion to Approve SPR #15-43 Special Use for Outside Storage of Semi-trucks for a Trucking Company.

|                  |                                                            |
|------------------|------------------------------------------------------------|
| <b>RESULT:</b>   | <b>CARRIED [UNANIMOUS]</b>                                 |
| <b>MOVER:</b>    | Tom Gorang, Commissioner                                   |
| <b>SECONDER:</b> | Robert Johnson, Commissioner                               |
| <b>AYES:</b>     | Ellenburg, Walls, Centilli, White, Johnson, Gorang, Walton |
| <b>EXCUSED:</b>  | Kray, Burge                                                |

## F. SITE PLAN REVIEW

1. SPR #15-40

By: JJRX Enterprises, LLC.  
26041 Blumfield St.  
Roseville, MI 48066

Re: 4184 Davison Rd. Burton, MI 48509,  
59-10-501-002, C-2 General Business

For: Medical Marijuana Dispensary

Richard Doyle of Saint Clair Shores stated he has been in the automobile industry in Detroit for 38 years. His partners are here. They have been growing medical

marijuana for about seven years ago. They came to Burton to buy the property on Davison Road. If it helps, he is prepared to buy the Doghouse lounge located next door as well with the understanding that if we could open, we would turn that building into a very nice piece of property. Currently, that building is a disgrace. If my business in Clinton Township looked that way, the City would close me down. We are serious about coming to Burton.

Mrs. Abbey said we denied the special use so there is no need for an administration recommendation.

Mr. Walls said there are other options. He suggested to speak with Mrs. Abbey or to contact the neighbors to change their mind.

Mrs. Ellenburg asked if there is a time limit for them to reapply considering the changes from the State.

Mrs. Abbey said they can appeal it to the Zoning Board of Appeals. They can't just reapply. She does not have the exact time frame tonight but will provide it to the applicant if they contact her tomorrow.

Mrs. Ellenburg recommended that the applicant consider an appeal.

2. Motion to approve SPR #15-40 Medical Marijuana Dispensary.

|                  |                                                   |
|------------------|---------------------------------------------------|
| <b>RESULT:</b>   | <b>FAILED [1 TO 6]</b>                            |
| <b>MOVER:</b>    | Robert Johnson, Commissioner                      |
| <b>SECONDER:</b> | Ellen Ellenburg, Councilwoman                     |
| <b>AYES:</b>     | Johnson                                           |
| <b>NAYS:</b>     | Ellenburg, Walls, Centilli, White, Gorang, Walton |
| <b>EXCUSED:</b>  | Kray, Burge                                       |

3. SPR #15-42

By: New Testament Church // Laverne Morse  
3484 S. Belsay Rd.  
Burton, MI 48519

Re: 3484 S. Belsay Rd. Burton, MI 48519  
59-26-400-018, SE Zoned

For: Parking Lot Addition

Laverne Morse of Clio stated he has been in contact with the watershed department at the County. The engineers are redrawing the print with a retention pond to the North side of the new parking lot. We need additional parking. The church is growing, we have been averaging a 15% increase over the past seven years. We have three services a week and it is becoming a traffic issue.

Mrs. Abbey said it's always nice to see a business have a parking lot issue. She thinks it's great if they need to expand because they are bringing people into the City of Burton. The administration recommends approval. Mrs. Abbey stated the applicant is seeking a variance from the Zoning Board of Appeals to not have to put the sidewalk in. They will put the sidewalk in if they are denied. It is on their site plan.

4. Motion to approve SPR # 15-42 for Parking Lot addition at New Testament Community Church.

|                  |                                                            |
|------------------|------------------------------------------------------------|
| <b>RESULT:</b>   | <b>CARRIED [UNANIMOUS]</b>                                 |
| <b>MOVER:</b>    | Ellen Ellenburg, Councilwoman                              |
| <b>SECONDER:</b> | Tom Gorang, Commissioner                                   |
| <b>AYES:</b>     | Ellenburg, Walls, Centilli, White, Johnson, Gorang, Walton |
| <b>EXCUSED:</b>  | Kray, Burge                                                |

5. SPR #15-44

By: Parmeet Singh  
6140 Emerald Dr.  
Grand Blanc, MI 48439

Re: 3328 Kleinpell St. Burton, MI 48529,  
59-28-555-006, M-2 General Industrial

For: Trucking Company

Mrs. Abbey stated the all season roads are Kleinpell Street to Hemphill Road to Dort Highway. Trucks cannot use North of Hemphill off of Kleinpell to Atherton Road. These are not all season roads. There is no additional construction to the property at this time so the administration recommends approval.

Mr. Gorang commended everyone on how helpful they have been during the discussion in terms of meeting the community and City needs.

Mrs. Ellenburg mentioned a truck facility on Judd Road that receives complaints because they are still driving their trucks down Judd Road despite the fact that they are directed to use another route. She asked how we are going to enforce this with this company.

Mrs. Abbey stated the Police Department enforces this. They would have to catch them doing it. Also, there are signs with weight limits stated on them.

Mrs. Ellenburg stated this is a concern for the City.

Mr. Walls expressed concern for the residents. He asked if there will be trucks sitting in the parking lot running at night.

Mr. Singh said these are new trucks. They have plug in heaters so they don't have to

idle them at night. They will only be running 15-20 minutes at a time.

Mr. Walls asked if this is approved, is there anything we can do to stop them from running the trucks at night.

Mrs. Abbey stated this would fall under the noise ordinance as we do not have an ordinance that pertains specifically to running trucks.

Mr. Walls asked if we should add this as a requirement in the motion.

Mrs. Abbey stated that would have needed to be done during the special use. She suggested asking the applicant to state it on the record.

Mr. Singh stated the trucks have heaters and will not be running throughout the night.

6. Motion to approve SPR # 15-44 for Trucking Company

|                  |                                                            |
|------------------|------------------------------------------------------------|
| <b>RESULT:</b>   | <b>CARRIED [UNANIMOUS]</b>                                 |
| <b>MOVER:</b>    | Robert Johnson, Commissioner                               |
| <b>SECONDER:</b> | Ellen Ellenburg, Councilwoman                              |
| <b>AYES:</b>     | Ellenburg, Walls, Centilli, White, Johnson, Gorang, Walton |
| <b>EXCUSED:</b>  | Kray, Burge                                                |

7. SPR #15-50

By: Ace-Saginaw Paving Company  
115 S. Averill Ave.  
Flint, MI 48506

Re: 4190 Jimbo Dr.  
Burton, MI 48529  
59-33-501-029

For: Asphalt Plant Equipment Replacement

Richard Zinotti representing General Manager of Ace-Saginaw Paving Company in Flint stated they own approximately 12 acres on Jimbo Road. The plant that is currently at this location had been operating since the late 1980's. It will be removed and replaced with a brand new plant with all new equipment. This will be a capital improvement of about \$6 million. Modifications will also be done for drainage.

Mrs. Abbey stated this is a huge company. We think it's great that they chose to stay in Burton and expand their business. We recommend approval.

Mr. Gorang asked what the timeline is for completion if approved.

David Vaughn of Chesaning stated they would begin in early November and it is scheduled to be finished in May, weather permitting.

Mrs. Ellenburg asked if the new equipment will help with the smell of the asphalt.

Mr. Zinotti said they have what is called a gray smoke recirculation system. It is different than what we have now. It will be a great improvement.

Mrs. Ellenburg said this will be a blessing. You are on top of the problem and this will be great for our City.

8. Motion to approve SPR #15-50 for Asphalt Plant Equipment Replacment.

|                  |                                                            |
|------------------|------------------------------------------------------------|
| <b>RESULT:</b>   | <b>CARRIED [UNANIMOUS]</b>                                 |
| <b>MOVER:</b>    | Ellen Ellenburg, Councilwoman                              |
| <b>SECONDER:</b> | Deb Walton, Commissioner                                   |
| <b>AYES:</b>     | Ellenburg, Walls, Centilli, White, Johnson, Gorang, Walton |
| <b>EXCUSED:</b>  | Kray, Burge                                                |

#### G. ADMINISTRATIVE SITE PLAN REVIEW

None

1. SPR #15-38

By: Khalil Isaac  
1244 E. Reid Rd.  
Grand Blanc, MI 48439

Re: 1372 Bristol Rd. Burton, MI 48529

For: T-Mobile retail store

2. SPR #15-41

By: Phillip Tucker  
1343 Carman St.  
Burton, MI 48529

Re: 3366 S. Saginaw St. Burton, MI 48529

For: Advanced Computer Logistics

3. SPR #15-45

By: Scott Natzke  
10204 Deere Dr.  
Davison, MI 48423

Re: 3108 Bristol Rd. Burton, MI 48529

For: Auto Sales

4. SPR #15-46

By: John T. Barr  
6255 Muirfield Dr.  
Grand Blanc, MI 48439

Re: 4277 Saginaw St. Burton, MI 48529

For: Martial Arts

#### **H. AUDIENCE PARTICIPATION**

None.

#### **I. BOARD DISCUSSION**

Mr. Gorang asked for an update on the master plan.

Mrs. Abbey stated we were trying to get the zoning ordinance changes done. The next step is to move forward with the master plan. She definitely wants to get it started this year. The Planning Commission makes the action and City Council either accepts the action or not. We are still debating how we are going to do this; we have to pick an engineering company. They have to design a presentation for you but to do that; they need to know the level of participation you want to give to the residents.

Mrs. Ellenburg suggested contacting neighboring municipalities to look at sample master plans.

Mrs. Abbey will get copies for the next meeting.

Mrs. Walton asked when we will have the computers working.

Mrs. Karsney stated we are waiting for network log-ins. She will ask the mayor about it.

The next regularly scheduled meeting will be held on Tuesday, November 10, 2015  
at 5:00 PM

Meeting was adjourned at 6:22 PM.



# CITY OF BURTON

## BURTON PLANNING COMMISSION MEETING

### SEPTEMBER 8, 2015

### MINUTES

**Council Chambers**
**Regular Meeting**
**5:00 PM**

**4303 S. CENTER ROAD  
BURTON, MI 48519**

**This meeting was opened by Chairman Robert Walls at 5:00 PM.**

#### **A. PLEDGE OF ALLEGIANCE**

#### **B. ROLL CALL**

| <b>Attendee Name</b> | <b>Title</b>           | <b>Status</b> | <b>Arrived</b> |
|----------------------|------------------------|---------------|----------------|
| Greg Kray            | Alternate Commissioner | Excused       |                |
| Ellen Ellenburg      | Councilwoman           | Present       |                |
| Robert Walls         | Chairman               | Present       |                |
| Kevin Burge          | Commissioner           | Present       |                |
| Robert Centilli      | Commissioner           | Present       |                |
| Mary Ann White       | Commissioner           | Present       |                |
| Robert Johnson       | Commissioner           | Present       |                |
| Tom Gorang           | Commissioner           | Present       |                |
| Deb Walton           | Commissioner           | Present       |                |

#### **C. STAFF PRESENT**

Amber Abbey, Planning/Zoning  
Teresa Karsney, City Clerk  
Racheal Boggs, City Clerk's Office

#### **D. APPROVAL OF MINUTES**

1. Planning Commission - Regular Meeting - Aug 11, 2015 5:00 PM

|                  |                                                                   |
|------------------|-------------------------------------------------------------------|
| <b>RESULT:</b>   | <b>ACCEPTED [UNANIMOUS]</b>                                       |
| <b>MOVER:</b>    | Robert Johnson, Commissioner                                      |
| <b>SECONDER:</b> | Tom Gorang, Commissioner                                          |
| <b>AYES:</b>     | Ellenburg, Walls, Burge, Centilli, White, Johnson, Gorang, Walton |
| <b>EXCUSED:</b>  | Kray                                                              |

#### **E. PUBLIC HEARING**

1. 1767 : ZC #314 Motion to Approve Text Changes to the Existing Zoning Ordinance, Chapter 157 of the City of Burton with the expectation of leaving it at only 2 dogs.

Mrs. Abbey stated the City Council would like to bring the proposed ordinance

changes back to the planning commission. She asked Mrs. Ellenburg for further explanation.

Mrs. Ellenburg said City Council would like to know why the changes were made. They also felt it should go to Zoning. A lot of old wording was changed and there wasn't a problem with that. During the Council discussion there was an issue regarding the number of dogs allowed. There was also a change regarding fences.

Mrs. Abbey recommended opening audience participation so we can have some discussion based on what they bring to us.

Mr. Wallace, Genesee County Director of Animal Control stated he was here to clarify the way enforcement of dogs is handled. First, the City writes an ordinance and then the City enforces that ordinance. Across the County it is common practice to have an ordinance that allows 3 dogs. Any more than that, you would need a kennel license. The kennel licenses are issued by the city or township, then the county would inspect the kennel and make sure the individuals have the proper license. Animal control does not override anyone's jurisdiction for an ordinance they have. For example, if there is a puppy mill you would need to contact your code enforcement officer and the police would get involved, once a police department determines the animal need to be removed then the county would come in and take the animals.

Mrs. Walton wanted to clarify that if an issue arises regarding dogs, then we supposed to call our local code enforcement. If it is determined that an animal needs to be removed then once the local city or township has a court order the county would come remove an animal. In addition, she asked if the ordinance states you may only have 2 dogs, can an individual purchase 3 dog licenses.

Mr. Wallace stated yes, they can purchase 3 licenses. What we won't do is license the kennel if they have more than they are supposed to have. He provided an example of the process for handling a dog issue: an individual has 5 dogs, and you want to enforce it. The code enforcement person goes out to talk to them and issues a ticket. If you want to cease the animals to get the back down to the approved number of dogs, that will take a search warrant and a court order. Animal Control's role would be to support whatever action the city is going to take by coming in and taking the dogs.

Mrs. Walton asked if my neighbor has 5 dogs and this ordinance is passed, they have already bought a license, and there is an issue. How do we take the dogs away?

Mr. Wallace said they are in violation of your ordinance so the City Attorney would request abatement from a judge. This is really a question for your City Attorney.

Mrs. Abbey said we enforce the number of dogs. We would call Animal Control to come and legally take the dogs.

Mr. Wallace clarified that Animal Control would want to see the court order.

Mrs. Abbey asked how many areas in the County have the rule of 3 dogs versus a rule of 2 dogs. Do you know the ratio so we can present it to City Council?

Mr. Wallace said he can get the accurate information but it is pretty standard to allow 3 dogs across Genesee County.

Mr. Gorang asked if the City Council stated they would like to have 3 dogs.

Mrs. Ellenburg stated she has received no phone calls either way about this issue. In terms of her position, she will stand by what the Planning Commission previously agreed upon which is 2 dogs.

Diane Ward of Burton stated she doesn't know what prompted the change of the amount of dogs. People in her neighborhood walk carrying sticks to protect themselves against neighborhood dogs. Owners are not responsible; they do not take care of them properly or clean up after them. She disagrees with changing the number of dogs.

Judy Estes of Burton states her neighbors have 3 dogs and has had to fence in her yard because one of the dogs has attacked her dog in the past. She doesn't believe the dogs are licensed. She would like to keep it at 2 dogs.

Mr. Gorang stated he would like to keep it at 2 dogs.

Mr. Centilli agrees to keep it at 2 dogs.

Mr. Burge said he would also like to keep it at 2 dogs. It comes down to the owners doing what they are supposed to do.

Mrs. Walton will support staying at 2 dogs.

Mrs. Ellenburg recommends keeping it at 2 dogs.

|                  |                                                                   |
|------------------|-------------------------------------------------------------------|
| <b>RESULT:</b>   | <b>CARRIED [UNANIMOUS]</b>                                        |
| <b>MOVER:</b>    | Kevin Burge, Commissioner                                         |
| <b>SECONDER:</b> | Robert Johnson, Commissioner                                      |
| <b>AYES:</b>     | Ellenburg, Walls, Burge, Centilli, White, Johnson, Gorang, Walton |
| <b>EXCUSED:</b>  | Kray                                                              |

2. 1815 : SPR #15-34 / ZC #315 Motion to Change Zoning from R-1B Single Family Residential to C-1 Local Business.

By: Rommel Aquino  
8251 Pine Hollow Trail  
Grand Blanc, MI 48439

Re: 6161 Lapeer Rd.  
59-13-502-004

For: R-1B, Single Family Residential to C-1 Local Business

Mr. Jim Sabo of Grand Blanc stated he is here on behalf of Dr. Aquino who has an

emergency and cannot make it to the meeting tonight. Dr. Acquino and his wife have recently moved into the area. He bought a lot at 6161 Lapeer Rd. He demolished the house that was there. His purpose is to put a small parking lot and landscaping adjacent to his office.

Mrs. Abbey said Dr. Aquino's office is to the east of this lot. He has recently renovated and put an addition on. He also intends to further improve the property. He has applied and been approved for the combination of the properties. Changing the zoning is the only thing holding him back from improving the property. The administration recommends approval.

Mr. Gorang said any opportunity we have for improvement and business expansion in the area is good for the City of Burton. He supports the approval of the zoning change.

Mr. Burge stated this address has had a lot of different businesses throughout a short period of time. Dr. Aquino plans to stay here for a long time and this is better for our residents. He supports the approval.

Mr. Johnson said he has seen the improvements Dr. Aquino has made and he would like to see further improvements.

|                  |                                                                   |
|------------------|-------------------------------------------------------------------|
| <b>RESULT:</b>   | <b>CARRIED [UNANIMOUS]</b>                                        |
| <b>MOVER:</b>    | Ellen Ellenburg, Councilwoman                                     |
| <b>SECONDER:</b> | Robert Johnson, Commissioner                                      |
| <b>AYES:</b>     | Ellenburg, Walls, Burge, Centilli, White, Johnson, Gorang, Walton |
| <b>EXCUSED:</b>  | Kray                                                              |

## F. SPECIAL USE

## G. SITE PLAN REVIEW

1. 1820 : SPR #15-37 Motion to Approve an Addition to the Existing Building.

By: Davison 5340, Inc.  
1245 E. Grand Blanc Rd.  
Grand Blanc, MI 48439

Re: 5340 Davison Rd.  
Burton, MI 48509  
59-11-200-016

For: Addition to the building

Mr. Chuck Secrenas of Grand Blanc stated he is one of the partners of Davison 5340, Inc. They own the Pines of Burton Memory Care South, Memory Care North, and Assisted Living on Davison Road. With the need for more space due to being full, we would like to add on to the Burton South building. It is the only one of our buildings that is eligible for addition because of the Home for the Aged (HFA) rules with the

State of Michigan. We are looking to add 4 rooms to the building and a dining room to accommodate the requirements of HFA.

Mrs. Abbey said these properties are great assets to our community. If the need is to increase, that doesn't hurt. The administration recommends approval.

Mr. Gorang asked if they have a predicted number of new residents.

Mr. Secrenas stated they will add 4 rooms which will allow for 8 more residents. Currently they are licensed for twenty three total residents. With this addition, they will be able to have a total of thirty one residents.

Mr. Gorang asked if there will be future plans of expansion.

Mr. Secrenas said no. They will be at their limit with the property there. Future plans of expansion would require a new location.

Mr. Burge said this business has been positive for the community all the way around. He would like to follow the administrations recommendation for approval.

|                  |                                                                   |
|------------------|-------------------------------------------------------------------|
| <b>RESULT:</b>   | <b>CARRIED [UNANIMOUS]</b>                                        |
| <b>MOVER:</b>    | Robert Johnson, Commissioner                                      |
| <b>SECONDER:</b> | Ellen Ellenburg, Councilwoman                                     |
| <b>AYES:</b>     | Ellenburg, Walls, Burge, Centilli, White, Johnson, Gorang, Walton |
| <b>EXCUSED:</b>  | Kray                                                              |

## H. ADMINISTRATIVE SITE PLAN REVIEW

### 1. SPR #15-33

By: Northstarr Holdings, LLC.  
17195 Silver Parkway #195  
Fenton, MI 48430

Re: 3090 Atherton Rd.  
Burton, MI 48519

For: Building Contractor's Office

### 2. SPR #15-35

By: Antigoni Margaritis  
1418 Norton St.  
Burton, MI 48529

Re: 3411 S. Saginaw St.  
Burton, MI 48529

For: True Designs & Nails

3. SPR #15-36

By: Paula Haskins  
3283 Arlene Ave.  
Flint, MI 48532

Re: 4089 Fenton Rd.  
Burton, MI 48529

For: Faith Steps Christian Childcare

**I. AUDIENCE PARTICIPATION**

None

**J. BOARD DISCUSSION**

None

The next regularly scheduled meeting will be held on Tuesday, October 13, 2015 at 5:00 p.m.

Meeting was adjourned at 5:38 PM.

Minutes Acceptance: Minutes of Sep 8, 2015 5:00 PM (Approval of Minutes)



**Burton Planning Commission**

4303 S. Center Road  
Burton, MI 48519

**SCHEDULED**

**AGENDA ITEM (ID # 1884)**

Meeting: 10/13/15 05:00 PM  
Department: Department of Public Works  
Category: Special Use  
Prepared By: Amber Abbey  
Department Head: Rachael Boggs

**E.1**

DOC ID: 1884

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**SPR #15-39**

By: JJRX Enterprises, LLC.  
26041 Blumfield Street  
Roseville, MI 48066

Re: 4184 Davison Rd. Burton, MI 48509,  
59-10-501-002, C-2 General Business

For: Special use for a medical marijuana dispensary

**ATTACHMENTS:**

- 15-39 (PDF)
- 15-39a (PDF)



City of Burton  
 Department of Public Works  
 4093 Manor Drive  
 Genesee County, Burton, Michigan 48519  
 (810) 742-9230

Date Filed: 9-16-15  
 Fee Paid: 600.00  
 Receipt #: 6978  
 Check #: 6978  
 Received by: DA  
 Date Mailed: 9-15-15

**APPLICATION FOR PLANNING COMMISSION SPECIAL USE:**

BCPC Case #: 15-39

**PLEASE PRINT**

DATE OF PLANNING COMMISSION HEARING: October 13<sup>th</sup> 2015 AT 5:00 P.M.

APPLICANTS NAME: JJ&P Enterprises, LLC

APPLICANTS ADDRESS: 26041 Blumfield Street

CITY: Roseville, MI 48066

APPLICANTS PHONE: (800) 524-3576

ADDRESS AND PARCEL OR LOT NUMBER: 4104 Dawson Road

59-10-501-002 C-2 Zone.

NATURE OF REQUEST (PERMITTED USE AFTER SPECIAL APPROVAL): To conduct  
a medical Marijuana Dispensary.

APPLICANTS SIGNATURE: [Signature] for JJ&P Enterprises, LLC

MANDATORY ATTENDANCE AT THE ABOVE MEETING IS ACKNOWLEDGED BY THE APPLICANTS SIGNATURE.

Attachment: 15-39 (1884 : SPR #15-39)

**Amber Abbey**

---

**From:** Amanda Doyle <amandadoylelaw@gmail.com>  
**Sent:** Wednesday, September 16, 2015 2:50 PM  
**To:** Amber Abbey  
**Subject:** Re: FW: JJRX 4184 DAVISON ROAD BUSINESS PLAN

Amber,  
This may be the best business plan we've seen in awhile. I have no issues with the business plan as presented. Please let me know if you have any specific questions or concerns.

Thank you,  
Amanda

On Wed, Sep 16, 2015 at 12:26 PM, Amber Abbey <[a.abbey@burtonmi.gov](mailto:a.abbey@burtonmi.gov)> wrote:

Amanda,

Please review.

Thanks,

Amber Abbey

---

**From:** Bernard Jocuns [<mailto:jocunsb@gmail.com>]  
**Sent:** Wednesday, September 16, 2015 11:45 AM  
**To:** Amber Abbey  
**Subject:** JJRX 4184 DAVISON ROAD BUSINESS PLAN  
**Importance:** High

Amber:

Thank you for taking the time to deal w/me this morning. Please see the attached revised business plan. Please let me know your input upon your convenience.

Very truly yours,

Attachment: 15-39 (1884 : SPR #15-39)

Bernard A. Jocuns

Bernard Anthony Jocuns & Associates, PLLC

152 West Park Street

Lapeer, Michigan 48446

(810) 245-8900

Fax: (810) 245-6846

Bernard@bernardjocuns.org

www.bernardjocuns.org

www.miweedlaw.com

--

Amanda N. Doyle  
Attorney at Law  
702 Church Street  
Flint, MI 48502  
810-767-6860  
810-767-2817 - FAX

\*\*\*\*\*

*The information contained in this message is covered by attorney/client privilege and/or is confidential information intended only for the use of the individual or entity named above. If the reader of this message is not the intended recipient, you are notified that any dissemination, distribution or copy of this communication is strictly prohibited. If you have received this communication in error, please immediately notify the sender by telephone at (810) 767-6860 and destroy the original message. Thank you.*

Attachment: 15-39 (1884 : SPR #15-39)

**JJRX ENTERPRISES BUSINESS PLAN**

SEPTEMBER 16, 2015

JJRX ENTERPRISES LLC  
26041 BLUMFIELD ST.  
ROSEVILLE, MI 48066

Re: Provisioning Center  
4184 Davison Road  
Burton, MI 48509

**Summary:**

Property: Legal description: E 30 FT OF W 50 FT OF LOT 1 FARAHS  
EASTGATE SUB

Municipal Address: 4184 Davison Rd., Burton MI 48509

Occupied Premises: JJRX Enterprises, LLC shall lease the property for a period  
of two (2) years. Terms are addressed in the letter of intent  
regarding a proposed lease.

Business Summary: JJRX will operate as a Marihuana Provisioning Center under  
the specific terms and guidelines as provided by the City of  
Burton. JJRX's goal is to provide safe access to medical  
marihuana within the confines of the Michigan Medical  
Marihuana Act of 2008 and all Appellate and Michigan  
Supreme Court opinions. JJRX will operate legally under all  
statutes and ordinances as specifically addressed under the  
Michigan Medical Marihuana Act of 2008, pertinent statutes  
in the State of Michigan and City of Burton Ordinances.  
JJRX will follow all local ordinances when it comes time to  
modify any existing building structure(s) and any other  
prerequisites determined by the City of Burton to open up  
and operate as a business (ie.: parking lot modifications to  
suit the local ordinance, making the building handicapped  
accessible, etc...). JJRX will also provide retail merchandise  
to its patients (implements to use medicine, clothing,  
literature, etc...).

Attachment: 15-39 (1884 : SPR #15-39)

The medical marihuana dispensary shall only operate between 10:00 a.m. and 8:00 p.m. Monday through Saturday and 12:00 p.m. and 6:00 p.m. on Sunday.

Persons under the age of eighteen (18) years of age are not permitted to be on the premises of the medical marijuana dispensary unless they possess a valid Medical Marijuana Registry Card issued by the State of Michigan or other State.

All employees of the JJRX Enterprises, LLC medical marihuana dispensary shall have a valid primary caregivers card or a valid qualifying patient card issued by the State of Michigan.

JJRX Enterprises, LLC shall keep detailed records of all transactions between patients and caregivers

When a patient pulls into the parking lot there will be at least six (6) surveillance cameras on site monitoring the premises around the clock. Prior to entry into the establishment, patients will be buzzed in by an employee attendant. There will always be three (3) employees working at the establishment with one (1) employee strictly working on surveillance of the business. Prior to entering the business counter; patients will have to walk through a metal detector as weapons, alcohol, prescription drugs or outside medical marihuana are not permitted on site. Patient shall then present his/her valid Michigan Driver's License or Michigan Identification card to the attendant-employee. Patient or caregiver will then be provided an opportunity to become a member of the establishment for a \$20.00 fee. All patient/members and caregiver/members sign a Patient attestation form and a Caregiver user agreement that is documented by the employee working at the time. This is meant to keep track of all patients that use the facility to obtain safe medicine from his/her caregiver. The patient will then be provided a key to access his/her medicine in a locker that is only accessible to the patient and the patient's caregiver. Patients will only be permitted to access the lockbox that they are provided a key from the JJRX representative. The employee-representative of JJRX will not be permitted access the medicine locker provided by the caregiver to the patient made available in the patient lockbox.

Attachment: 15-39 (1884 : SPR #15-39)

When a patient becomes a member at that point, then he/she is provided w/a membership card and a key to their lockbox that their caregiver will provide their medical marihuana. When the patient subsequently visits the establishment then he/she will then show their valid Michigan Medical Marihuana Card, Driver's License or State Identification and membership card at the sliding glass window after the patient/member is buzzed in and walks through the metal detectors at the entrance of the establishment. The employee at the sliding glass window checks identification only.

Once a patient/member enters the establishment there will be a main floor/room where there will be no medicine of any kind for sale. However there will be devises that may be purchased to assist in using Michigan Medical Marihuana and other retail merchandise. Drinks and snacks will also be made available for purchase. **USING MARIHUANA OR MEDICATING WILL NOT BE PERMITTED BY ANYONE ON THE PREMISES.** If a patient/member appears to be intoxicated by any substance when entering the establishment, JJRX will not allow entry into the patient/caregiver room. JJRX is steadfastly against anyone operating an automobile or machinery while under the influence of medical marihuana as public safety and safe access to medicine are the top priority of the business. Patients and Caregivers will be permitted access to the patient-caregiver room. When in the patient-caregiver room the patient will have access to their medical marihuana (dried flowery plant) and after the patient accesses their medicine then they lock up their lock box and exit the patient-caregiver room. Patients or Caregivers will only be provided access to the Patient-Caregiver room on an individual basis (meaning only one person will be allowed access at one time). When a patient or caregiver exists the building and departs they will follow all laws under the Michigan Medical Marihuana act of 2008 and legislation regarding transportation of marihuana as signed in the initial Patient Attestation and Caregiver/Patient User Agreement.

Attachment: 15-39 (1884 : SPR #15-39)

THIS IS A NOTICE FOR A CITY OF BURTON PLANNING COMMISSION PUBLIC HEARING IN REGARDS TO A SPECIAL USE PERMIT. YOU MAY APPEAR AT THE MEETING AND VOICE YOUR OPINION OR CONCERNS, BE REPRESENTED BY COUNSEL OR SUBMIT A WRITTEN STATEMENT PRIOR TO THE MEETING TO:

The meeting time & place is as follows:

Date: October 13, 2015 Time: 5:00 p.m.

Burton City Hall, Council Chambers  
4303 S. Center Rd.  
Burton, MI 48519

BCPC Case # 15-39

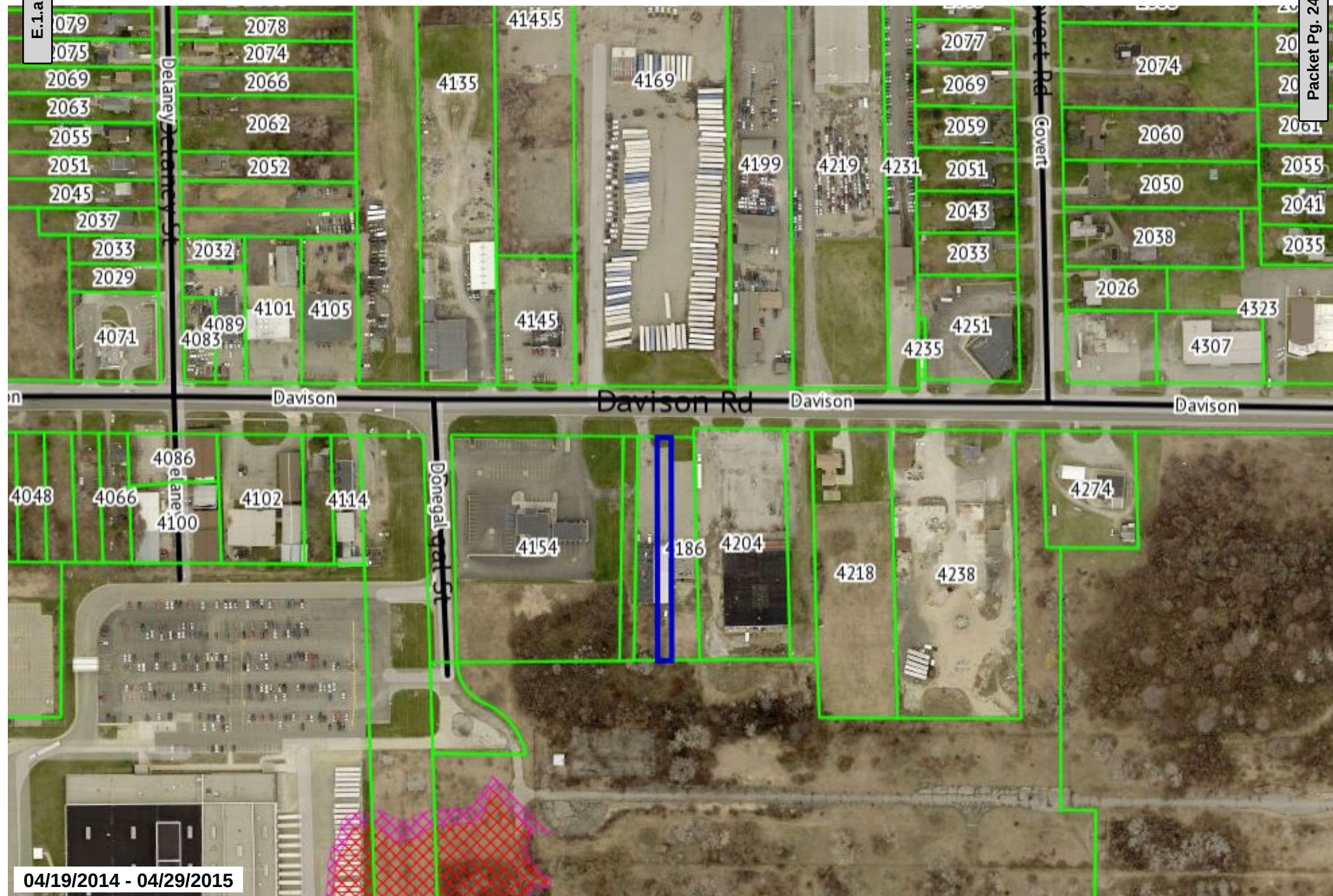
**Applicants Name:** JJRX Enterprises, LLC.

**Applicants Address:** 26041 Blumfield Street, Roseville, MI 48066

**Location of Request:** 4184 Davison Rd. Burton, MI 48509,  
59-10-501-002, C-2 General Business

**Nature of Request:** Special use for a medical marijuana dispensary

The above case is available for review and written comments will also be received during normal local working hours.





**Burton Planning Commission**

4303 S. Center Road  
Burton, MI 48519

**SCHEDULED**

**AGENDA ITEM (ID # 1888)**

Meeting: 10/13/15 05:00 PM

Department: Department of Public Works

Category: Special Use

Prepared By: Amber Abbey

Department Head: Rachael Boggs

**E.3**

DOC ID: 1888

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**SPR #15-43**

By: Parmeet Singh  
6140 Emerald Dr.  
Grand Blanc, MI 48439

Re: 3328 Kleinpell St. Burton, MI 48529,  
59-28-555-006, M-2 General Industrial

For: Special use for outside storage of semi-trucks for a trucking company.

**ATTACHMENTS:**

- 15-43 (PDF)

Due back by 9-18-15

E.3.a



City of Burton  
Department of Public Works  
4093 Manor Drive  
Genesee County, Burton, Michigan 48519  
(810) 742-9230

Date Filed: 9-18-15  
Fee Paid: \$ 600.00  
Receipt #: \_\_\_\_\_  
Check #: 1161  
Received by: AIA  
Date Mailed: 9-25-15

**APPLICATION FOR PLANNING COMMISSION SPECIAL USE:**

BCPC Case #: 15-43

**PLEASE PRINT**

DATE OF PLANNING COMMISSION HEARING: October 13<sup>th</sup> AT 5:00 P.M.

APPLICANTS NAME: Parmeet Singh

APPLICANTS ADDRESS: 6140 Emerald dr

CITY: Grand Blanc MI 48439

APPLICANTS PHONE: 810 8741997

ADDRESS AND PARCEL OR LOT NUMBER: G 3328 Kleinpell St. Burton MI  
91-28-555-006 m-2 Zoned. 48529

NATURE OF REQUEST (PERMITTED USE AFTER SPECIAL APPROVAL):

Trucking Company. Repair own Trucks.  
Special use for outside storage of semi-trucks

APPLICANTS SIGNATURE: Parmeet Singh

MANDATORY ATTENDANCE AT THE ABOVE MEETING IS ACKNOWLEDGED BY THE APPLICANTS SIGNATURE.

Attachment: 15-43 (1888 : SPR #15-43)

THIS IS A NOTICE FOR A CITY OF BURTON PLANNING COMMISSION PUBLIC HEARING IN REGARDS TO A SPECIAL USE PERMIT. YOU MAY APPEAR AT THE MEETING AND VOICE YOUR OPINION OR CONCERNS, BE REPRESENTED BY COUNSEL OR SUBMIT A WRITTEN STATEMENT PRIOR TO THE MEETING TO:

The meeting time & place is as follows:

Date: October 13, 2015 Time: 5:00 p.m.

Burton City Hall, Council Chambers  
4303 S. Center Rd.  
Burton, MI 48519

BCPC Case # 15-43

**Applicants Name:** Parmeet Singh

**Applicants Address:** 6140 Emerald Dr. Grand Blanc, MI 48439

**Location of Request:** 3328 Kleinpell St. Burton, MI 48529,  
59-28-555-006, M-2 General Industrial

**Nature of Request:** Special use for outside storage of semi-trucks for a trucking company.

The above case is available for review and written comments will also be received during normal local working hours.

Attachment: 15-43 (1888 : SPR #15-43)



**Burton Planning Commission**

4303 S. Center Road  
Burton, MI 48519

**SCHEDULED**

**AGENDA ITEM (ID # 1885)**

Meeting: 10/13/15 05:00 PM

Department: Department of Public Works

Category: Site Plan Review

Prepared By: Amber Abbey

Department Head: Rachael Boggs

**F.1**

DOC ID: 1885

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**SPR #15-40**

By: JJRX Enterprises, LLC.  
26041 Blumfield St.  
Roseville, MI 48066

Re: 4184 Davison Rd. Burton, MI 48509,  
59-10-501-002, C-2 General Business

For: Medical Marijuana Dispensary

**ATTACHMENTS:**

- 15-40 (PDF)



City of Burton  
 Department of Public Works  
 4093 Manor Drive  
 Genesee County, Burton, Michigan 48519  
 (810) 742-9230



### APPLICATION FOR SITE PLAN REVIEW

DATE FILED: 9-16-15  
 FEE: 200.00  
 RECEIPT NO: \_\_\_\_\_  
 CHECK NO: 6477

SPR #: 15-40

#### PLEASE PRINT

DATE OF PLANNING COMMISSION MEETING: October 13<sup>th</sup> @ 5:00 PM

APPLICANTS NAME: JRP Enterprises, LLC

APPLICANTS ADDRESS: 26041 Blumfield Street

APPLICANTS PHONE NO: (586) 524-3574

PROPOSED NAME OF BUSINESS: JRP Center

SITE ADDRESS: 4184 Davison Road

SUBDIVISION & LOT # OR PARCEL NUMBER: \_\_\_\_\_

RE: Medical Marijuana Dispensary

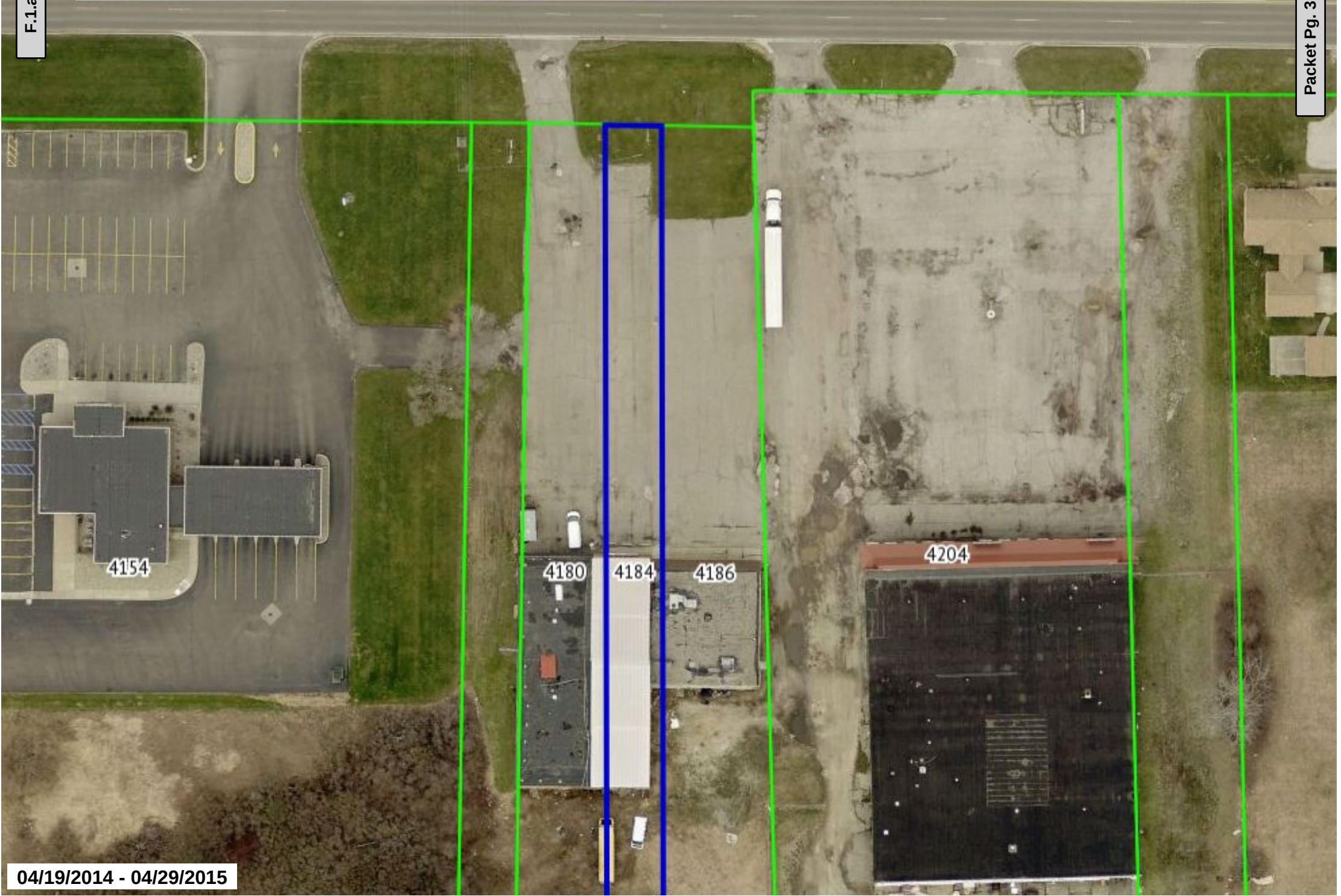
**APPLICANT:** IT IS TO YOUR ADVANTAGE TO ATTEND THE ABOVE SCHEDULED MEETING. THE PLANNING COMMISSION MAY HAVE QUESTIONS THAT DIRECTLY AFFECT APPROVAL DENIAL, OR POSTPONING UNTIL THESE QUESTIONS CAN BE ANSWERED.

APPLICANTS SIGNATURE: \_\_\_\_\_

*[Signature]* JRP Enterprises, LLC

NOTE: All site plans must be filed at least two (2) weeks prior to the Planning Commission hearing and **MUST** comply with the procedures set forth in Section 157.092 of Codified Ordinance as attached. Must include **twelve (12) sets** of prints in order to process the application.

Attachment: 15-40 (1885 : SPR #15-40)



04/19/2014 - 04/29/2015



**Burton Planning Commission**

4303 S. Center Road  
Burton, MI 48519

**SCHEDULED**

**AGENDA ITEM (ID # 1887)**

Meeting: 10/13/15 05:00 PM

Department: Department of Public Works

Category: Site Plan Review

Prepared By: Amber Abbey

Department Head: Rachael Boggs

**F.3**

DOC ID: 1887

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**SPR #15-42**

By: New Testament Church // Laverne Morse  
3484 S. Belsay Rd.  
Burton, MI 48519

Re: 3484 S. Belsay Rd. Burton, MI 48519  
59-26-400-018, SE Zoned

For: Parking Lot Addition

**ATTACHMENTS:**

- 15-42 (PDF)

Sept 28<sup>th</sup>

City of Burton  
 Department of Public Works  
 4093 Manor Drive  
 Genesee County, Burton, Michigan 48519  
 (810) 742-9230



### APPLICATION FOR SITE PLAN REVIEW

DATE FILED: 9-18-15  
 FEE: 200.00  
 RECEIPT NO: \_\_\_\_\_  
 CHECK NO: 7625

SPR #: 15-42

#### PLEASE PRINT

DATE OF PLANNING COMMISSION MEETING: OCT 13<sup>th</sup> 2015 @ 5:00pm  
 APPLICANTS NAME: NEW TESTAMENT CHURCH LAVERNE MORSE  
 APPLICANTS ADDRESS: 3484 BELSAY RD 4422 E. VIENNA RD  
810 577 6603 CLIO, 48420  
 PROPOSED NAME OF BUSINESS: NEW TESTAMENT CHURCH  
 SITE ADDRESS: 3484 BELSAY RD  
 SUBDIVISION & LOT # OR PARCEL NUMBER: 400-018  
 RE: Parking Lot addition

**APPLICANT:** IT IS TO YOUR ADVANTAGE TO ATTEND THE ABOVE SCHEDULED MEETING. THE PLANNING COMMISSION MAY HAVE QUESTIONS THAT DIRECTLY AFFECT APPROVAL, DENIAL, OR POSTPONING UNTIL THESE QUESTIONS CAN BE ANSWERED.

APPLICANTS SIGNATURE: \_\_\_\_\_

NOTE: All site plans must be filed at least two (2) weeks prior to the Planning Commission hearing and **MUST** comply with the procedures set forth in Section 157.092 of Codified Ordinance as attached. Must include **twelve (12) sets** of prints in order to process the application.

Attachment: 15-42 (1887 : SPR #15-42)

## GENERAL NOTES

1. THREE (3) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL TELEPHONE MISS DIG (800-482-7171) FOR THE LOCATION OF UNDERGROUND GAS AND CABLE FACILITIES AND SHALL NOTIFY REPRESENTATIVES OF OTHER UTILITIES LOCATED IN THE VICINITY OF THE WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES THAT AFFECT THIS JOB.

2. CHMP, INC. SHALL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION, NOR THE SAFETY ON THE JOB SITE, NOR SHALL CHMP, INC. BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DOCUMENTS.

3. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, ENGINEER, CITY OF BURTON, GENESEE COUNTY, AND THE STATE OF MICHIGAN FROM ALL LIABILITIES FOR INJURY TO PERSONS, OR DAMAGE TO OR LOSS OF PROPERTY, OR ANY OTHER LOSS, COST OR EXPENSE, AS A RESULT OF THE ACTIONS OF THE CONTRACTOR, HIS EMPLOYEES, AGENTS, OR SUBCONTRACTORS.

4. THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. FURTHER, THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

5. THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE CITY OF BURTON FOR ALL WORK PERFORMED WITHIN THE PUBLIC ROAD RIGHT-OF-WAY, INCLUDING APPLICATION, FEES, BONDS, AND INSURANCE.

6. THE CONTRACTOR SHALL NOTIFY THE PERMIT ISSUING AGENCIES THREE (3) DAYS PRIOR TO CONSTRUCTION FOR REQUIRED INSPECTIONS. THE CONTRACTOR SHALL PAY FOR ALL NECESSARY PERMITS, BONDS, AND INSURANCE.

7. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE CITY OF BURTON, GENESEE COUNTY DRAIN COMMISSION, AND MICHIGAN DEPARTMENT OF TRANSPORTATION. WORKMANSHIP AND MATERIALS FOR ALL BITUMINOUS PAVING SHALL BE IN ACCORDANCE WITH MDOT STANDARD SPECIFICATIONS, 2012 EDITION.

8. PAVEMENT MARKINGS SHALL BE PROVIDED IN ACCORDANCE WITH MDOT SPECIFICATION, SECTION 811.

9. CONTRACTOR SHALL KEEP ALL PHASES OF CONSTRUCTION CLEAN OF CONSTRUCTION MATERIALS, STOCKPILES, AND DEBRIS.

10. THE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF ACT 451 OF 1994 SOIL EROSION AND SEDIMENTATION, AND WILL BE RESPONSIBLE FOR ALL MAINTENANCE UNTIL THE FINAL ACCEPTANCE OF THE PROJECT.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP THE PREMISES, AND UPON COMPLETION OF THE PROJECT, LEAVE THE SITE IN AN ACCEPTABLE CONDITION AS DETERMINED BY THE LOCAL MUNICIPALITY.

12. EXISTING SURFACE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES.

## SOIL EROSION/SEDIMENT CONTROL NOTES

1. CONSTRUCTION OPERATION SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE SOIL EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION IN CRITICAL AREAS AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING OPERATIONS.

2. SPECIAL PRECAUTIONS SHALL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.

3. CLEANUP SHALL BE DONE IN A MANNER TO ENSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.

4. THE PROJECT SHALL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENT CONTROL COMPLIANCE. DEFICIENCIES SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS.

5. PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN 5 DAYS OF FINAL GRADE. IF PERMANENT STABILIZATION CANNOT BE COMPLETED WITHIN 5 DAYS, TEMPORARY SOIL EROSION CONTROL MEASURES MUST REMAIN IN PLACE AND BE MAINTAINED UNTIL PERMANENT STABILIZATION IS ACHIEVED.

6. THE CONTRACTOR SHALL CONFORM TO PART 91 OF ACT 451 OF THE PUBLIC ACTS OF 1994 OF THE MICHIGAN COMPILED LAWS ENTITLED "THE SOIL EROSION AND SEDIMENT CONTROL ACT" DURING CONSTRUCTION AND CURRENT LOCAL ORDINANCES FOR EROSION AND SEDIMENTATION CONTROL.

7. SILT FENCE LOCATION IS ALSO THE PHYSICAL LIMITS OF THE PROPOSED EARTH CHANGE.

8. BURLAP IS NOT ALLOWED AND STRAW BALES CAN ONLY BE USED TO BACKUP SILT FENCES.

9. THE GROSS ACREAGE OF THE SITE IS 1.188 ACRES. THE GROSS ACREAGE DISTURBED IS 1.0 ACRES.

10. THE CONTRACTOR SHALL PAY A FEE AND A BOND IS REQUIRED PRIOR TO ISSUANCE OF THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT.

11. THE BOND RELEASE CONDITIONS FOR VEGETATIVE STABILIZATION ARE 97% COVER AND ONE INCH IN GROWTH. THE BOND SHALL NOT BE RELEASED UNTIL THE SITE IS PERMANENTLY STABILIZED.

12. ON ALL SIDE SLOPES OF THE DETENTION BASIN AND THE RE-ROUTED SWALE PLACE STRAW BLANKET MULCH 0.5 LBS/ SY WITH A PHOTODEGRADABLE NETTING ON TOP SIDE SEWN ON 2 INCH CENTERS. FOR SLOPES EXCEEDING 3:1 USE A STRAW BLANKET WITH NETTING ON BOTH SIDES SEWN ON 2 INCH CENTERS.

13. ALL PROPOSED AND EXISTING CATCH BASINS SHALL BE PROTECTED.

## SOIL EROSION CONTROL SEQUENCE

1. INSTALL ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES.
2. EXCAVATE SITE TO REMOVE ORGANIC MATERIALS.
3. INSTALL STORM DRAINAGE SYSTEM, INCLUDING PARKING LOT INLET FILTERS.
4. MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES, AS REQUIRED.
5. BACKFILL SITE WITH ENGINEERED FILL.
6. BRING PAVEMENT AREAS TO SUB-BASE GRADE AND INSTALL CONCRETE CURB AND GUTTER.
7. INSTALL PAVEMENT COMPLETE, REPAIR OR REPLACE INLET FILTER AS REQUIRED.
8. FINISH GRADE, DISTRIBUTE TOP SOIL, SEED AND MULCH ALL DISTURBED AREAS (PERMANENT STABILIZATION) WITHIN 5 DAYS OF FINAL GRADE.
9. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.

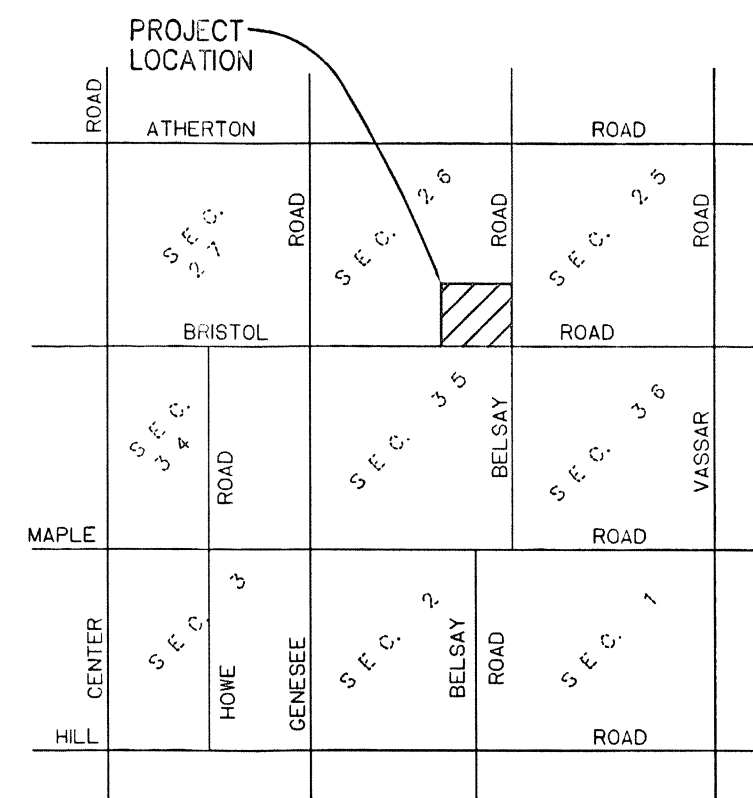
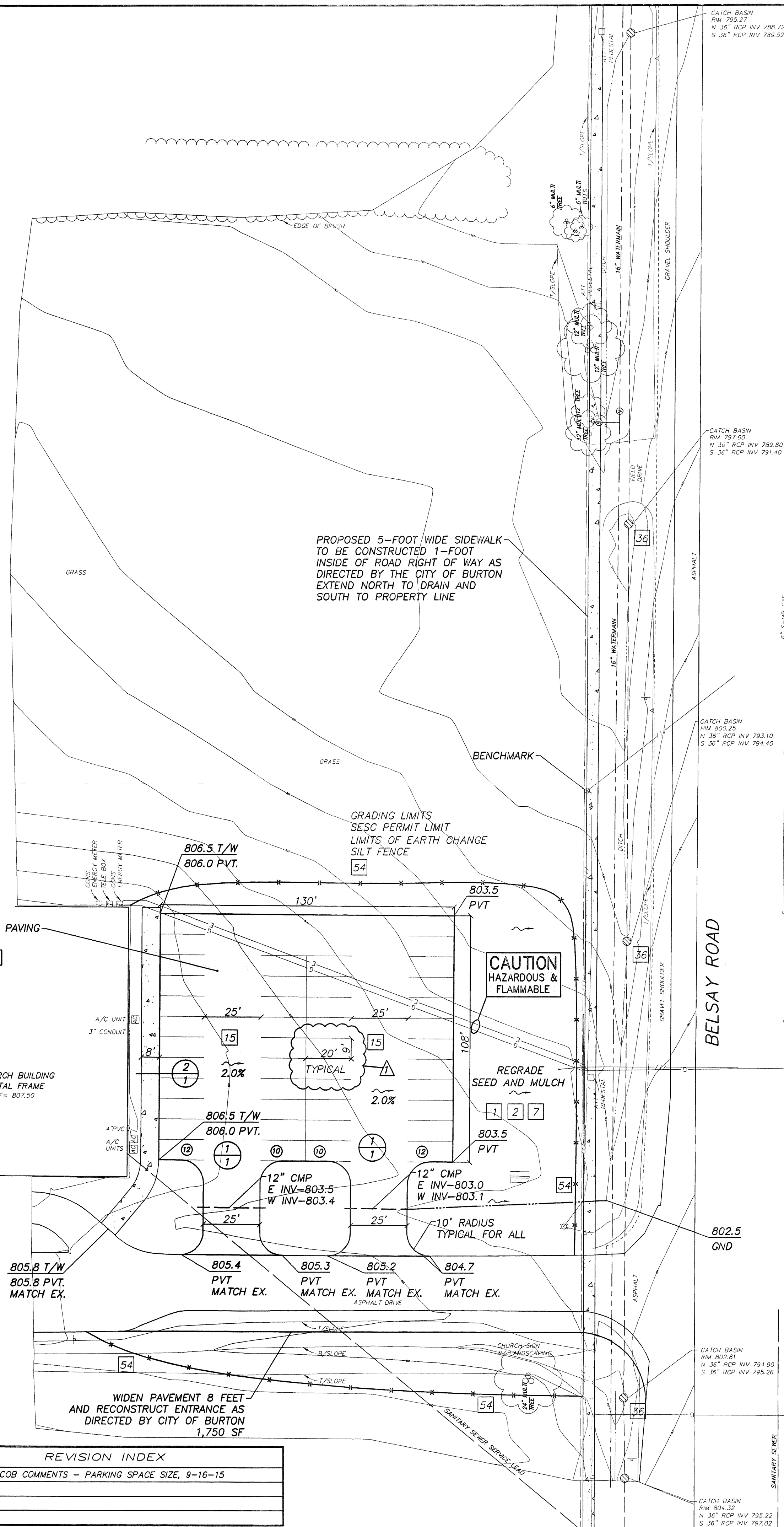
## SOIL EROSION/SEDIMENT CONTROL MAINTENANCE

1. CONTRACTOR SHALL INSPECT THE SOIL EROSION/SEDIMENT CONTROL DEVICES ONCE EACH WEEK AND/OR WITHIN 24 HOURS OF A PRECIPITATION EVENT WHICH RESULTS IN A STORM DISCHARGE FROM THE SITE. THE FOLLOWING STEPS SHALL BE IMPLEMENTED IF ANY DAMAGE HAS RESULTED FROM CONSTRUCTION OR WEAR.
2. SEEDING SHALL BE PREPARED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR/INSPECTOR SHALL INSPECT THE AREA AFTER SEEDING IS COMPLETED. AREAS THAT ARE BARE OR NOT MULCHED PROPERLY SHALL BE SPOT SEEDDED AND/OR RE-MULCHED.
3. SILT FENCE SHALL BE TRENCHED IN, BACK-FILLED, AND STAPLED OR STAKED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. MAINTENANCE INCLUDES THE REMOVING OF BUILT-UP SEDIMENT WHEN THE SEDIMENT ACCUMULATES TO 1/3 THE HEIGHT OF THE FENCE. CONTRACTOR SHALL REMOVE, REPLACE, RETRENCH, OR RE-BACKFILL THE FENCE IF IT FAILS. CONTRACTOR SHALL RE-INSTALL IF ANY PORTION OF THE FENCING WAS DAMAGED BY CONSTRUCTION MACHINERY.
4. STOCK PILES SHALL BE SEEDDED AND MULCHED AND RESEEDDED IF SEEDING DOES NOT TAKE.
5. ACCESS ROADS SHALL BE MAINTAINED AS NECESSARY. TO KEEP THEM EFFECTIVE, NEW LAYERS OF STONE SHALL BE ADDED AS OLD LAYERS BECOME COMPACTED. STEPS SHALL BE TAKEN TO REPAIR IF RUTS OR POOLING WATER APPEAR.
6. INLET FILTERS SHALL BE INSPECTED FOR BUILD-UP OF SILT AND OTHER DEBRIS. THIS IS EVIDENT IF GEOTEXTILE/STONE STRUCTURE IS CAUSING FLOODING. MAINTENANCE SHALL CONSIST OF REMOVING OF SEDIMENTS WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. IF INLET FILTER IS BEYOND THIS LEVEL OF REPAIR, CONTRACTOR SHALL REPLACE BOTH THE STONE AND GEOTEXTILE FILTER.
7. ANY TRACKING OF MUD OR DIRT ONTO PUBLIC OR PRIVATE ROADS SHALL BE REMOVED PROMPTLY.
8. IF DUST BECOMES A PROBLEM, SPECIAL WATERING TECHNIQUES SHALL BE USED TO CONTROL DUST.
9. A TEMPORARY RISER PIPE SHALL BE PLACED AT THE OUTLET OF ALL SEDIMENT BASINS DURING CONSTRUCTION. PRIOR TO THE COMPLETION OF THE PROJECT, THE STONE AROUND THE STAND PIPE STRUCTURE SHALL BE REFRESHED WITH CLEAN STONE.



Know what's below.  
Call before you dig.

LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE. ALL LOCATIONS MUST BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

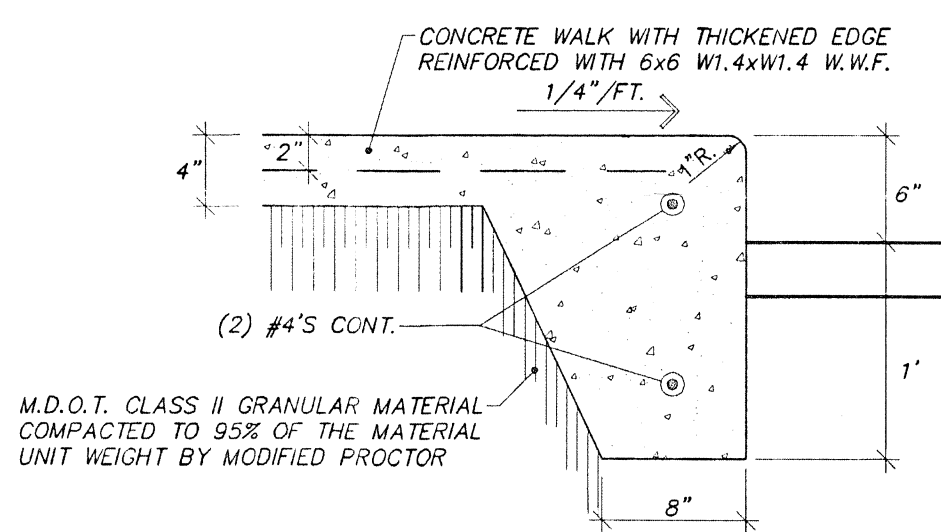


SITE LOCATION MAP  
NOT TO SCALE

## SOIL EROSION AND SEDIMENTATION CONTROL

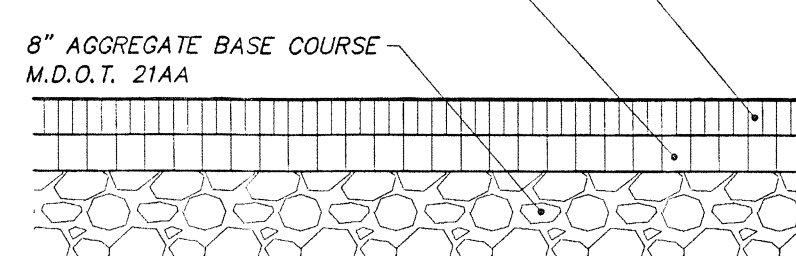
## MICHIGAN UNIFIED KEYING SYSTEM

| KEY | DETAIL        | CHARACTERISTICS                                                                                                      |
|-----|---------------|----------------------------------------------------------------------------------------------------------------------|
| 1   | Storm & Sewer | CONCRETE SHALL BE EXCAVATED AND REMOVED PRIOR TO SET AS TO BE SET IN PLACE. EXCAVATION SHALL BE TEMPORARILY SEEDDED. |
| 2   | Storm & Sewer | CONCRETE SHALL BE EXCAVATED AND REMOVED PRIOR TO SET AS TO BE SET IN PLACE. EXCAVATION SHALL BE TEMPORARILY SEEDDED. |
| 7   | Storm & Sewer | CONCRETE SHALL BE EXCAVATED AND REMOVED PRIOR TO SET AS TO BE SET IN PLACE. EXCAVATION SHALL BE TEMPORARILY SEEDDED. |
| 15  | Storm & Sewer | CONCRETE SHALL BE EXCAVATED AND REMOVED PRIOR TO SET AS TO BE SET IN PLACE. EXCAVATION SHALL BE TEMPORARILY SEEDDED. |
| 33  | Storm & Sewer | CONCRETE SHALL BE EXCAVATED AND REMOVED PRIOR TO SET AS TO BE SET IN PLACE. EXCAVATION SHALL BE TEMPORARILY SEEDDED. |
| 54  | Storm & Sewer | CONCRETE SHALL BE EXCAVATED AND REMOVED PRIOR TO SET AS TO BE SET IN PLACE. EXCAVATION SHALL BE TEMPORARILY SEEDDED. |



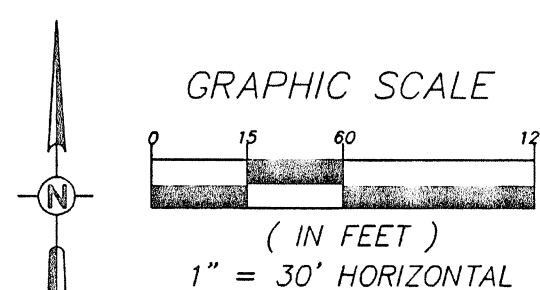
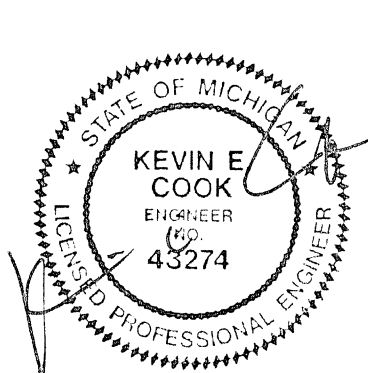
1-1/2" BITUMINOUS SURFACE COURSE  
M.D.O.T. 36A (165 LBS/SYD)

2" BITUMINOUS LEVELING COURSE  
M.D.O.T. 13A HMA (220 LBS/SYD)



## HMA PAVING SECTION

NOT TO SCALE  
SN=2.63



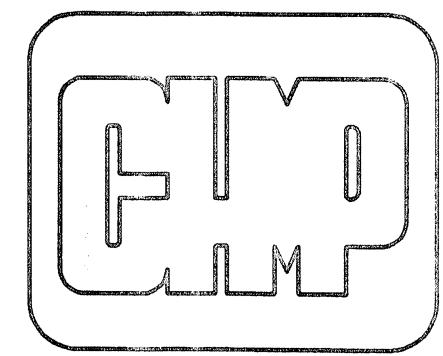
## LEGEND

|   |                                   |
|---|-----------------------------------|
| ① | STORM SEWER & MANHOLE             |
| ② | SANITARY SEWER & MANHOLE          |
| ③ | WATERMAIN, HYDRANT, & VALVE       |
| ④ | GAS MAIN & VALVE                  |
| ⑤ | BURIED TELEPHONE & MANHOLE        |
| ⑥ | UNDERGROUND ELECTRIC & MANHOLE    |
| ⑦ | OVERHEAD ELECTRIC POLE & GUY WIRE |
| ⑧ | CATCH BASIN (CURB & ROUND)        |
| ⑨ | WATER MANHOLE                     |
| ⑩ | FOUR                              |
| ⑪ | 785                               |
| ⑫ | CONTOUR LINE                      |
| ⑬ | FOUR                              |
| ⑭ | GUARD RAIL                        |
| ⑮ | LIGHT POLE                        |
| ⑯ | STREET SIGN                       |
| ⑰ | WALKBOX                           |
| ⑱ | MONITOR WELL                      |

## BENCHMARK

BENCHMARK #1 - SET MAG NAIL  
IN WEST FACE OF POWER POLE  
ELEVATION = 800.31 NAVD83

CHMP INC.  
5188 TERRITORIAL ROAD  
GRAND BLANC, MI 48408  
TELEPHONE 810/686-5810



ARCHITECTURE  
ENGINEERING  
LANDSCAPE ARCHITECTURE  
SURVEYING

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WRITTEN CONSENT OF CHMP INC.  
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NEW TESTAMENT CHURCH - PARKING LOT EXPANSION  
3484 BELSAY ROAD  
BURTON, MICHIGAN 48519  
SECTION 26, T7N, R7E, CITY OF BURTON, GENESEE COUNTY

## PREPARED FOR

JIM RAYBURN  
6044 MCCANDLISH ROAD  
GRAND BLANC, MICHIGAN 48439  
(810) 397-9357

PROJECT NO. 15002400

DATE DRAWN: 9-15-15

DATE REVISED: 9-17-15

AS-BUILT DATE:

SHEET NUMBER

1



**Burton Planning Commission**

4303 S. Center Road  
Burton, MI 48519

**SCHEDULED**

**AGENDA ITEM (ID # 1889)**

Meeting: 10/13/15 05:00 PM

Department: Department of Public Works

Category: Site Plan Review

Prepared By: Amber Abbey

Department Head: Rachael Boggs

**F.5**

DOC ID: 1889

---

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**SPR #15-44**

By: Parmeet Singh  
6140 Emerald Dr.  
Grand Blanc, MI 48439

Re: 3328 Kleinpell St. Burton, MI 48529,  
59-28-555-006, M-2 General Industrial

For: Trucking Company

**ATTACHMENTS:**

- 15-44 (PDF)



City of Burton  
 Department of Public Works  
 4093 Manor Drive  
 Genesee County, Burton, Michigan 48519  
 (810) 742-9230



### APPLICATION FOR SITE PLAN REVIEW

DATE FILED: 9-18-15  
 FEE: 200<sup>00</sup>  
 RECEIPT NO: \_\_\_\_\_  
 CHECK NO: 161

SPR #: 15-44

#### PLEASE PRINT

DATE OF PLANNING COMMISSION MEETING: October 13<sup>th</sup> @ 5:00pm  
 APPLICANTS NAME: Ranmeet Singh  
 APPLICANTS ADDRESS: 6140 emerald dr, grand blanc MI 48439  
 APPLICANTS PHONE NO: 810 874 1997  
 PROPOSED NAME OF BUSINESS: G.R Trucking inc  
 SITE ADDRESS: 3328 Kleinpell St Burton MI  
 SUBDIVISION & LOT # OR PARCEL NUMBER: \_\_\_\_\_  
 RE: Trucking Company

**APPLICANT:** IT IS TO YOUR ADVANTAGE TO ATTEND THE ABOVE SCHEDULED MEETING. THE PLANNING COMMISSION MAY HAVE QUESTIONS THAT DIRECTLY AFFECT APPROVAL, DENIAL, OR POSTPONING UNTIL THESE QUESTIONS CAN BE ANSWERED.

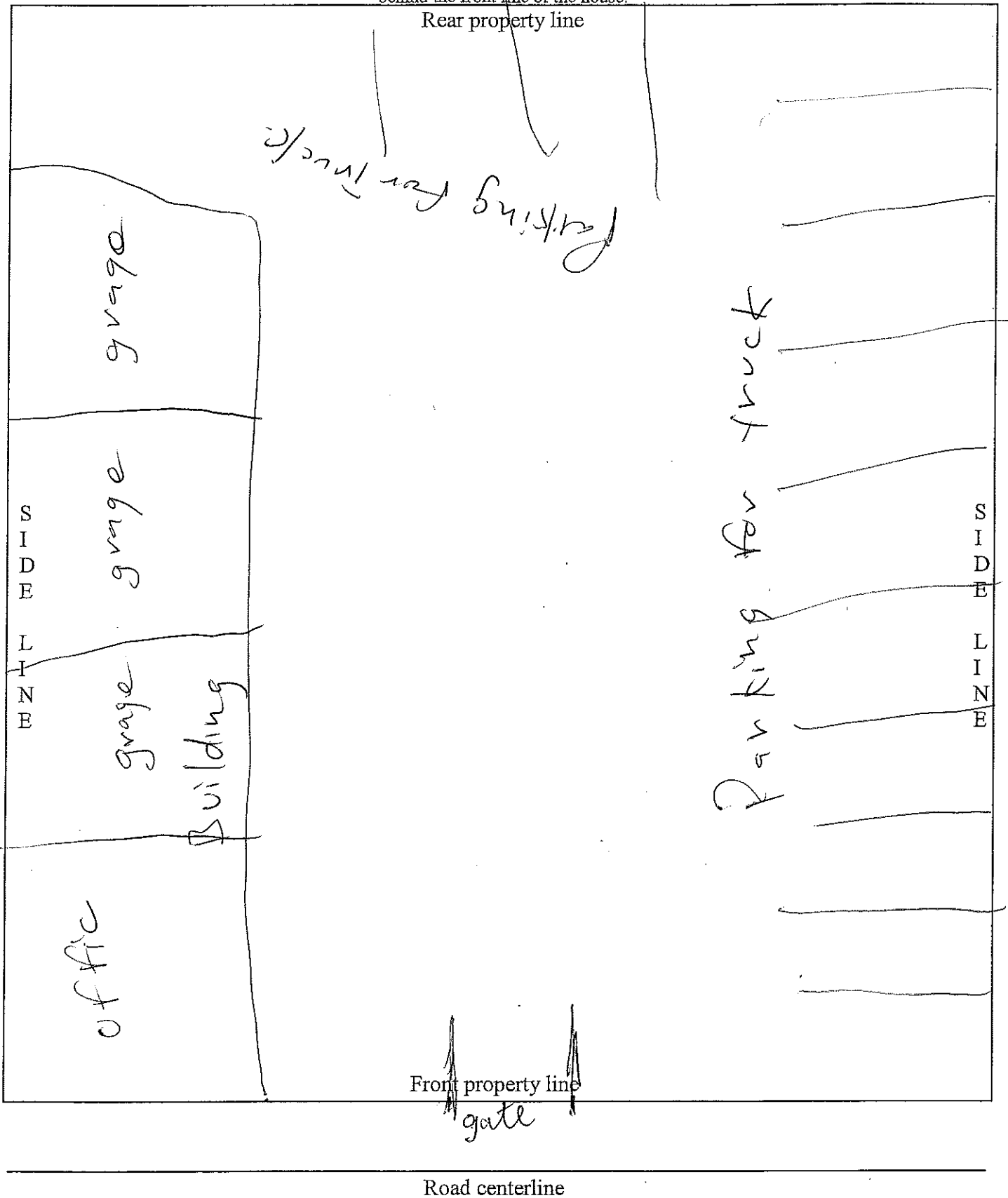
APPLICANTS SIGNATURE: Ranmeet Singh

NOTE: All site plans must be filed at least two (2) weeks prior to the Planning Commission hearing and **MUST** comply with the procedures set forth in Section 157.092 of Codified Ordinance as attached. Must include **twelve (12) sets** of prints in order to process the application.

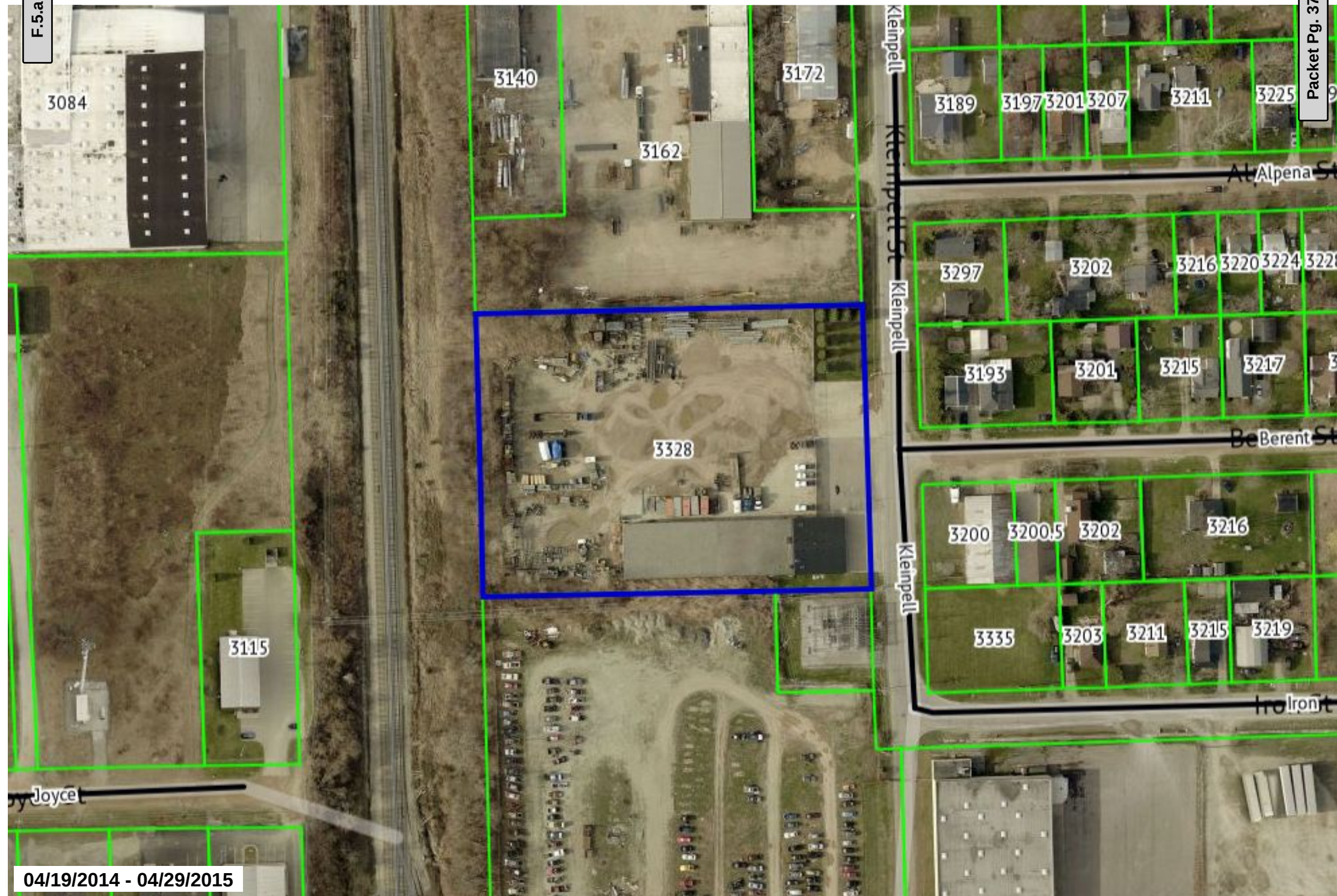
Attachment: 15-44 (1889 : SPR #15-44)

# Site or Plot Plan

Include all existing and proposed buildings on the site. Include all dimensions to front, side and rear property lines from buildings. Include dimensions of the property. Any accessory structure must maintain 10-foot separation from the main dwelling and must be behind the front line of the house.



Attachment: 15-44 (1889 : SPR #15-44)





**Burton Planning Commission**

4303 S. Center Road  
Burton, MI 48519

**SCHEDULED**

**AGENDA ITEM (ID # 1910)**

Meeting: 10/13/15 05:00 PM

Department: Department of Public Works

Category: Site Plan Review

Prepared By: Amber Abbey

Department Head: Rachael Boggs

**F.7**

DOC ID: 1910

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**SPR #15-50**

By: Ace-Saginaw Paving Company  
115 S. Averill Ave.  
Flint, MI 48506

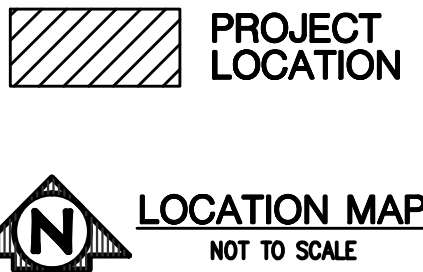
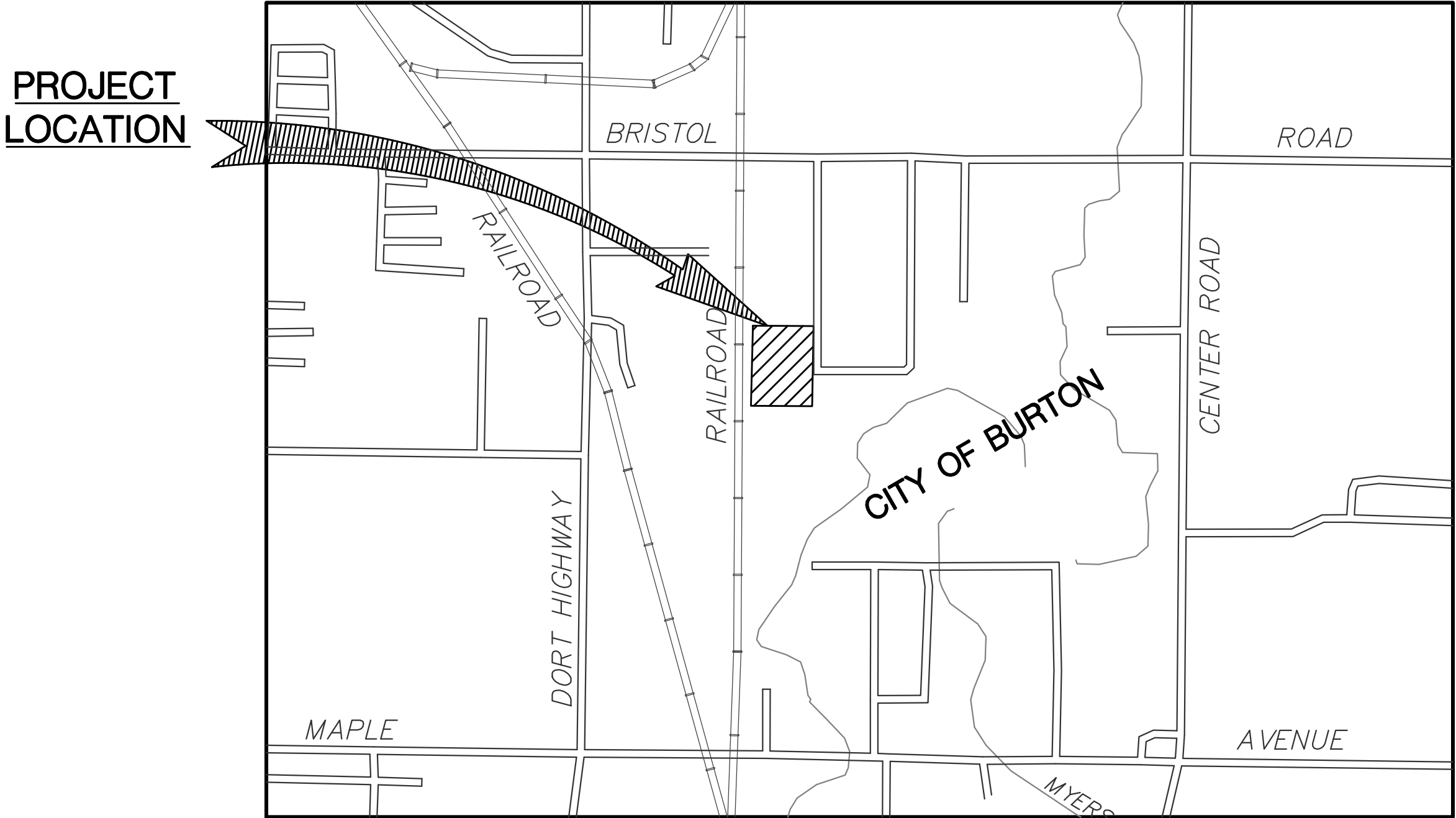
Re: 4190 Jimbo Dr.  
Burton, MI 48529  
59-33-501-029

For: Asphalt Plant Equipment Replacement

**ATTACHMENTS:**

- ACE ASPHALT 10-8-2015 (PDF)

SITE PLAN DRAWINGS FOR  
ACE - SAGINAW PAVING COMPANY  
4190 JIMBO DRIVE  
CITY OF BURTON, GENESEE COUNTY, MICHIGAN  
PART OF THE NORTH 1/2 OF SECTION 33, T7N-R7E



**OWNER INFORMATION**  
ACE ASPHALT & PAVING COMPANY  
115 S. AVERILL AVE  
FLINT, MI 48506  
RICHARD ZANOTTI, P.E.  
(248) 675-0078

**ENGINEER INFORMATION**  
ROWE PROFESSIONAL SERVICES COMPANY  
540 SAGINAW STREET  
SUITE 200  
FLINT, MI 48502  
(810) 341-7500  
DOUGLAS SCOTT, P.E.

**SHEET INDEX**

- 1 - COVER SHEET
- 2 - SURVEY CONTROL SHEET
- 3 - EXISTING LAYOUT-REMOVAL SHEET
- 4 - PROPOSED IMPROVEMENTS
- 5 - PROPOSED GRADING-SESC SHEET

**PROJECT DESCRIPTION**

THIS PROJECT INCLUDES THE REPLACEMENT OF THE EXISTING BITUMINOUS ASPHALT PLANT EQUIPMENT. THE RENOVATIONS WILL INCLUDE MATERIALS CONTAINMENT, HMA DRIVEWAYS AND OTHER MISCELLANEOUS IMPROVEMENTS.

**PROPERTY ADDRESS**

4190 JIMBO DRIVE  
BURTON, MI 48529

**CURRENT ZONING DESIGNATION**

M-2 GENERAL INDUSTRIAL

**PARCEL NUMBER**

59-33-501-029

**PERCENT OF PARCEL COVERAGE**

MAX ALLOWABLE LOT COVERAGE 50%

**LEGAL DESCRIPTION**

LOT 1, BRISTOL ROAD INDUSTRIAL PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT LIBER 47, PAGES 15-16, GENESEE COUNTY RECORDS.

ALSO,

PARCEL A:  
PART OF THE NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 7 NORTH, RANGE 7 EAST, DESCRIBED AS BEGINNING AT THE SOUTHWEST CORNER OF LOT 1, BRISTOL ROAD INDUSTRIAL PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT LIBER 47, PAGE 16, GENESEE COUNTY RECORDS; THENCE NORTH 89 DEGREES 04 MINUTES 54 SECONDS EAST ALONG THE SOUTH LINE OF SAID PLAT, 594.57 FEET; THENCE SOUTH 00 DEGREES 10 MINUTES 20 SECONDS WEST, 590.24 FEET; THENCE SOUTH 89 DEGREES 26 MINUTES 04 SECONDS WEST, 171.57 FEET; THENCE NORTH 81 DEGREES 25 MINUTES 00 SECONDS WEST, 416.19 FEET; THENCE NORTH 01 DEGREES 03 MINUTES 36 SECONDS WEST, 520.38 FEET TO THE POINT OF BEGINNING.

**EXISTING/PROPOSED USE**

EXISTING - BITUMINOUS ASPHALT PLANT  
PROPOSED - BITUMINOUS ASPHALT PLANT

**TOTAL ACRES**

11.95 ACRES

**PARKING REQUIREMENTS**

REQUIRED - 5 + 1 SPACE PER 1.5 EMPLOYEES IN LARGEST SHIFT.  
5 + (4 EMPLOYEES / 1.5) = 8 SPACES  
PROVIDED - 8 SPACES WITH 1 ADA PARKING SPACE



ISSUED FOR SITE PLAN SUBMITTAL  
OCTOBER 9, 2015

| REVISIONS |      |             |    |
|-----------|------|-------------|----|
| NO.       | DATE | DESCRIPTION | BY |
| -         | -    | -           | -  |
|           |      |             |    |
|           |      |             |    |
|           |      |             |    |

REV: SHT# 1 OF 5  
JOB No: 15C0185

| PLAN SUBMITTAL LOG                                                                                  |                                              |                |
|-----------------------------------------------------------------------------------------------------|----------------------------------------------|----------------|
| AGENCY                                                                                              | UTILITY                                      | SUBMITTAL DATE |
| ATT<br>54 N. MILL STREET/BOX 35<br>PONTIAC, MI 48342<br>AT&T<br>(248) 456-9751                      | TELEPHONE                                    | 10/09/2015     |
| CITY OF BURTON<br>4093 MANOR DRIVE<br>BURTON, MI 48519<br>PETE WINGBLAD<br>(810) 742-9230 EXT. 3108 | WATER, SANITARY<br>SEWER, AND<br>STORM SEWER | 10/09/2015     |
| COMCAST<br>25626 TELEGRAPH<br>SOUTHFIELD, MI 48034<br>DARYL WOOD<br>(248) 809-2749                  | CABLE                                        | 10/09/2015     |
| CITY OF BURTON<br>4093 MANOR DRIVE<br>BURTON, MI 48519<br>PETE WINGBLAD<br>(810) 742-9230 EXT. 3108 | DRIVE/ROW                                    | 10/09/2015     |
| CONSUMERS ENERGY<br>3201 EAST COURT STREET<br>FLINT, MI 48501<br>SALATORE DELISI<br>(810) 760-3486  | GAS                                          | 10/09/2015     |
| CONSUMERS ENERGY<br>3201 EAST COURT STREET<br>FLINT, MI 48501<br>MARCEY CONN<br>(810) 760-3506      | ELECTRIC                                     | 10/09/2015     |

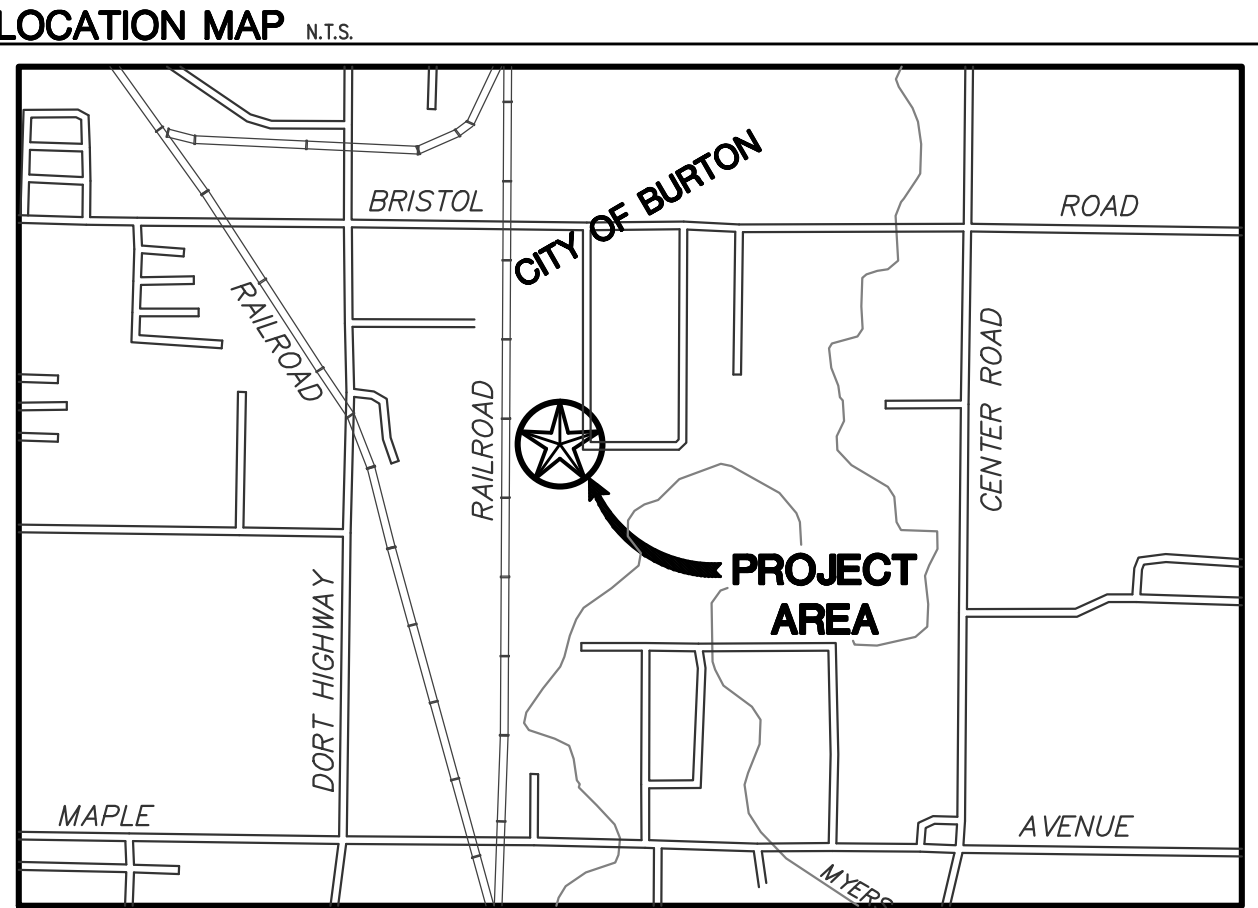
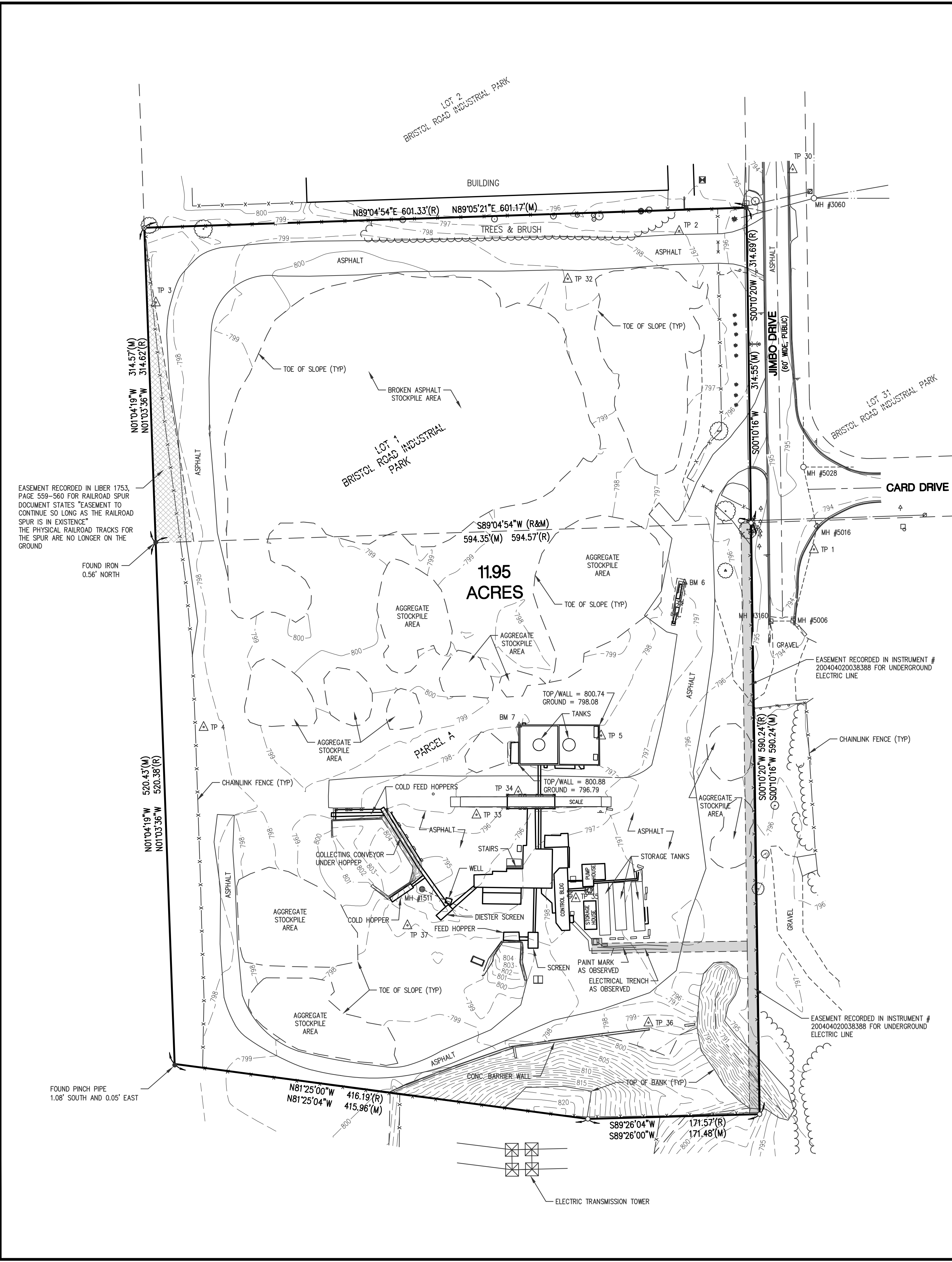
|                            |              |
|----------------------------|--------------|
| PLAN DATE: OCTOBER 9, 2015 | D.A.S.       |
| PROJECT MGR: J.B.M.        | J.B.M.       |
| REVIEWER: NOT TO SCALE     | NOT TO SCALE |
| SCALE:                     |              |

ROWE PROFESSIONAL SERVICES COMPANY

The ROWE Building  
540 S. Saginaw St., Ste. 200  
Flint, MI 48502

O: (810) 341-7500  
F: (810) 341-7573  
www.rowepsc.com

PREPARED FOR  
ACE-SAGINAW PAVING COMPANY  
PLANT EQUIPMENT REPLACEMENT  
CITY OF BURTON  
COVER SHEET



LEGEND

|   |                            |
|---|----------------------------|
| ● | FOUND IRON                 |
| ○ | SET IRON WITH CAP #58262   |
| △ | BENCH MARK                 |
| ▽ | TRAVERSE POINT             |
| ☆ | LIGHT POLE                 |
| ⊙ | UTILITY POLE               |
| ⊕ | GUY ANCHOR                 |
| ⊗ | TELEPHONE RISER            |
| ⊘ | GAS RISER                  |
| □ | CURB INLET                 |
| ○ | STORM MANHOLE              |
| ○ | SANITARY MANHOLE           |
| ○ | PIPE INLET/OUTLET          |
| □ | TRANSMISSION TOWER         |
| □ | ELECTRIC TRANSFORMER PAD   |
| □ | AIR CONDITIONING UNIT      |
| □ | UNDERGROUND UTILITY MARKER |
| + | SIGN                       |
| + | METAL/WOOD POST            |
| + | FENCE GATE                 |
| + | COLUMN                     |
| + | MONITORING WELL            |
| + | DUMPSTER                   |
| ○ | DECIDUOUS TREE             |
| ⊗ | CONIFEROUS TREE            |
| ⊗ | DEAD TREE                  |
| — | SANITARY SEWER             |
| — | STORM SEWER                |
| — | WATER MAIN                 |
| — | TREE/BRUSH LINE            |
| — | CHAINLINK FENCE            |
| — | OVERHEAD UTILITIES         |

MANHOLE DATA TABLE

|                                                                                                                                                           |                                                                                                               |                                                                                                                                   |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------|
| MH# 1511<br>TYPE: STORM<br>COVER: FLAT GRATE<br>RIM= 794.01<br>18" RCP SE INV.=791.51                                                                     | MH# 3160<br>TYPE: STORM<br>COVER: CURB INLET<br>RIM= 793.84<br>12" RCP E INV.=789.84<br>12" CMP S INV.=791.04 | MH# 5016<br>TYPE: STORM<br>COVER: CURB INLET<br>RIM= 793.50<br>12" RCP S INV.=788.70<br>12" RCP N INV.=788.25                     |
| MH# 3060<br>TYPE: SANITARY<br>COVER: SOLID<br>RIM= 795.16<br>8" VCP E INV.=787.96<br>8" VCP N INV.=787.96<br>6" PVC E INV.=789.76<br>6" VCP W INV.=787.96 | MH# 5006<br>TYPE: STORM<br>COVER: CURB INLET<br>RIM= 793.63<br>12" RCP W INV.=789.13<br>12" RCP N INV.=789.13 | MH# 5028<br>TYPE: STORM<br>COVER: SOLID<br>RIM= 794.90<br>24" BRP N INV.=783.60<br>30" RCP E INV.=783.25<br>12" RCP S INV.=787.85 |

- SURVEYOR'S NOTES:
- HORIZONTAL DATUM IS NAD83 (2011) MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE
  - VERTICAL DATUM IS NAVD88
  - BEARING BASIS OF BOUNDARY LINES SHOWN, IS THE SOUTH LINE OF BRISTOL ROAD INDUSTRIAL PARK
  - WE DO NOT WARRANT THE LOCATION OF ALL TOPOGRAPHICAL SITE FEATURES. THE TOPOGRAPHIC FEATURES, AS SHOWN HEREON, ARE BASED UPON VISIBLE EVIDENCE OBSERVED IN THE FIELD AND FIELD LOCATED SURFACE UTILITY STRUCTURES.
  - WE DO NOT WARRANT THE LOCATION OF THE UNDERGROUND PORTION OF THE UTILITIES. THE UNDERGROUND IMPROVEMENTS, AS SHOWN HEREON, ARE APPROXIMATE SINCE THEY ARE NOT VISIBLE FROM THE SURFACE AND COMPLETE ACCURATE RECORDS OF ALL UTILITIES ARE NOT AVAILABLE. RECORDS FOR THIS SURVEY WERE OBTAINED FROM THE CITY OF BURTON AND CONSUMERS POWER CO.

LEGAL DESCRIPTION PER SEAVER TITLE AGENCY, TITLE INFORMATION REPORT, FILE No. 25-15439113-SCM, DATED SEPTEMBER 2, 2015 AT 8:00 A.M.

LOT 1, BRISTOL ROAD INDUSTRIAL PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT LIBER 47, PAGES 15-16, GENESEE COUNTY RECORDS.

ALSO,

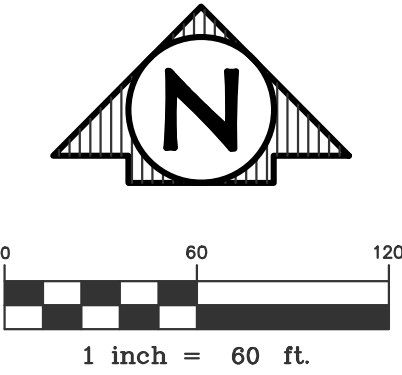
PARCEL A:  
PART OF THE NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 7 NORTH, RANGE 7 EAST, DESCRIBED AS BEGINNING AT THE SOUTHWEST CORNER OF LOT 1, BRISTOL ROAD INDUSTRIAL PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT LIBER 47, PAGE 16, GENESEE COUNTY RECORDS; THENCE NORTH 89 DEGREES 04 MINUTES 54 SECONDS EAST ALONG THE SOUTH LINE OF SAID PLAT, 594.57 FEET; THENCE SOUTH 00 DEGREES 10 MINUTES 20 SECONDS WEST, 590.24 FEET; THENCE SOUTH 89 DEGREES 28 MINUTES 04 SECONDS WEST, 171.57 FEET; THENCE NORTH 81 DEGREES 25 MINUTES 00 SECONDS WEST, 416.19 FEET; THENCE NORTH 01 DEGREES 03 MINUTES 36 SECONDS WEST, 520.38 FEET TO THE POINT OF BEGINNING.

BENCHMARK DATA TABLE

| NUMBER | NORTHING | EASTING  | ELEVATION | DESCRIPTION                                                                   |
|--------|----------|----------|-----------|-------------------------------------------------------------------------------|
| BM 6   | 536314   | 13316292 | 797.47    | SET CHISELED SQUARE ON NORTHEAST CORNER OF CONCRETE SLAB FOR SAMPLING CATWALK |
| BM 7   | 536171   | 13316127 | 800.87    | SET CHISELED SQUARE ON NORTHWEST CORNER OF CONCRETE WALL AROUND FUEL TANKS    |

TRAVERSE POINT DATA TABLE

| NUMBER | NORTHING    | EASTING       | DESCRIPTION                                                                                                         |
|--------|-------------|---------------|---------------------------------------------------------------------------------------------------------------------|
| TP 1   | 536347.0220 | 13316421.1300 | SET ROD WITH ROWE TRAVERSE CAP 30'± EAST OF CENTERLINE OF JIMBO DRIVE & 55'± SOUTH OF CENTERLINE OF CARD ROAD       |
| TP 2   | 536664.7240 | 13316286.5370 | SET ROD WITH ROWE TRAVERSE CAP 15'± NORTH OF NORTHERLY ENTRANCE TO ASPHALT PLANT & 37'± WEST OF FENCE               |
| TP 3   | 536593.4900 | 13315764.4010 | SET ROD WITH ROWE TRAVERSE CAP 3'± EAST OF FENCE & 70'± SOUTH OF FENCE                                              |
| TP 4   | 536169.7330 | 13315812.0640 | SET ROD WITH ROWE TRAVERSE CAP 8'± EAST OF WESTERLY FENCE                                                           |
| TP 5   | 536161.2300 | 13316208.8110 | SET ROD WITH ROWE TRAVERSE CAP 10'± SOUTH OF NORTHEAST CORNER OF CONCRETE WALL AROUND FUEL TANKS & 2'± EAST OF WALL |
| TP 30  | 536726.3030 | 13316399.9280 | SET SPIKE 3'± EAST OF BACK OF CURB OF JIMBO DRIVE & 57'± NORTH OF CENTERLINE OF CONCRETE DRIVE APPROACH             |
| TP 32  | 536617.0870 | 13316175.3750 | SET SPIKE 27'± SOUTH OF ACCESS DRIVE IN ASPHALT DUMP AREA                                                           |
| TP 33  | 536082.3050 | 13316084.3530 | SET MAG NAIL 33'± WEST OF NORTHWEST CORNER OF LOADING HOPPERS & 18'± SOUTH OF SCALE                                 |
| TP 34  | 536105.3480 | 13316126.0940 | SET MAG NAIL 12'± EAST OF NORTHWEST CORNER OF LOADING HOPPERS & 6'± NORTH OF SCALE                                  |
| TP 35  | 535998.9630 | 13316183.4670 | SET MAG NAIL 7'± EAST OF BLOCK OFFICE BUILDING & 33'± NORTH OF SOUTHEAST CORNER                                     |
| TP 36  | 535874.8100 | 13316256.0320 | SET SPIKE 5'± NORTH OF EAST END OF CONCRETE WALL NEAR THE SOUTHEAST CORNER OF SITE                                  |
| TP 37  | 535971.8870 | 13316015.4900 | SET SPIKE NEAR BLOCK AT SOUTH END OF SITE, SOUTH OF TANKS                                                           |



PLAN DATE: OCTOBER 9, 2015  
PROJECT MGR: D.A.S.  
REVIEWER: J.B.M.  
SCALE: 1" = 60'

ROWE PROFESSIONAL SERVICES COMPANY

The ROWE Building  
540 S. Saginaw St., Ste. 200  
Flint, MI 48502

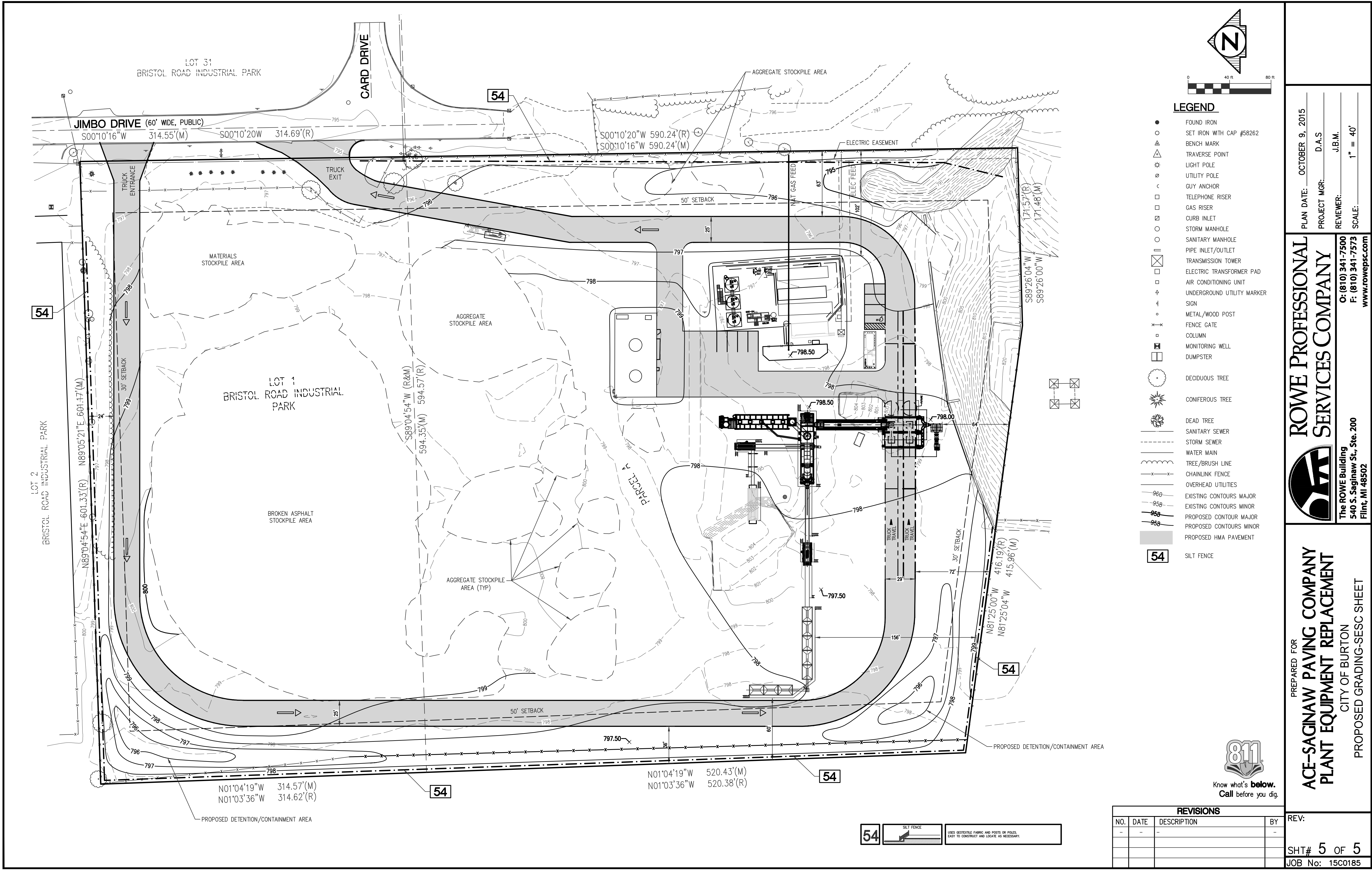
O: (810) 341-7500  
F: (810) 341-7573  
www.rowepsc.com

PREPARED FOR  
ACE-SAGINAW PAVING COMPANY  
PLANT EQUIPMENT REPLACEMENT  
CITY OF BURTON  
SURVEY CONTROL SHEET

REV:  
SHT# 2 OF 5  
JOB No: 15C0185









**Burton Planning Commission**

4303 S. Center Road  
Burton, MI 48519

**SCHEDULED**

**AGENDA ITEM (ID # 1883)**

Meeting: 10/13/15 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Amber Abbey

Department Head: Rachael Boggs

**G.1**

DOC ID: 1883

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**SPR #15-38**

By: Khalil Isaac  
1244 E. Reid Rd.  
Grand Blanc, MI 48439

Re: 1372 Bristol Rd. Burton, MI 48529

For: T-Mobile retail store

**ATTACHMENTS:**

- 15-38 (PDF)



City of Burton  
 Department of Public Works  
 4093 Manor Drive  
 Genesee County, Burton, Michigan 48519  
 (810) 742-9230



### APPLICATION FOR ZONING REVIEW

DATE FILED: 8/24/15

FEE: \$40.00

RECEIPT NO: \_\_\_\_\_

CHECK NO: Cash

SPR #: 15-38

#### PLEASE PRINT

DATE: 8-24-15

APPLICANTS NAME: Khalil Isaac

APPLICANTS ADDRESS: 1244 E Reid G.B.  
~~1372 E Bristol Rd Burton MI 48529~~

APPLICANTS PHONE NO: 810-922-1268

PROPOSED NAME OF BUSINESS: cellphone store / Tmobile

PROPOSED TYPE OF BUSINESS: Retailer

SITE ADDRESS: 1372 E Bristol Rd Burton MI 48529

USE OF STRUCTURE: Retail

SQ FOOTAGE OF PROPERTY: 1200 sq ft

SQ FOOTAGE OF STRUCTURE: \_\_\_\_\_

NUMBER OF EMPLOYEES/SEATS: 1

APPLICANTS SIGNATURE: [Signature]

\*\*\* ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

Attachment: 15-38 (1883 : SPR #15-38)



**Burton Planning Commission**

4303 S. Center Road  
Burton, MI 48519

**SCHEDULED**

**AGENDA ITEM (ID # 1886)**

Meeting: 10/13/15 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Amber Abbey

Department Head: Rachael Boggs

**G.2**

DOC ID: 1886

---

---

**SPR #15-41**

By: Phillip Tucker  
1343 Carman St.  
Burton, MI 48529

Re: 3366 S. Saginaw St. Burton, MI 48529

For: Advanced Computer Logistics

**ATTACHMENTS:**

- 15-41 (PDF)



City of Burton  
 Department of Public Works  
 4093 Manor Drive  
 Genesee County, Burton, Michigan 48519  
 (810) 742-9230



### APPLICATION FOR ZONING REVIEW

DATE FILED: 9-16-15

FEE: \$40.00

RECEIPT NO: Cash

CHECK NO:

SPR #: 15-41

#### PLEASE PRINT

DATE: 9-16-15

APPLICANTS NAME: Phillip Tucker

APPLICANTS ADDRESS: 1343 Cornwell St Burton, MI 48529

APPLICANTS PHONE NO: (810) 493-0529

PROPOSED NAME OF BUSINESS: Advanced Computer Logistics

PROPOSED TYPE OF BUSINESS: Computer Repair & Sales

SITE ADDRESS: 3366 S. Saginaw St. Burton, MI 48529

USE OF STRUCTURE: Repairs & Sales

SQ FOOTAGE OF PROPERTY: approx 1350 sq ft.

SQ FOOTAGE OF STRUCTURE: 1350

NUMBER OF EMPLOYEES/SEATS: 1

APPLICANTS SIGNATURE: Ph T

\*\*\* ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

Attachment: 15-41 (1886 : SPR #15-41)



**Burton Planning Commission**

4303 S. Center Road  
Burton, MI 48519

**SCHEDULED**

**AGENDA ITEM (ID # 1890)**

Meeting: 10/13/15 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Amber Abbey

Department Head: Rachael Boggs

**G.3**

DOC ID: 1890

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**SPR #15-45**

By: Scott Natzke  
10204 Deere Dr.  
Davison, MI 48423

Re: 3108 Bristol Rd. Burton, MI 48529

For: Auto Sales

**ATTACHMENTS:**

- 15-45 (PDF)



City of Burton  
 Department of Public Works  
 4093 Manor Drive  
 Genesee County, Burton, Michigan 48519  
 (810) 742-9230



### APPLICATION FOR ZONING REVIEW

DATE FILED: 9-22-15

FEE: \$40.00

RECEIPT NO: Cash

CHECK NO: \_\_\_\_\_

SPR #: 15-45

#### PLEASE PRINT

DATE: 9-22-15

APPLICANTS NAME: SCOTT NATZKE

APPLICANTS ADDRESS: 10204 DEERE DR. DAVISON MI 48423

APPLICANTS PHONE NO: (810) 955-8813

PROPOSED NAME OF BUSINESS: SEDO AUTOMOTIVE

PROPOSED TYPE OF BUSINESS: AUTO SALES

SITE ADDRESS: 3108 BRISTOL RD 48529

USE OF STRUCTURE: Auto Sales

SQ FOOTAGE OF PROPERTY: \_\_\_\_\_

SQ FOOTAGE OF STRUCTURE: 1350

NUMBER OF EMPLOYEES/SEATS: \_\_\_\_\_

APPLICANTS SIGNATURE: [Signature]

\*\*\* ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

Attachment: 15-45 (1890 : SPR #15-45)



**Burton Planning Commission**

4303 S. Center Road  
Burton, MI 48519

**SCHEDULED**

**AGENDA ITEM (ID # 1891)**

Meeting: 10/13/15 05:00 PM

Department: Department of Public Works

Category: Administrative Site Plan Review

Prepared By: Amber Abbey

Department Head: Rachael Boggs

**G.4**

*DOC ID: 1891*

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**SPR #15-46**

By: John T. Barr  
6255 Muirfield Dr.  
Grand Blanc, MI 48439

Re: 4277 Saginaw St. Burton, MI 48529

For: Martial Arts

**ATTACHMENTS:**

- 15-46 (PDF)



City of Burton  
 Department of Public Works  
 4093 Manor Drive  
 Genesee County, Burton, Michigan 48519  
 (810) 742-9230



**APPLICATION FOR ADMINISTRATIVE SITE PLAN REVIEW**

DATE FILED: 9-28-15

FEE: \$75.00

RECEIPT NO: \_\_\_\_\_

CHECK NO: 2082

SPR #: 15-46

**PLEASE PRINT**

DATE: 09/28/2015

APPLICANTS NAME: John T. Barr

APPLICANTS ADDRESS: 6255 Muirfield Dr.

APPLICANTS PHONE NO: 810-344-7333

PROPOSED NAME OF BUSINESS: Master's Martial Arts

SITE ADDRESS: 4277 S. Saginaw

SUBDIVISION & LOT # OR PARCEL NUMBER: \_\_\_\_\_

TYPE: ☒ CHANGE OF OWNERSHIP ☐ CONSTRUCTION LESS THAN 2%

USE OF STRUCTURE: Martial Arts

SQ FOOTAGE OF PROPERTY: \_\_\_\_\_

SQ FOOTAGE OF STRUCTURE: 3420

NUMBER OF EMPLOYEES/SEATS: 2

APPLICANTS SIGNATURE: John T. Barr

\*\*\* ALSO ATTACH A FLOOR PLAN OF THE EXISTING AND PROPOSED BUSINESS.

Attachment: 15-46 (1891 : SPR #15-46)